

BASE LOT CALCULATION ZONE AAA (All entries in square feet - do not write in shaded areas)		EXISTING CONDITIONS VS. (ALLOWED)	AS-BUILT CONDITIONS
1.	GROSS LOT AREA	= 1,700,670 SF (87.120) =	
2.	Above Ground Utility Easements	0 +	
3.	Streets and Roads	8,972 +	
4.	Other Exclusive Surface Easements	0 +	
5.	TOTAL EASEMENTS AND ROADS (Sum of lines 2,3 and 4)	= 0	
6.	Wetlands area	34,856 SF +	
7.	Steep Slopes of 25% or greater	7,263 SF +	
8.	TOTAL WETLAND AND STEEP SLOPES (Sum of line 6 & 7)	= 42,119 SF	
9.	Wetlands/Slopes reduction 0.8 x line 8	= 33,695 SF	
10.	BASE LOT AREA Lines 1, minus line 5 and line 9	= 1,666,975 SF	
MAXIMUM LOT AREA COVERAGE CALCULATION			
11.	BASE LOT AREA (Copied from line 10, above)	1,666,975 SF	
12.	Square feet of Total Coverage	331,258 SF	
13.	Line 12 divided by line 11 for a percentage	19.9% (25%)	
14.	Square feet of Building Coverage	158,182 SF	
15.	Line 14 divided by line 11 for a percentage	9.5%	

**NOTES:**

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-2 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc., August 29, 2019. It is a Zoning Location Survey based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
- Map References:
  - Map of Property for William S. Pitt Jr., Westport, Conn., May 17, 1960 on file as t.c. map # 4995
  - Map of Property Prepared for Dr. Tyrrell F. Rogers, Westport, Conn., Feb. 24, 1967 on file as t.c. map # 6524
  - Revised Map of Plots 2 & 3 Prepared for John J. Fratio & Marian Fratio and Nicholas Cianciullo, Westport, Conn., April 1962 on file as t.c. map # 5505
  - Map Showing Property to be Acquired by Coleman J. Alexa & Andrew J. Alexa Jr., Maple Avenue & Long Lots Road, Westport, Conn., Oct. 20, 1950 on file as t.c. map # 2840
  - Property Surveyed for Ben Handelman, Westport, Conn., Nov. 7, 1969 on file as t.c. map # 6731
  - Map of Property for Fairfield County Hunt Club Westport, Conn., Jan. 14, 1999, prepared by The Huntington Company, LLC, total area = 39.042± acres.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does hereby declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Property is located in FEMA Zone X. Per Flood Insurance Rate Map #09001C0418G, Effective Date: July 8, 2013; Panel 418 of 626.
- Wetlands flagged in the field on August 20, 2024 by William Kenny Soil Scientist, and located in the field by Shevlin Land Surveying LLC.
- Property is located in Residence Zone AAA.
- It is the owners and/or contractors responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- Distances shown from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.

**ZONING LOCATION SURVEY**  
PREPARED FOR  
**FAIRFIELD COUNTY HUNT CLUB**  
174 LONG LOTS ROAD  
WESTPORT, CONNECTICUT



**LEGEND**

- HYDRANT
- MANHOLE
- GAS VALVE
- UTILITY POLE
- WATER VALVE
- LAMP POST
- CATCH BASIN
- ELECTRIC BOX
- SIGN
- MAILBOX
- DECIDUOUS TREE
- CONIFEROUS TREE
- TEST HOLE
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- STONE BOUND
- HEDGE
- INLAND WETLANDS
- METAL FENCE
- WOOD FENCE
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION

× 132.0

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON



Michael S. Shevlin, Jr. PLS # 70339

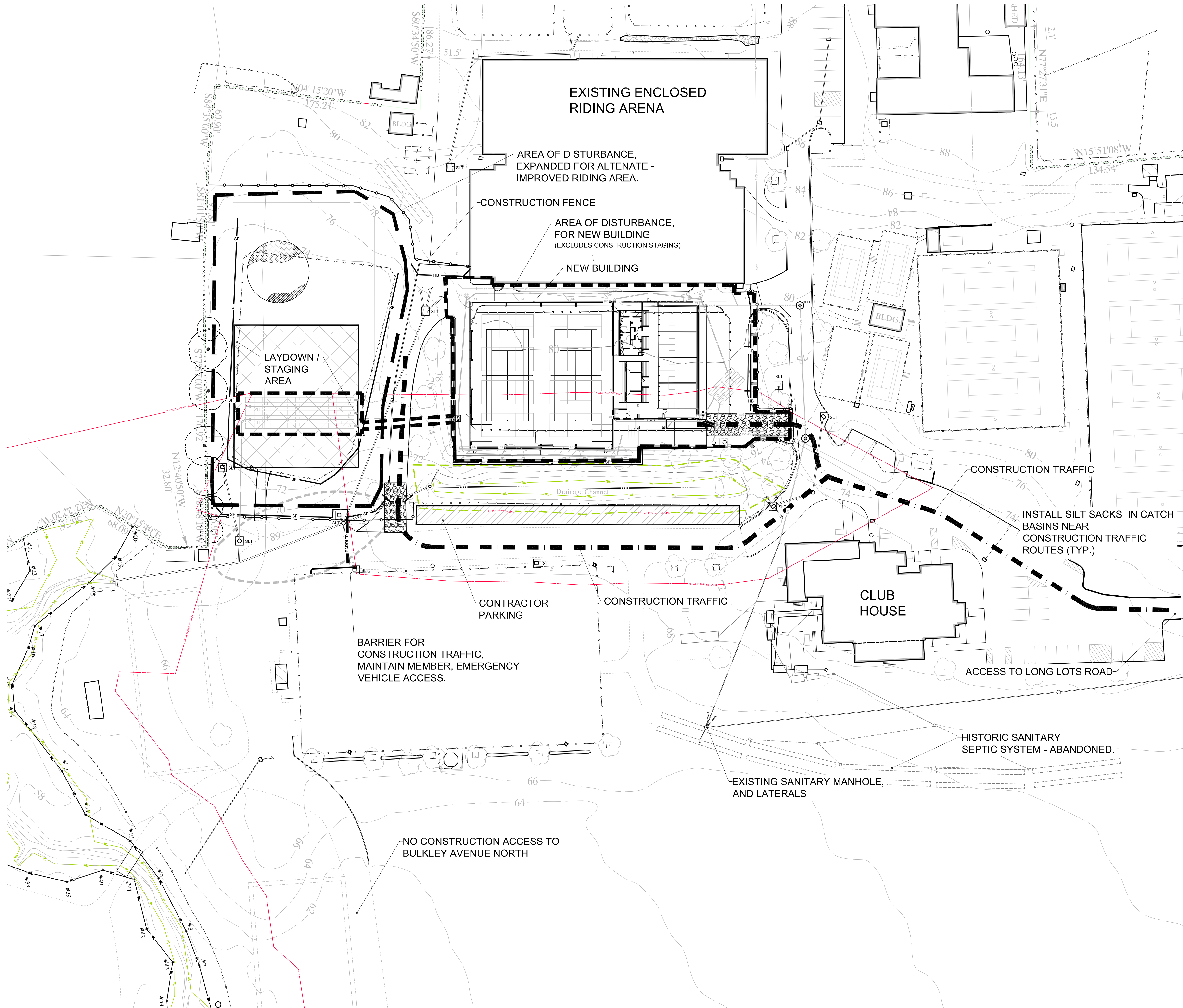
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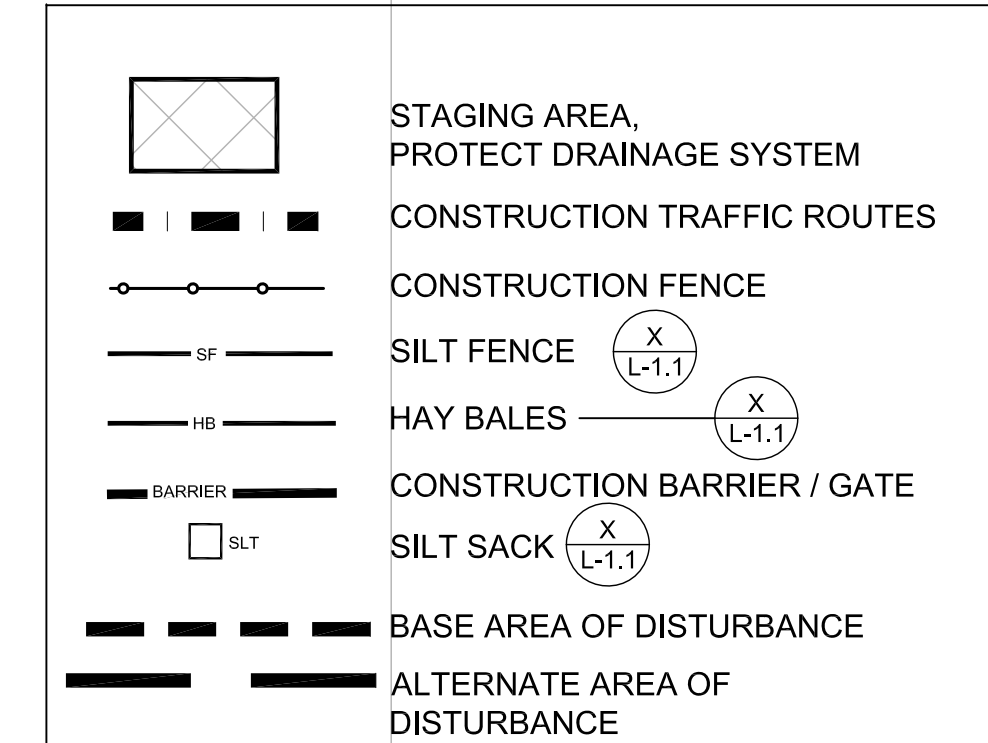
2	11-1-2024	TOPOGRAPHICAL UPDATE	DATE: 9-12-2024	SCALE: 1"=80'	DRAFTER: SJR	JOB NUMBER: H4698	PROJECT #: H4698	
1	10-9-2024	DRAINAGE UPDATE						1/1
NO.	DATE	DESCRIPTION						
REVISIONS								



BASE LOT CALCULATION ZONE AAA (All entries in square feet-- do not write in shaded areas)		EXISTING CONDITIONS VS. (ALLOWED)	PROPOSED CONDITIONS
1.	GROSS LOT AREA	= 1,700,670 SF (87,120)	=
2.	Above Ground Utility Easements	0 +	
3.	Streets and Roads	0 +	
4.	Other Exclusive Surface Easements	0 +	
5.	TOTAL EASEMENTS AND ROADS (Sum of lines 2,3 and 4)	= 0	=
6.	Wetlands area	34,856 SF +	
7.	Steep Slopes of 25% or greater	7,263 SF +	
8.	TOTAL WETLAND AND STEEP SLOPES (Sum of line 6 & 7)	= 42,119 SF	
9.	Wetlands/Slopes reduction 0.8 x line 8	= 33,695 SF	=
10.	BASE LOT AREA Lines 1, minus line 5 and line 9	= 1,666,975 SF	=
MAXIMUM LOT AREA COVERAGE CALCULATION			
11.	BASE LOT AREA (Copied from line 10, above)	1,666,975 SF	
12.	Square feet of Total Coverage	331,258 SF	355,910 SF
13.	Line 12 divided by line 11 for a percentage	19.9% (25%)	21.5% (25%)
14.	Square feet of Building Coverage	158,182 SF	181,165 SF
15.	Line 14 divided by line 11 for a percentage	9.5%	10.9%

IF LINE 13 AND 15 ARE EQUAL TO OR LESS THAN THE PERCENTAGE FOR MAXIMUM PERMITTED BUILDING AND/OR TOTAL COVERAGE WITHIN THE ZONING DISTRICT, THE COVERAGE COMPLIES

**LEGEND**

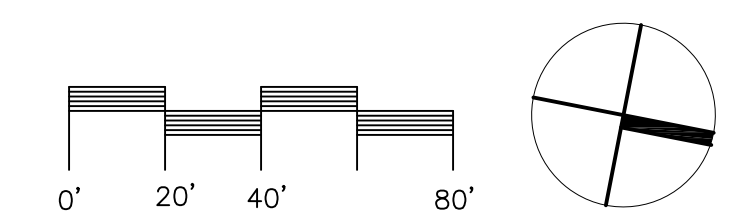


SEE TITLE SHEET FOR FULL LEGEND

**LOGISTIC PLAN NOTES**

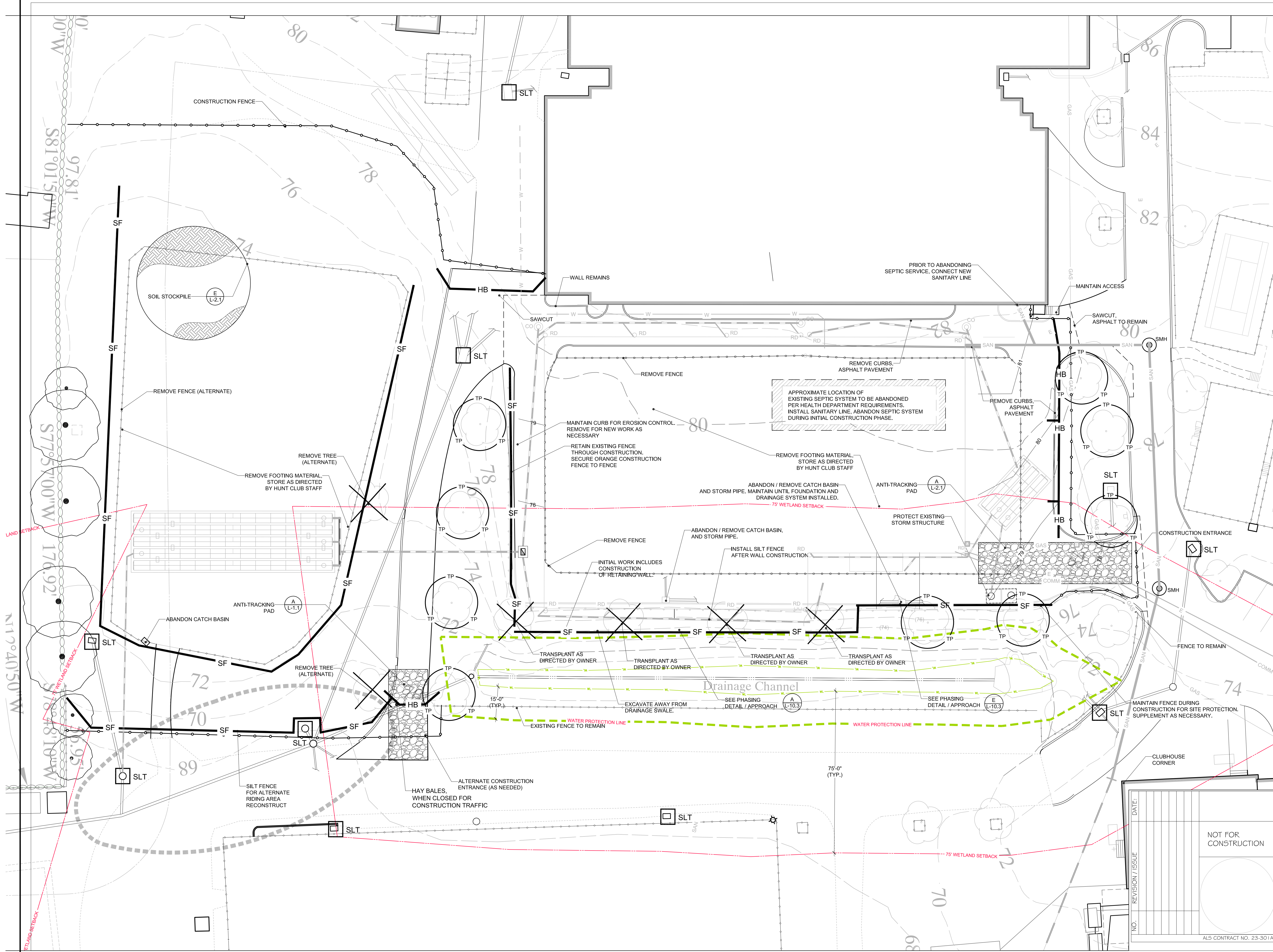
- PLANS DENOTE CONTRACTOR WORK AREAS AND ROUTES FOR CONSTRUCTION VEHICLES ENTERING AND EXITING THE SITE.
- CONTRACTOR OPERATIONS ARE LIMITED TO THE AREAS DEFINED IN THE PLANS.
- CONTRACTOR SHALL COORDINATE FOR OWNER OPERATIONS AND ACTIVITIES. AVOID CONFLICTS WITH HORSES / HORSE ACTIVITIES AS DIRECTED BY OWNER.
- SEE EROSION CONTROL NOTES FOR SEQUENCE OF OPERATIONS.
- UTILITY SERVICES OF THE CLUB SHALL REMAIN OPERATIONAL THROUGH CONSTRUCTION.
- UNDERGROUND UTILITIES ARE BASED ON INFORMATION SUPPLIED BY OTHERS. OTHER UNDERGROUND UTILITIES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455. a. WEBSITE: WWW.CBYD.COM.

**NORTH**

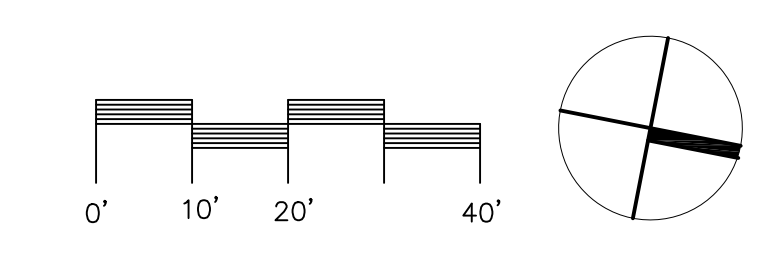


**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 F: 203 330 8701

LOGISTICS PLAN		DRAWING TITLE	
NOT FOR CONSTRUCTION		Fairfield Hunt Club INDOOR RACQUET FACILITIES 174 Long Lots Road Westport, Connecticut 06	
ARIS LAND STUDIO Sustainability + Land Architecture		DATE: 1/16/2024	
78 Elm Street Bridgeport, CT 06604 www.aris.com 203.606.3130		ISSUED FOR: CONSERVATION DEPARTMENT APPLICATION DWG. No.:	
ALS CONTRACT NO. 23-301A		DRAWN BY: SCALE: 1"= 40'	
NO. REVISION / ISSUE		L-1.0	



NORTH



**Cabezas DeAngelis**  
 ENGINEERS & SURVEYORS  
 78 ELM STREET, BRIDGEPORT, CT 06604  
 P: 203 330 8700 F: 203 330 8701

**SITE PREPARATION PLAN** DRAWING TITLE

Fairfield Hunt Club  
 INDOOR RACQUET FACILITIES  
 174 Long Lots Road  
 Westport, Connecticut 06

**ARIS LAND STUDIO**  
 Sustainability + Land Architecture

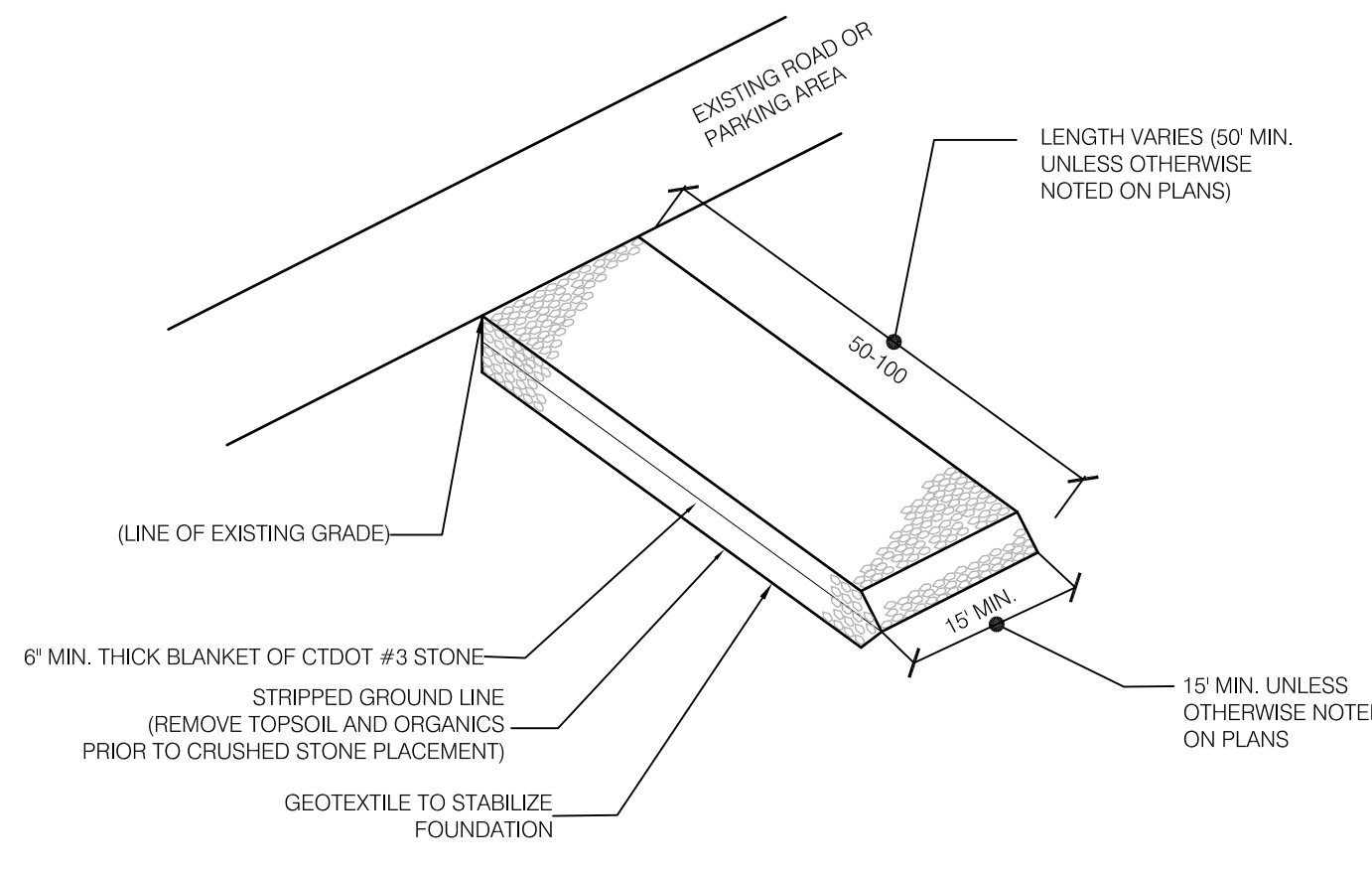
78 Elm Street  
 Bridgeport, CT 06604  
 www.arisls.com  
 203.606.3130

DATE: 1/16/2024  
 ISSUED FOR:  
 CONSERVATION DEPARTMENT APPLICATION  
 DWG. No.:

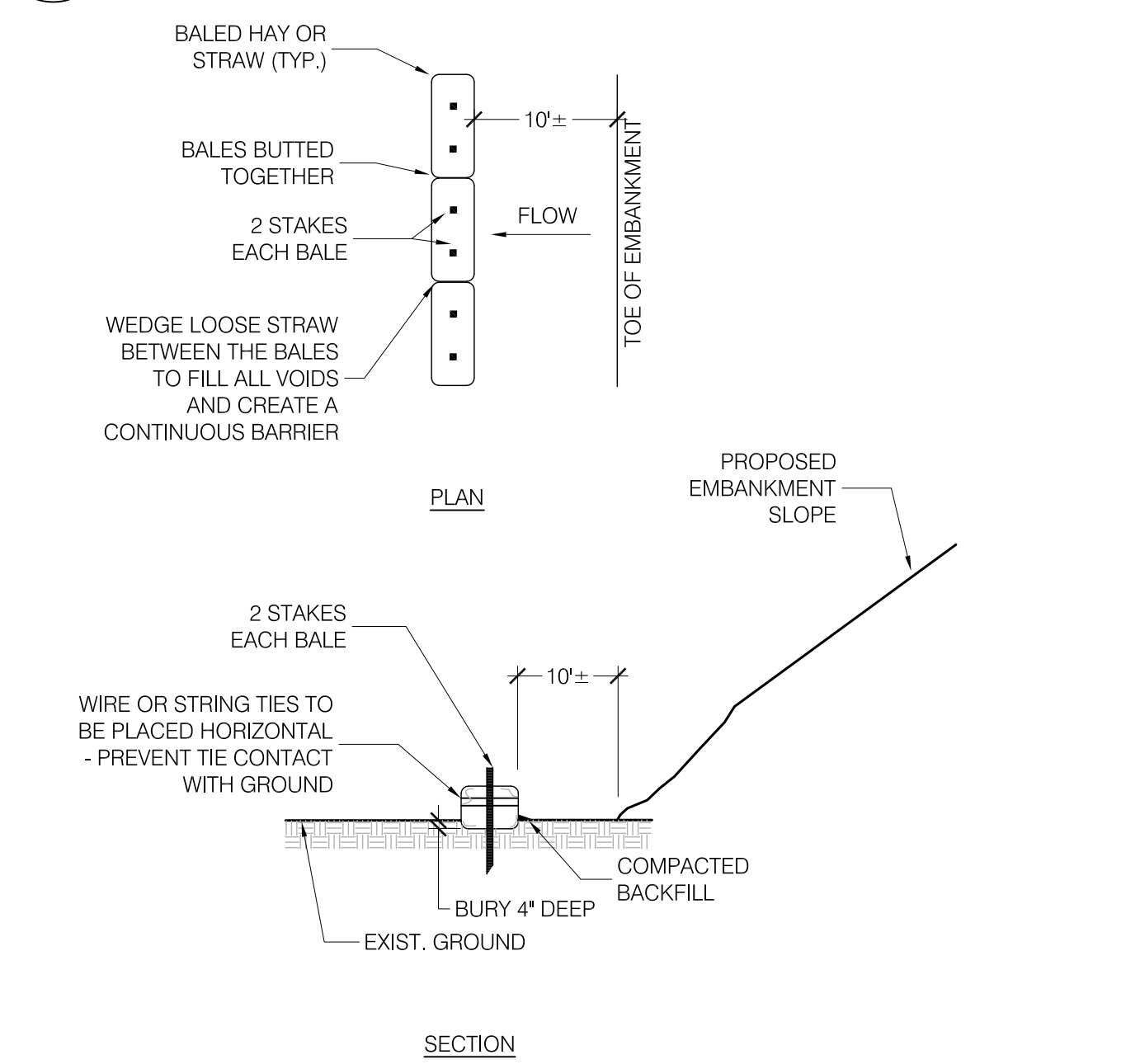
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NO.	REVISION / ISSUE	DATE

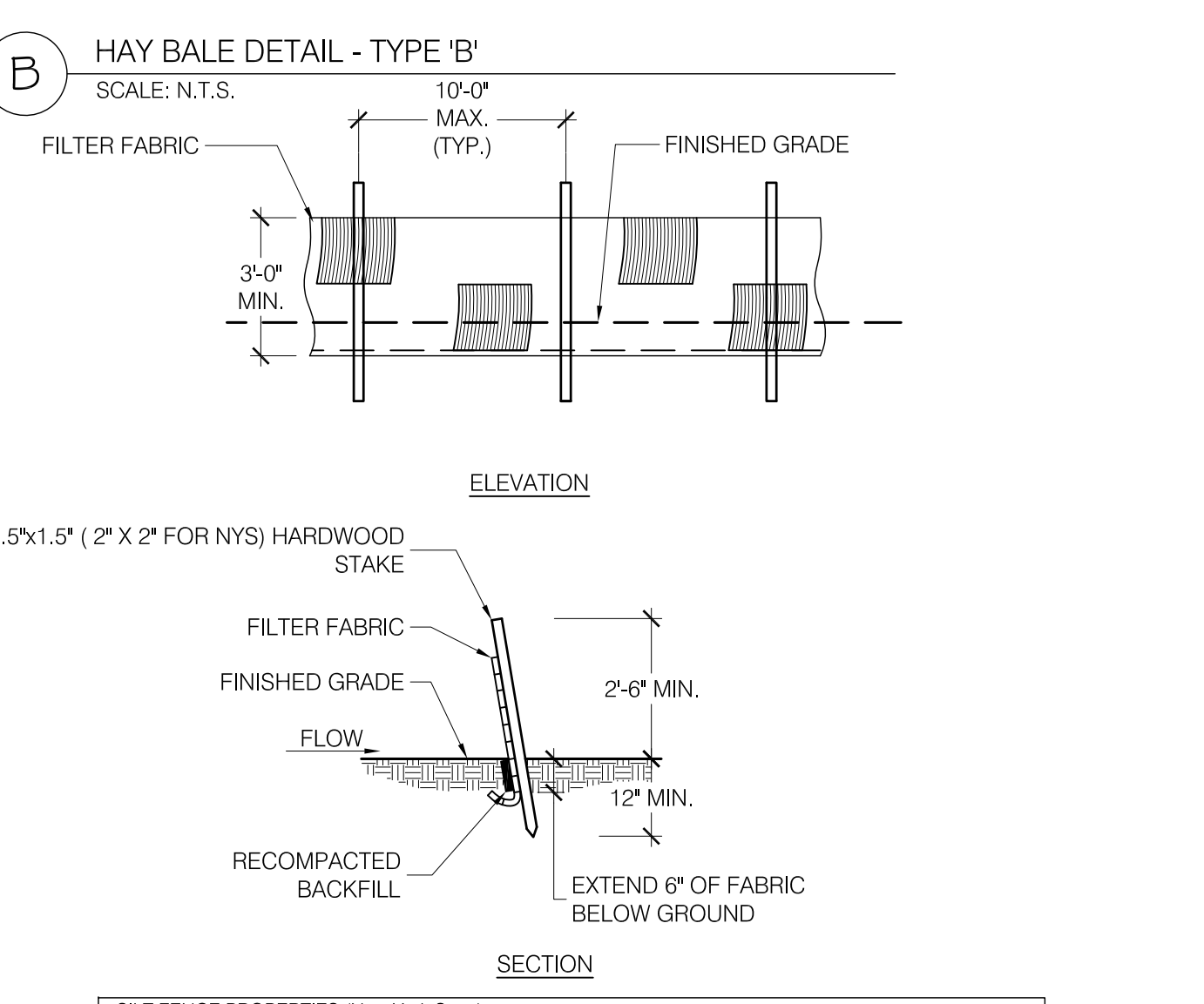
ALS CONTRACT NO. 23-301A DRAWN BY: SCALE: 1"= 20'



**A ANTI-TRACKING PAD DETAIL**  
SCALE: N.T.S.

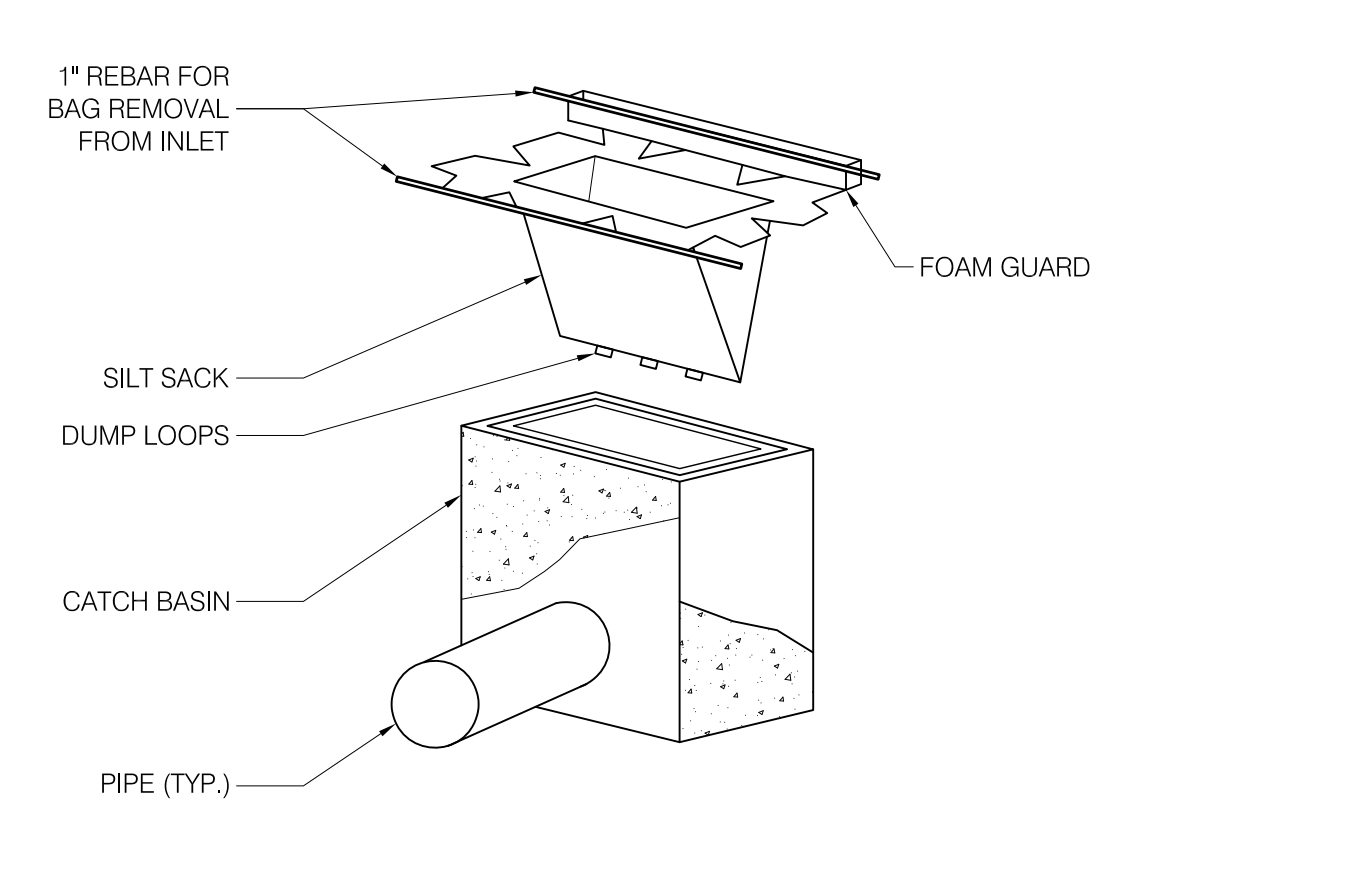


**B HAY BALE DETAIL - TYPE 'B'**  
SCALE: N.T.S.

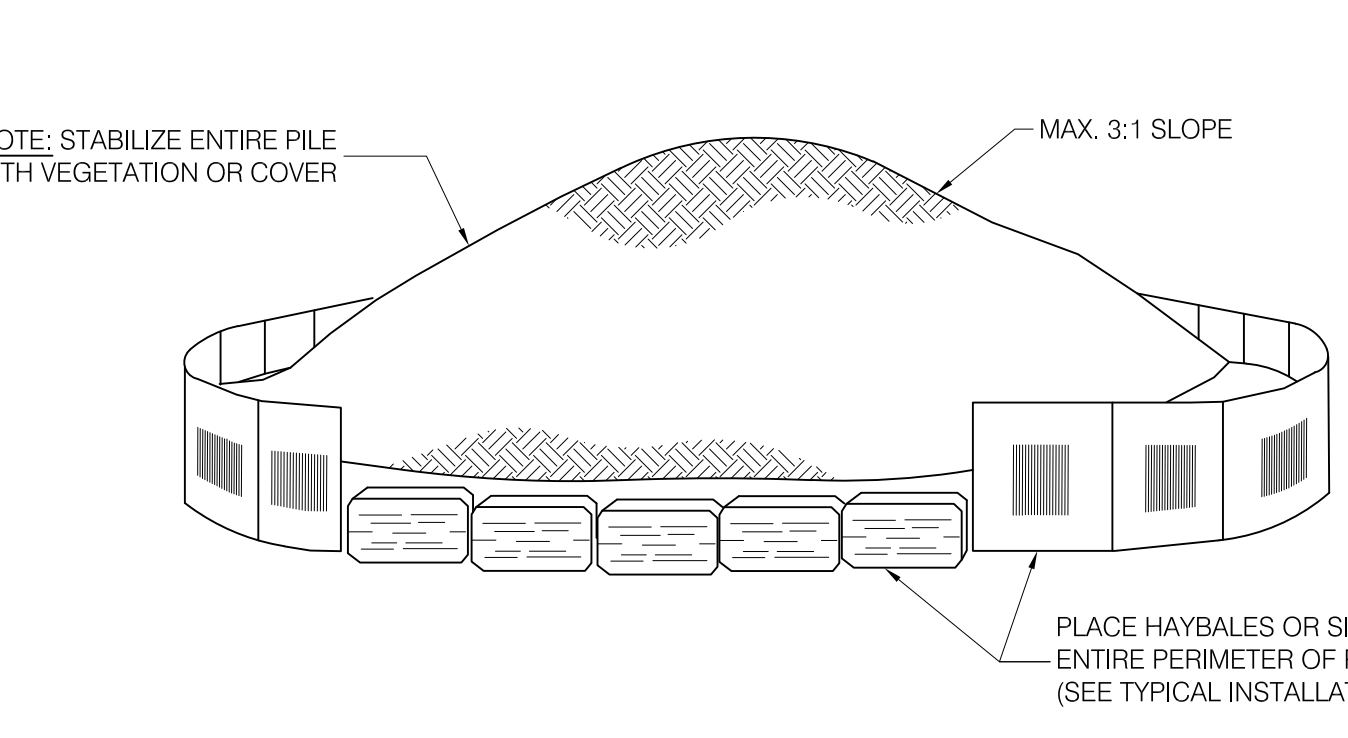


SILT FENCE PROPERTIES (New York State)		
FABRIC PROPERTIES	MINIMUM ACCEPTABLE VALUE	TEST METHOD
GRASS TENSILE STRENGTH (LBS.)	110	ASTM D 4632
ELONGATION AT FAILURE (%)	20	ASTM D 4632
MULLEN BURST STRENGTH (PSI)	300	ASTM D 3786
PUNCTURE STRENGTH (LBS.)	60	ASTM D 4833
MINIMUM TRIANGULAR TEAR STRENGTH (LBS.)	50	ASTM D 4533
FLOW THROUGH RATE (GAL./MIN./SF)	25	ASTM D 4491
EQUIVALENT OPENING SIZE	40 - 80	US STD. SIEVE ASTM D 4751
MINIMUM UV RESIDUAL (%)	70	ASTM D 4355

**C SILT FENCE DETAIL**  
SCALE: N.T.S.

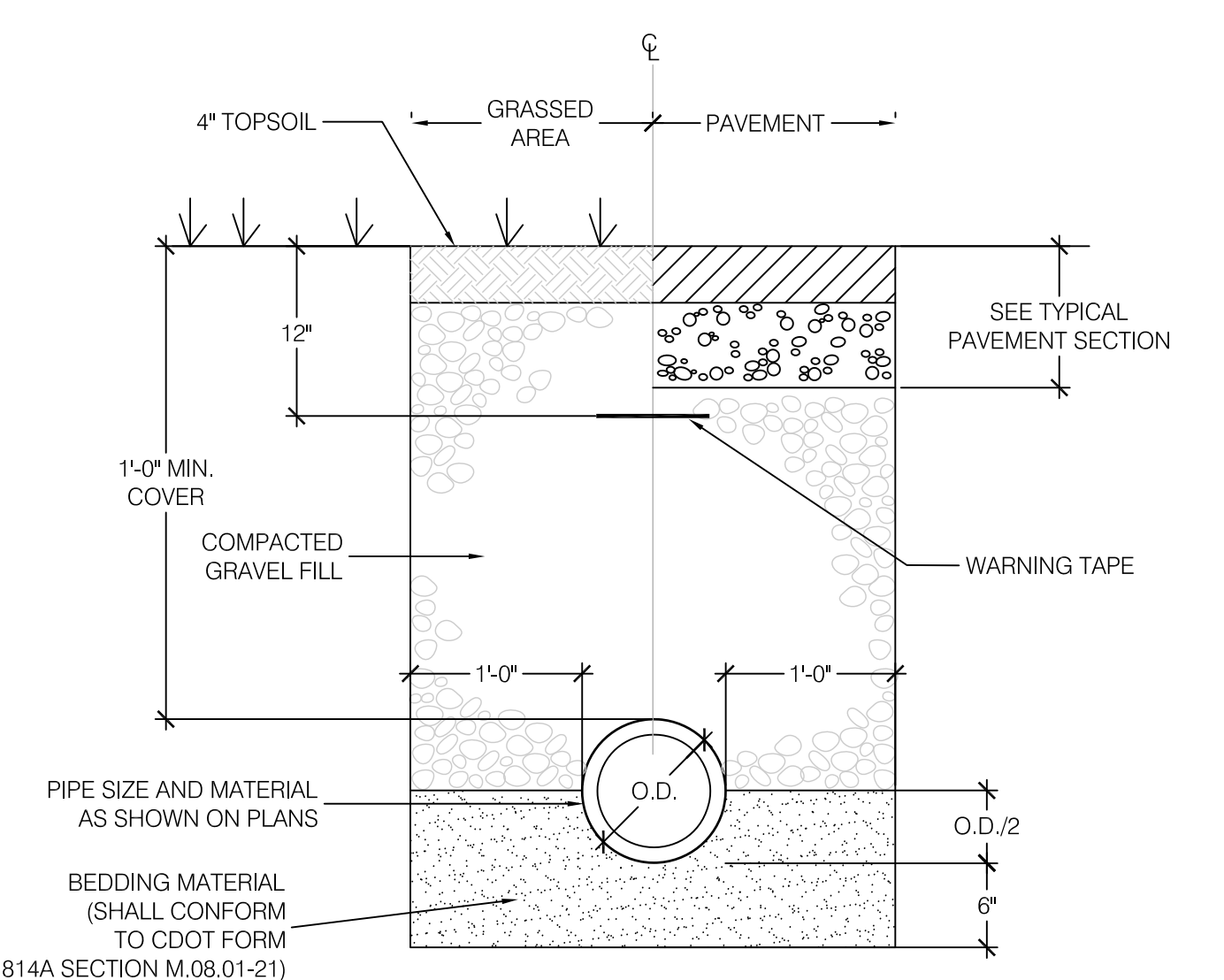


**D SILT SACK™ CATCH BASIN INSERT**  
SCALE: N.T.S.



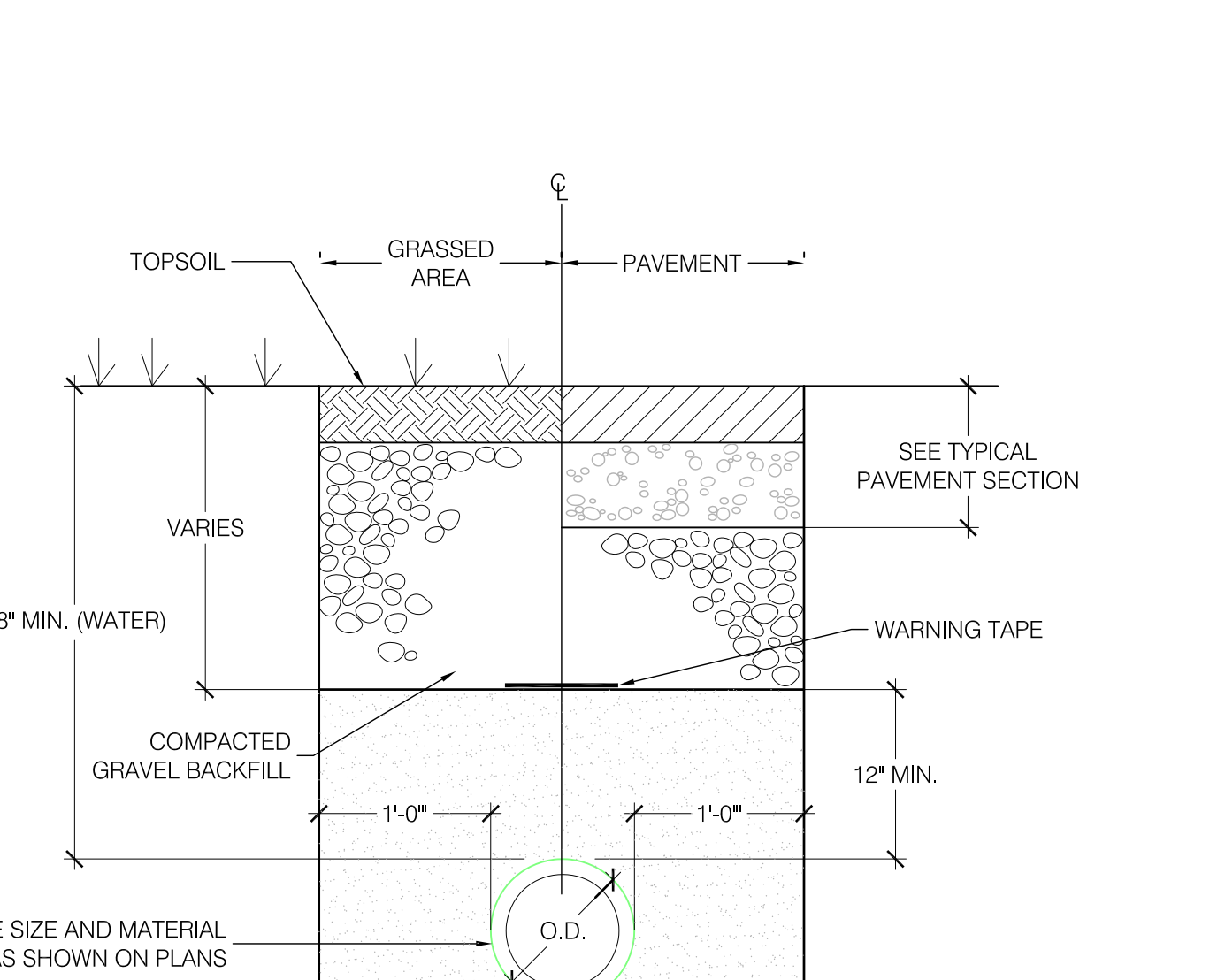
- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
  - THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCK PILE.
  - IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
  - COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
  - MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.

**E TEMPORARY SOIL STOCKPILE**  
SCALE: N.T.S.



- NOTES:**
- STORM DRAIN PIPE SHALL BE P.E. PIPE TYPE N-12 W/ WATER TIGHT COUPLINGS, BY ADS OR EQUAL, SCH. 40 PVC AS NOTED ON PLANS.
  - SEWER GRAVITY MAIN SHALL BE PVC SDR-35, 6 INCH DIAMETER.
  - SEWER FORCE MAIN SHALL BE C-900 PVC.

**F TYPICAL TRENCH SECTION (STORM DRAIN, SEWER)**  
SCALE: 1" = 1'-0"

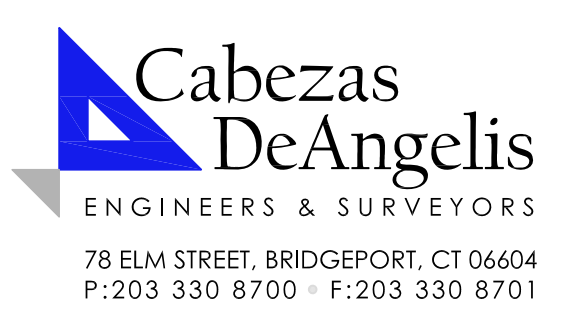


**G TYPICAL TRENCH SECTION (WATER)**  
SCALE: N.T.S.

- PROJECT DESCRIPTION:**
- THE PROJECT IS LOCATED AT THE FAIRFIELD HUNT CLUB, LOCATED AT 174 LONG LOTS ROAD, WESTPORT, CONNECTICUT. SITE WORK IS TO CONSTRUCT AN INDOOR RACQUET FACILITY OF APPROXIMATELY 23,000 SQUARE FEET. ADDITIONAL WORK INCLUDES INSTALLATION OF A NEW SANITARY LINE, ABANDONING THE EXISTING SEPTIC SYSTEM FOR THE EXISTING INDOOR RIDING BUILDING, IMPROVEMENTS TO THE PARKING AREA, AND IMPROVEMENTS TO THE RIDING RING SOUTH OF THE PROPOSED STRUCTURE. THE TOTAL AREA OF DISTURBANCE, INCLUDING THE CONSTRUCTION STAGING AREA IS APPROXIMATELY 84,000 SQUARE FEET.
- THE INTENT OF THIS EROSION AND SEDIMENT CONTROL PLAN IS TO COLLECT SEDIMENT IN RUN-OFF DURING EARTH WORK OPERATIONS BEFORE CONSTRUCTION AREAS MAY BE STABILIZED. THE MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED WHERE SHOWN ON THE PLANS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE. SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "2024 CT DEEP GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- EXISTING DRAINAGE CHANNELS AND STORM DRAINAGE STRUCTURES WILL BE MAINTAINED AND PROTECTED DURING CONSTRUCTION UNTIL NEW DRAINAGE APPURTENANCES, WHERE PROPOSED, ARE OPERATIONAL.
- THE SEQUENCE OF CONSTRUCTION IS TO TAKE PLACE AS FOLLOWS:
1. INSTALLATION OF NEW SANITARY SERVICE TO SERVE THE EXISTING RIDING BUILDING AND NEW STRUCTURE (INSTALLATION OF EROSION CONTROL AS NECESSARY FOR WORK)
2. SITE PREPARATION FOR STAGING AREA, ALONG WITH SITE EROSION CONTROL MEASURES.
3. BUILDING PAD PREPARATION:
- EXCAVATION AND INSTALLATION OF BUILDING PAD RETAINING WALL.
  - STABILIZATION OF SLOPE DOWN-SLOPE FROM RETAINING WALL.
4. BUILDING FOUNDATION AND DRAINAGE SYSTEM INSTALLATION.
- INFILTRATION CHAMBERS ARE CONSTRUCTED AS FOUNDATION WORK PROCEEDS.
  - EXCAVATED FOUNDATION AREA SERVES AS BUILDING PAD STORM INFILTRATION, AND STORMWATER CONTAINMENT AREA.
5. UTILITY SERVICES INSTALL.
6. STEEL FRAME ERECTION.
7. ROOFING AND CONNECTION OF ROOF DRAINAGE TO STORM SYSTEM.
8. INTERIOR BUILDING IMPROVEMENTS.
9. SITE GRADING, AND INSTALLATION OF PAVEMENT SUB-BASE AREAS.
10. FINAL PAVEMENT INSTALLATION, EXCLUDING PERVIOUS PAVEMENTS.
- DECOMPACT LANDSCAPE AREAS.
11. TOPSOIL, LANDSCAPING, AND SEEDING. IMPLEMENT FULL SITE STABILIZATION.
12. INSTALL PERVIOUS PAVEMENTS, INCLUDING GRAVEL BASE.
13. REMOVAL OF PERIMETER EROSION CONTROL MEASURES.
14. FINAL CLEAN-UP

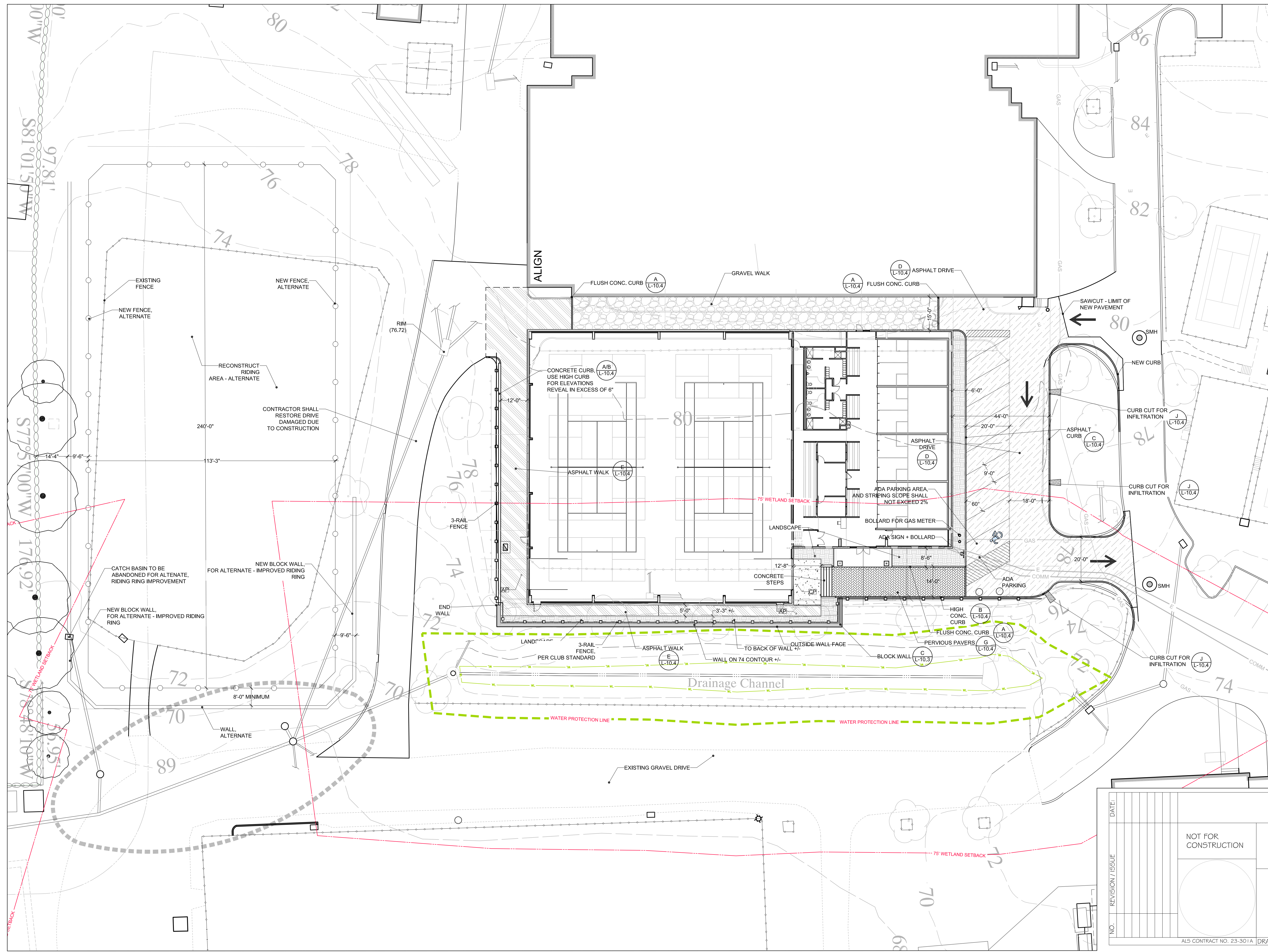
- SEDIMENTATION AND EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL ASSIGN A PERSON OR PERSONS WHO WILL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN AND DESCRIBED HEREIN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL METHODS AND NOTIFYING THE PLANNING AND ZONING OFFICER OF ANY TRANSFER OF THIS RESPONSIBILITY.
  - SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE AND SHALL CONSIST OF: ANTI-TRACKING PAD, HAYBALES, SILT FENCE, MULCH, AND TEMPORARY SEEDING. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
  - CLEAN OUT OF THE OIL/WATER SEPARATOR, CATCH BASIN SUMPS AND CULVERTS SHALL OCCUR ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD. THE ACCUMULATED SEDIMENT SHALL BE DISPOSED OF TO A LOCATION APPROVED BY THE ENGINEER OR CITY REPRESENTATIVE.
  - THE OWNER HAS THE AUTHORITY TO CONTROL THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION OPERATIONS AND TO DIRECT THE CONTRACTOR TO IMMEDIATELY PROVIDE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS, WATERCOURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT. EVERY EFFORT SHALL BE MADE BY THE CONTRACTOR TO PREVENT EROSION ON THE SITE AND ADJUTING PROPERTY.
  - THE LANDSCAPE ARCHITECT HAS THE AUTHORITY TO DIRECT THE CONTRACTOR TO DIVERT SURFACE WATER RUN-OFF AWAY FROM EXPOSED RAW EARTH SURFACES THROUGH THE USE OF TEMPORARY BERMS, DICES AND OVERFLOW CHANNELS.
  - THE EROSION CONTROL FEATURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE CHECKED DAILY AND AFTER EACH SEVERE RAIN STORM FOR DAMAGE. UNTIL SUCH FEATURES ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, NO LONGER NEEDED, ALL SEDIMENTATION TRAPS AND SEDIMENTATION BASINS SHALL HAVE THE ACCUMULATED SEDIMENT AND/OR CLEAN WATER REMOVED BEFORE IT SIGNIFICANTLY REDUCES THEIR STORAGE VOLUME OR FUNCTION, PRIOR TO THE NEXT RAIN STORM FORECAST FOR THE REGION.
  - THE CONTRACTOR SHALL, AT ALL TIMES, HAVE ON HAND THE NECESSARY MATERIALS AND EQUIPMENT TO PROVIDE FOR EARLY SLOPE STABILIZATION AND CORRECTIVE MEASURES TO DAMAGED SLOPES. THE CONTRACTOR SHALL RESPOND TO MAINTENANCE OR ADDITIONAL MEASURES ORDERED BY THE LANDSCAPE ARCHITECT WITHIN 24 HOURS.
  - THE CONTRACTOR SHALL PERFORM DUST CONTROL ON A DAILY BASIS DURING PERIODS OF DRY WEATHER, ON ALL AREAS WHERE SOIL HAS NOT YET BEEN STABILIZED AND AS DIRECTED BY THE ENGINEER.
  - THE CONTRACTOR SHALL OPERATE ALL EQUIPMENT AND PERFORM ALL CONSTRUCTION OPERATIONS SO AS TO MINIMIZE POLLUTION TO ADJACENT WATER COURSES OR WETLANDS AREAS. THE CONTRACTOR SHALL CEASE ANY OF HIS OPERATIONS WHICH WILL INCREASE POLLUTION DURING RAIN STORMS.
  - ALL SLOPES OF STOCKPILE MATERIAL AND OTHER DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED BY SURROUNDINGS WITH SILT FENCING OR HAY BALES, OR OTHERWISE PROTECTED AS APPROVED BY THE LANDSCAPE ARCHITECT. ALL DAMAGED AREAS SHALL BE REPAIRED AS SOON AS POSSIBLE. THE LANDSCAPE ARCHITECT SHALL LIMIT THE SURFACE AREA OF EACH MATERIAL EXPOSED IF THE CONTRACTOR FAILS TO SUFFICIENTLY PROTECT THE SLOPES TO PREVENT POLLUTION.
  - AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, WHEN ALL DISTURBED AREAS ARE STABILIZED WITH NEW TURF, PAVEMENT, ETC., THE CONTRACTOR SHALL COMPLETELY REMOVE ALL SEDIMENTATION AND EROSION CONTROL MEASURES (MULCH, HAY BALES AND RIP-RAP) FROM THE SITE, UNLESS SPECIFICALLY ORDERED BY THE LANDSCAPE ARCHITECT TO REMAIN IN PLACE. SILT FENCING SHALL BE CUT FLUSH WITH THE GROUND AND ANY ACCUMULATED SEDIMENTATION SHALL BE THINLY SPREAD UPON EXISTING GROUND COVER.

- MULCHES:** SHALL BE HAY, STRAW, WOOD CELLULOSE, WOOD CHIPS, STONE, NETTING, BURLAP OR OTHER SUITABLE MULCH MATERIAL AS APPROVED BY THE LANDSCAPE ARCHITECT. MULCHES SHALL BE REASONABLY CLEAN AND FREE OF NOXIOUS WEEDS AND DELETERIOUS MATERIALS. ASPHALT SPRAYS WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PREVENT STRAW, WOOD CHIPS, ETC., FROM ENTERING ANY RESERVOIRS OR WATERCOURSES.
- HAY BALES:** SHALL BE PLACED AROUND ALL EXISTING DRAINAGE INLETS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. THEY SHALL BE HELD IN PLACE BY TWO WOODEN STAKES IN EACH BALE. BALES SHALL BE MAINTAINED OR REPLACED AS ORDERED BY THE LANDSCAPE ARCHITECT UNTIL THEY ARE NO LONGER NECESSARY FOR THE PURPOSE INTENDED OR ARE ORDERED REMOVED BY THE LANDSCAPE ARCHITECT. HAY BALES SHALL BE MADE OF HAY WITH 40 POUNDS MINIMUM WEIGHT AND 120 POUNDS MAXIMUM WEIGHT. WOOD STAKES SHALL BE A MINIMUM OF 1 INCH BY 1 INCH NOMINAL SIZE BY A MINIMUM OF 3 FEET LONG.
- SILT FENCE:** SHALL CONSIST OF 3-FOOT WIDE GEOSYNTHETIC FABRIC WITH PREFABRICATED WOOD POSTS AS MANUFACTURED BY "MIRAFI" OR EQUAL. THE BOTTOM SIX INCHES OF FABRIC SHALL BE BURIED BY EITHER TRENCHING OR BY LAYING THE SIX INCH SECTION HORIZONTALLY ON THE GROUND AND BURRYING BY RAMMING THE TOPSOIL UP TO THE CONTROL FENCE.
- MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
  - MAXIMUM POST SPACING IS 10 L.F.
  - JOINTS IN FILTER FABRIC SHALL BE ONLY AT SUPPORT POSTS WITH
  - MINIMUM 6" OVERLAP, SECURELY SEALED
  - SILT FENCE SHALL NOT BE USED IN A WATER COURSE
  - FABRIC SUSCEPTIBLE TO SUNLIGHT DAMAGE SHALL NOT BE USED IN ANY INSTALLATIONS WHERE EXPOSURE TO LIGHT WILL EXCEED 30 DAYS, UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.
- TEMPORARY SWALES AND SEDIMENTATION BASINS MAY BE CONSTRUCTED OF RIP-RAP, MULCH, HAY BALES OR JUTE MESH. PORTLAND CONCRETE OR BITUMINOUS CONCRETE WILL NOT BE ALLOWED.
- TEMPORARY GRASS SEED SHALL BE PERENNIAL RYE-GRASS (LOLUM PERENNE) OR AN IMPROVED VARIETY THEREOF, SUCH AS MANHATTAN, HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT. THE SEEDING MAY BE ALTERED BY THE LANDSCAPE ARCHITECT IF REQUESTED BY THE CONTRACTOR TO SUIT SPECIAL AREAS OR CONDITIONS.

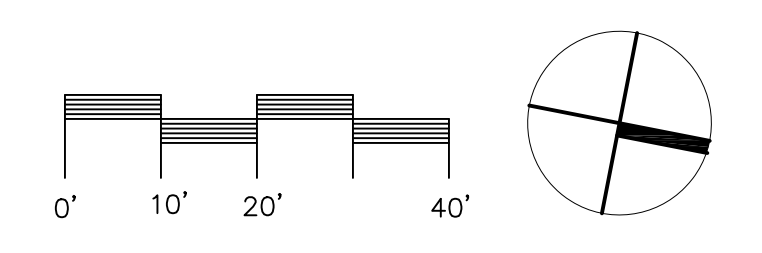


78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701

DATE:		DRAWING TITLE	
NO.	REVISION / ISSUE	EROSION + SEDIMENT CONTROL DETAILS	
NOT FOR CONSTRUCTION		Fairfield Hunt Club INDOOR RACQUET FACILITIES 174 Long Lots Road Westport, Connecticut 06	
ARIS LAND STUDIO Sustainability + Land Architecture		DATE: 11/6/2024	
78 Elm Street Bridgeport, CT 06604 www.arisls.com 203.606.3130		ISSUED FOR:	
ALS CONTRACT NO. 23-301A		CONSERVATION DEPARTMENT APPLICATION	
DRAWN BY:		DWG. No.:	
SCALE:		L-2.1	



NORTH



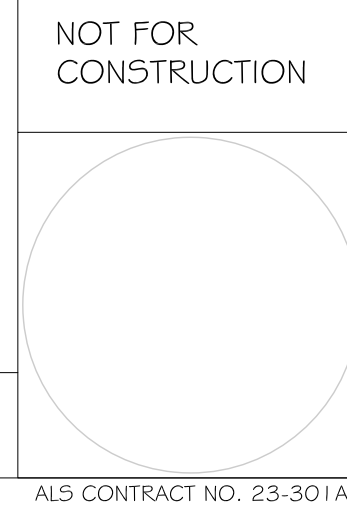
**Cabezas DeAngelis**  
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LAYOUT PLAN

Fairfield Hunt Club  
 INDOOR RACQUET FACILITIES  
 174 Long Lots Road  
 Westport, Connecticut 06

**ARIS LAND STUDIO**  
 Sustainability + Land Architecture  
 78 Elm Street  
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 www.arisls.com  
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NO.	REVISION / ISSUE	DATE



DATE: 11/16/2024  
 ISSUED FOR:  
 CONSERVATION  
 DEPARTMENT  
 APPLICATION  
 DWG. No.:  
 L-3.0

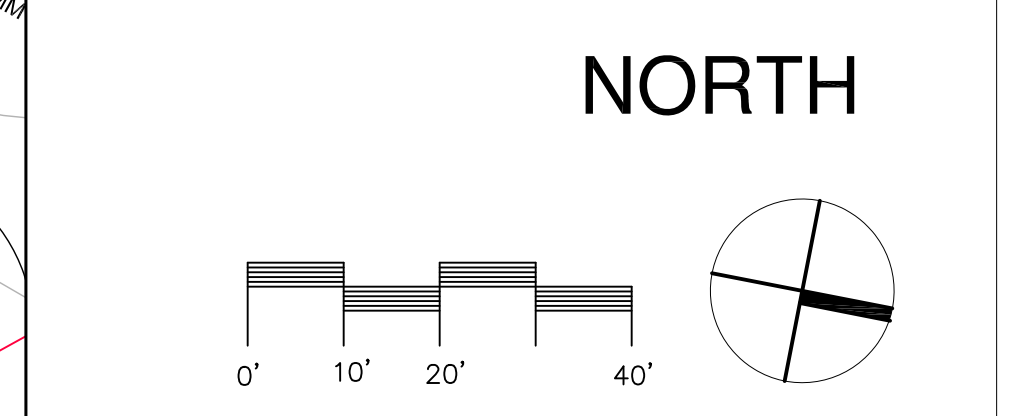
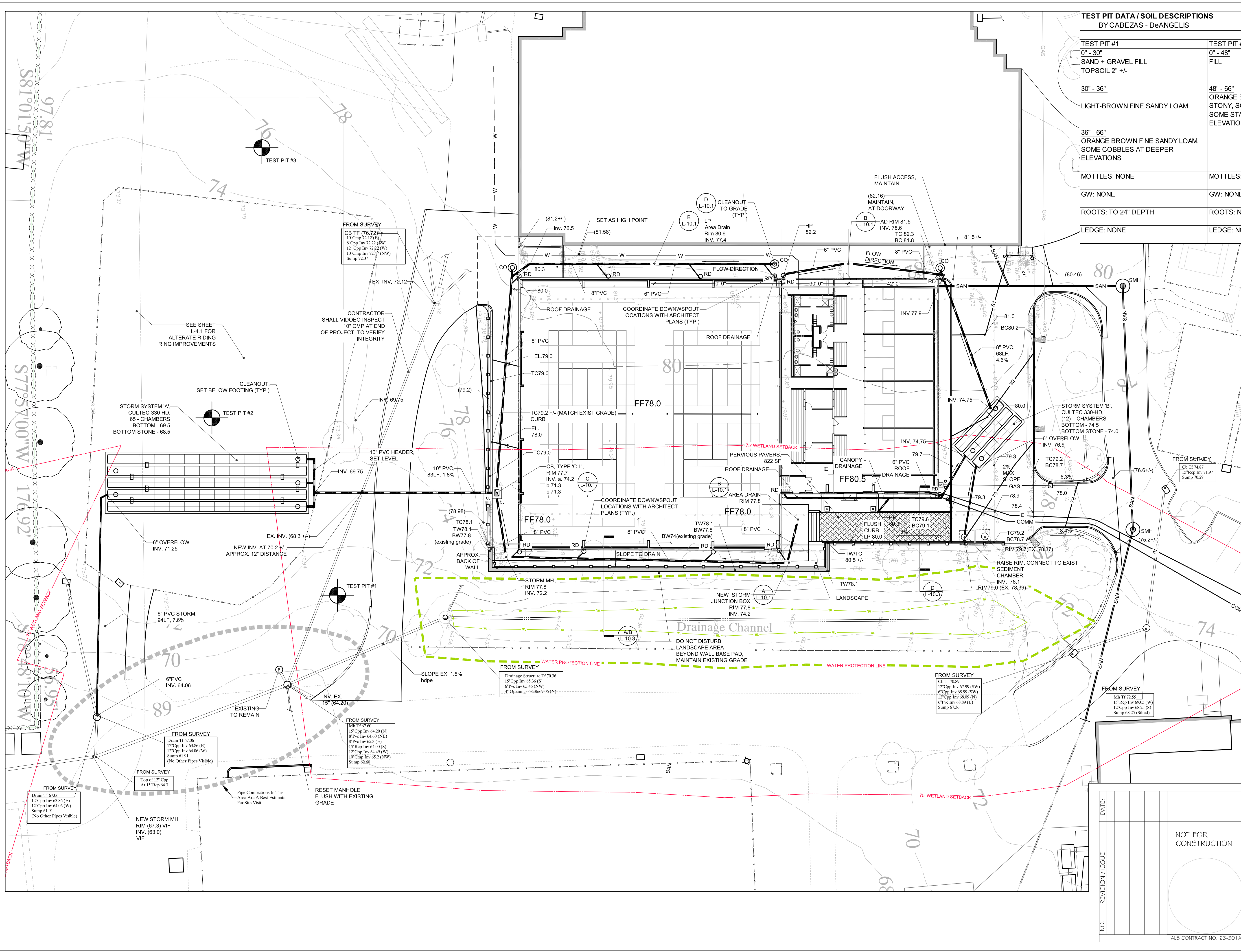
ALS CONTRACT NO. 23-301A DRAWN BY: SCALE: 1" = 20'

**TEST PIT DATA / SOIL DESCRIPTIONS**  
BY CABEZAS - DeANGELIS

July 31, 2024

TEST PIT #1	TEST PIT #2	TEST PIT #3
0" - 30" SAND + GRAVEL FILL TOPSOIL 2" +/-	0" - 48" FILL	0" - 18" TOPSOIL + FILL
30" - 36" LIGHT-BROWN FINE SANDY LOAM	48" - 66" ORANGE BROWN MEDIUM SAND, STONY, SOME COBBLES, SOME STAINING AT LOWER ELEVATIONS	18" - 36" LIGHT BROWN FINE SANDY LOAM, SLIGHT STAINING
36" - 66" ORANGE BROWN FINE SANDY LOAM, SOME COBBLES AT DEEPER ELEVATIONS		36" - 54" BROWN COARSE SAND, STONY WITH SOME COBBLES
MOTTLES: NONE	MOTTLES: NONE	MOTTLES: AT 42" DEPTH
GW: NONE	GW: NONE	GW: AT 54" DEPTH
ROOTS: TO 24" DEPTH	ROOTS: NONE	ROOTS: TO 24" DEPTH
LEDGE: NONE	LEDGE: NONE	LEDGE: NONE

TEST PIT #2 --TEST PIT LOCATION, AND IDENTIFYER



**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
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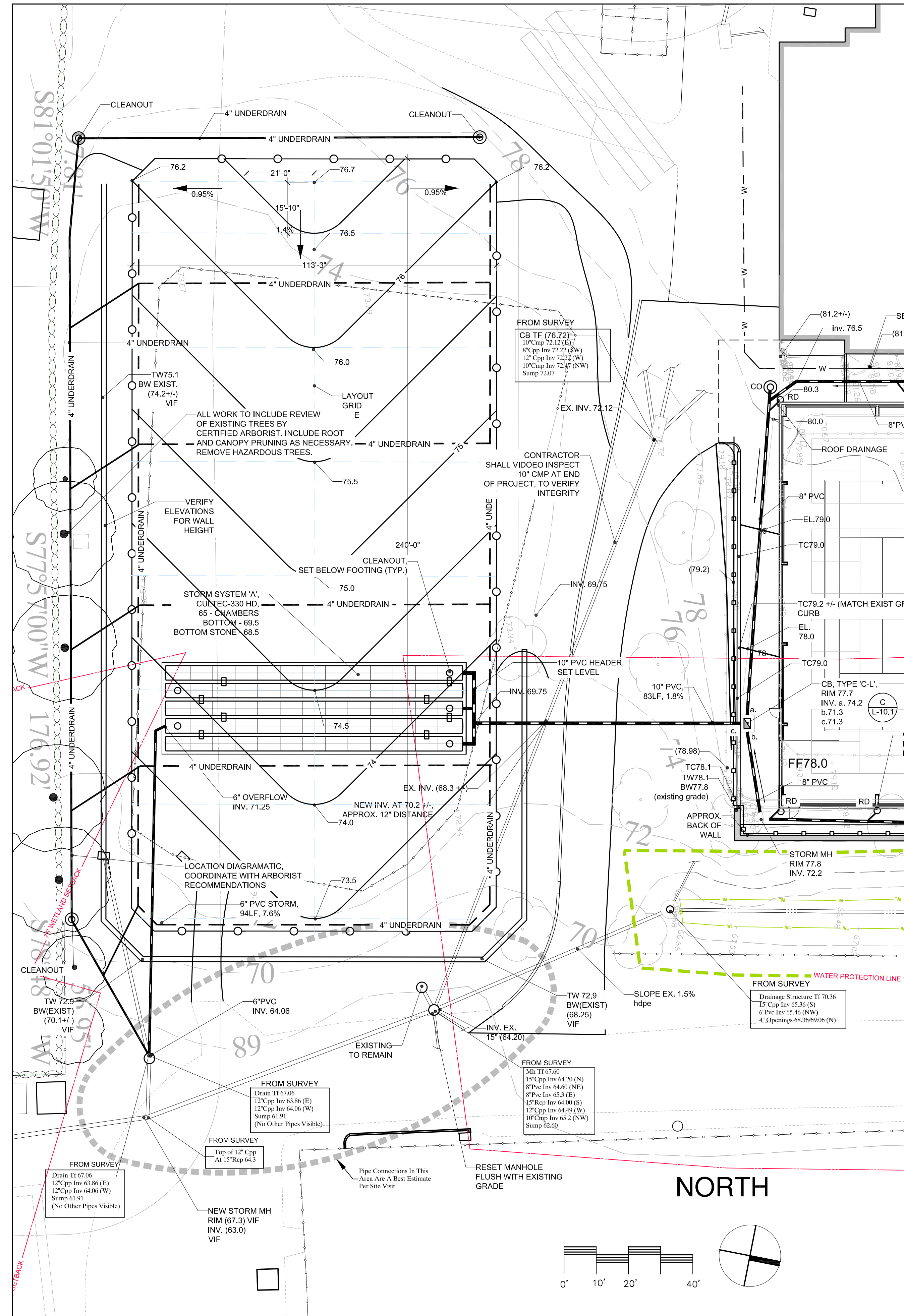
**GRADING + DRAINAGE PLAN**  
DRAWING TITLE

Fairfield Hunt Club  
INDOOR RACQUET FACILITIES  
174 Long Lots Road  
Westport, Connecticut 06

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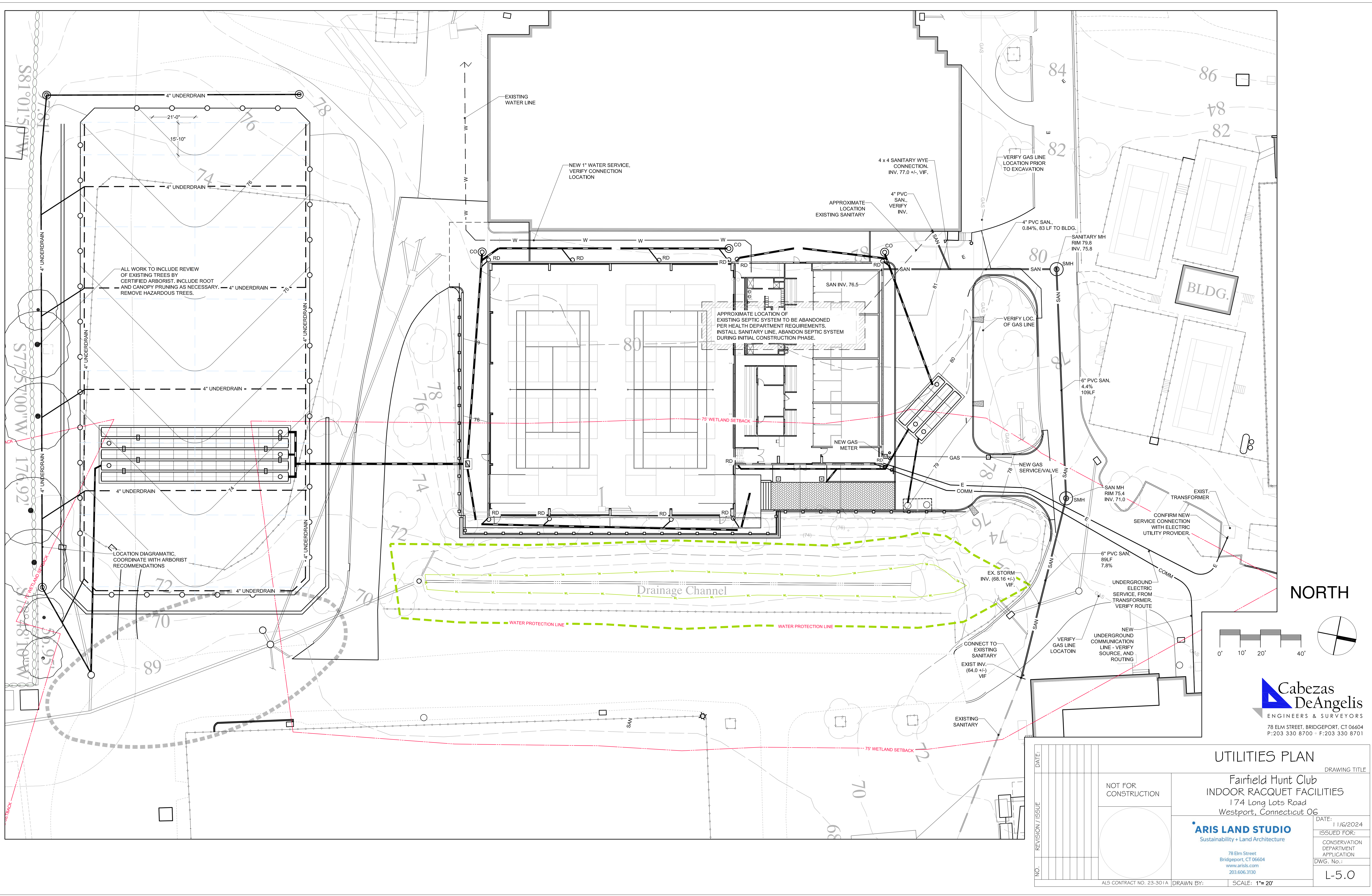
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DATE: 1/16/2024		DRAWING TITLE: GRADING + DRAINAGE PLAN w/ ALTERNATE	
REVISION / ISSUE		NOT FOR CONSTRUCTION	
NO.		Fairfield Hunt Club INDOOR RACQUET FACILITIES 174 Long Lots Road Westport, Connecticut 06 <b>ARIS LAND STUDIO</b> Sustainability + Land Architecture 78 Elm Street Bridgeport, CT 06604 www.arisls.com 203.606.3130	
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NO.		DWG. No.: L-4.1	
NO.		ALS CONTRACT NO. 23-301A DRAWN BY: SCALE: 1"= 20'	





ALL WORK TO INCLUDE REVIEW OF EXISTING TREES BY CERTIFIED ARBORIST. INCLUDE ROOT AND CANOPY PRUNING AS NECESSARY. 4" UNDERDRAIN REMOVE HAZARDOUS TREES.

LOCATION DIAGRAMATIC. COORDINATE WITH ARBORIST RECOMMENDATIONS

EXISTING WATER LINE

NEW 1" WATER SERVICE. VERIFY CONNECTION LOCATION

APPROXIMATE LOCATION OF EXISTING SEPTIC SYSTEM TO BE ABANDONED PER HEALTH DEPARTMENT REQUIREMENTS. INSTALL SANITARY LINE. ABANDON SEPTIC SYSTEM DURING INITIAL CONSTRUCTION PHASE.

4 x 4 SANITARY WYE CONNECTION. INV. 77.0 +/- V.I.F.

APPROXIMATE LOCATION EXISTING SANITARY

4" PVC SAN. VERIFY INV.

VERIFY GAS LINE LOCATION PRIOR TO EXCAVATION

4" PVC SAN. 0.84% 63 LF TO BLDG.

SANITARY MH RIM 78.8 INV. 75.8

6" PVC SAN. 4.4% 109LF

SAN MH RIM 75.4 INV. 71.0

6" PVC SAN. 89LF 7.8%

UNDERGROUND ELECTRIC SERVICE. FROM TRANSFORMER. VERIFY ROUTE

VERIFY GAS LINE LOCATION

NEW UNDERGROUND COMMUNICATION LINE - VERIFY SOURCE, AND ROUTING

BLDG.

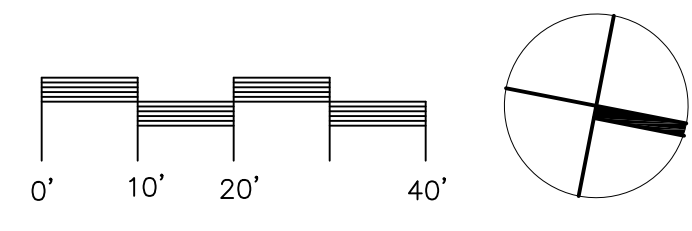
EXIST. TRANSFORMER

CONFIRM NEW SERVICE CONNECTION WITH ELECTRIC UTILITY PROVIDER.

CONNECT TO EXISTING SANITARY EXIST INV. (64.0 +/-) V.I.F.

EXISTING SANITARY

NORTH



**Cabezas DeAngelis**  
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**UTILITIES PLAN** DRAWING TITLE

Fairfield Hunt Club  
INDOOR RACQUET FACILITIES  
174 Long Lots Road  
Westport, Connecticut 06

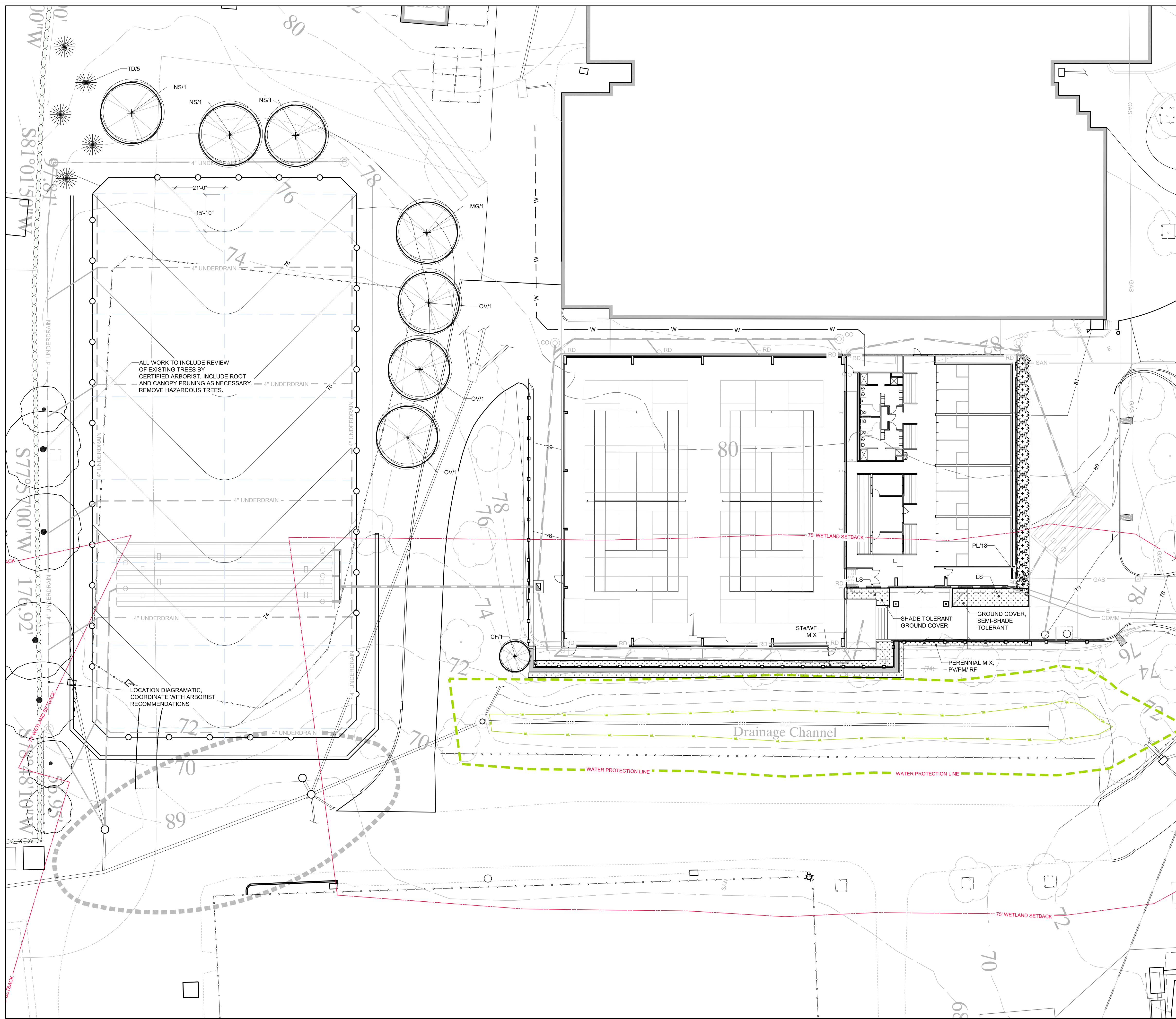
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**L-5.0**

NO.	REVISION / ISSUE	DATE

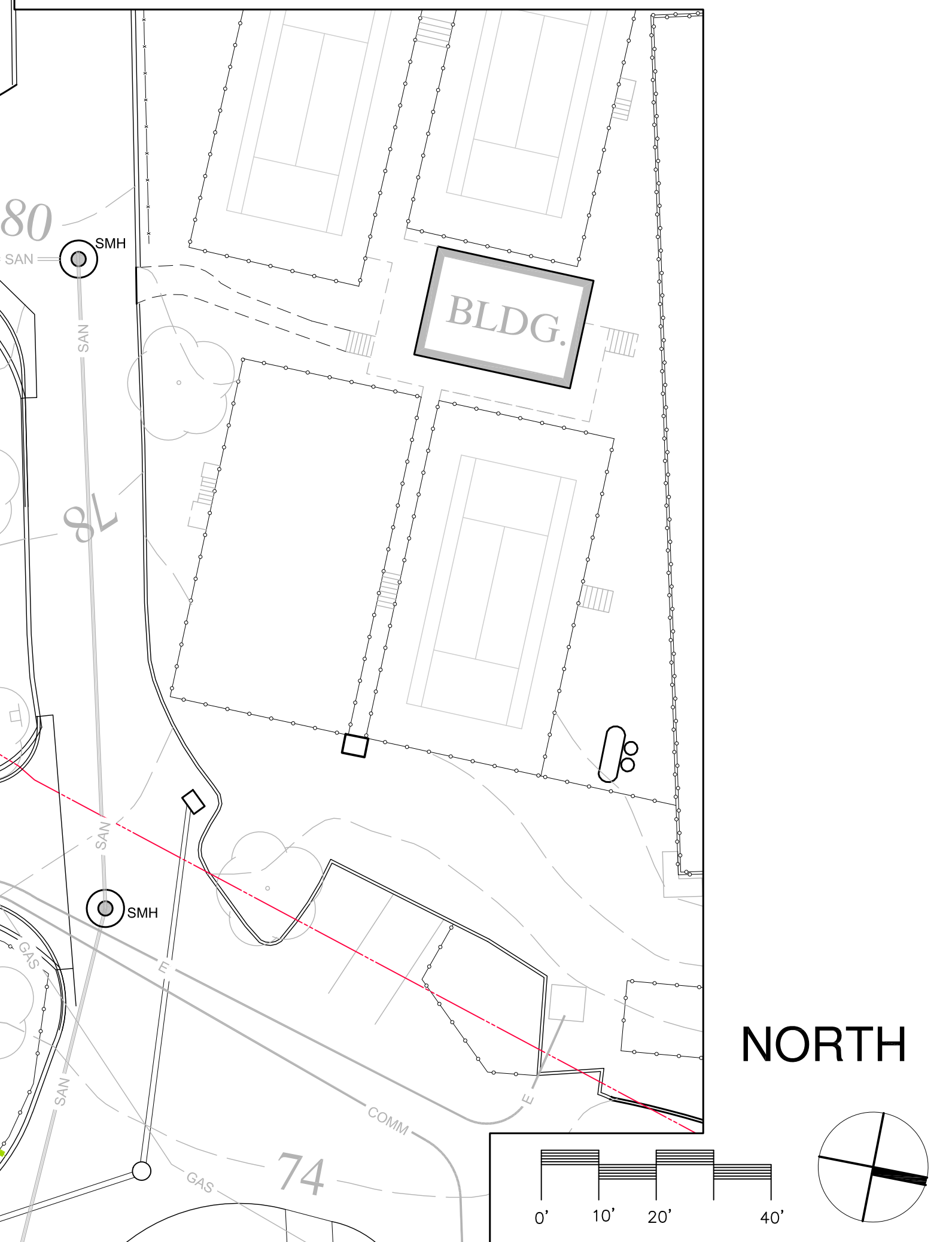
ALS CONTRACT NO. 23-301A DRAWN BY: SCALE: 1" = 20'



### PLANT SCHEDULE

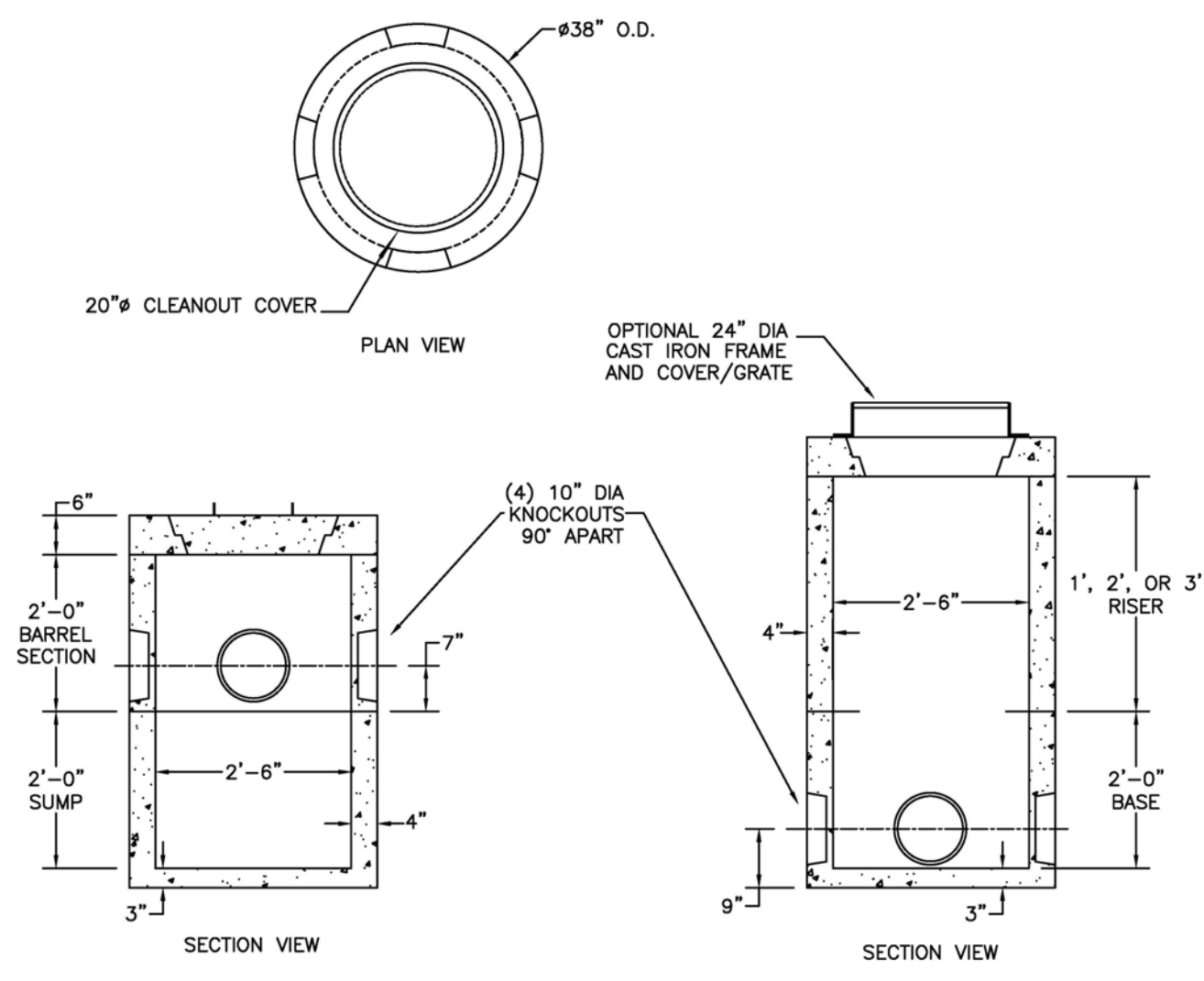
Quantity	Symbol	Botanical name	Common Name	Size	notes
<b>TREES</b>					
1	CF	<i>Cornus Florida 'Cherokee Chief'</i>	Red Flowering Dogwood	2- 2 1/2" CAL.	B&B
1	MG	<i>Metasequia glyptostroboides</i>	Dawn Redwood	7'-8' HT.	B&B, branching to ground
3	NS	<i>Nyssa sylvatica</i>	Black Tupelo	2 1/2" - 3" CAL.	B&B
3	OV	<i>Ostrya virginiana</i>	American Hophornbeam	2" - 2 1/2" CAL.	B&B
5	TD	<i>Taxodium distichum</i>	Common Baldcypress	7'-8' HT.	B&B
<b>SHRUBS</b>					
18	PL	<i>Prunus laurocerasus 'Otto Luyken'</i>	Cherry Laurel	30"-36"	B+B
<b>PERENNIALS / GROUNDCOVERS</b>					
TBD	LS	<i>Liriope spicata</i>	Lily Turf	#1 Cont.	18" O.C.
TBD	RF	<i>Rudbeckia fulgida var sullivantii 'Goldsturm'</i>	Coneflower	#1 Cont.	24" O.C.
TBD	PM	<i>Pycnanthemum muticum.</i>	Mountain Mint	#1 Cont.	24" O.C.
TBD	PV	<i>Panicum virgatum 'Northwind'</i>	Switch Grass	#1 Cont.	24" O.C.
TBD	St	<i>Sedum ternatum</i>	Three leaved Stonecrop	4" POT	6" O.C.
TBD	WF	<i>Waldsteinia fragarioides</i>	Barren Strawberry	2" plug	6" O.C.

Plants, including groundcovers / perennials may be changed due to availability, soil conditions, or due to maintenance strategies



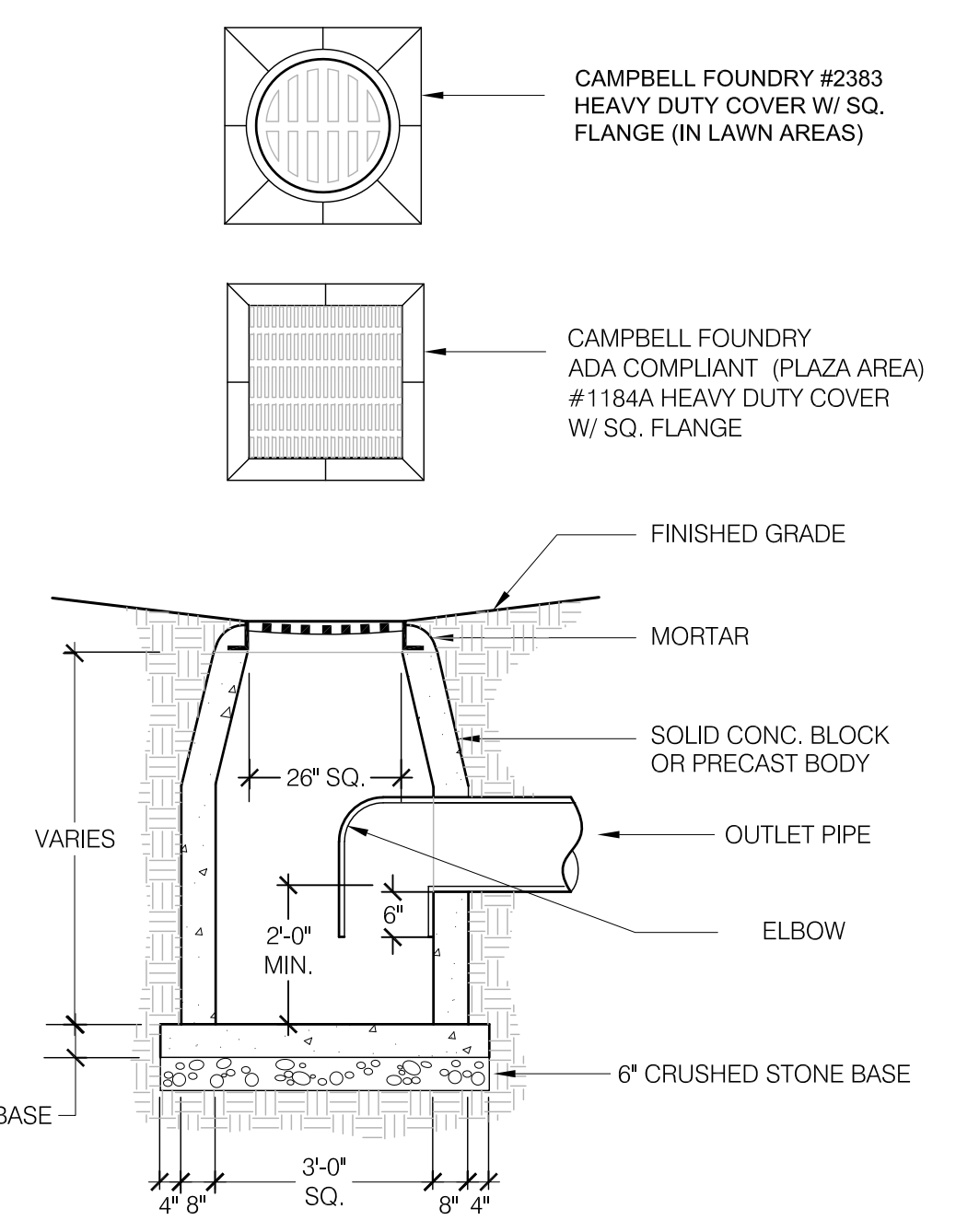
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DATE: 1/16/2024		DRAWING TITLE: PLANTING PLAN	
ISSUED FOR: NOT FOR CONSTRUCTION		Fairfield Hunt Club INDOOR RACQUET FACILITIES 174 Long Lots Road Westport, Connecticut 06	
CONSERVATION DEPARTMENT APPLICATION		ARIS LAND STUDIO Sustainability + Land Architecture	
DWG. No.: L-6.0		78 Elm Street Bridgeport, CT 06604 www.arisls.com 203.606.3130	
SCALE: 1"= 20'		ALS CONTRACT NO. 23-301A DRAWN BY:	

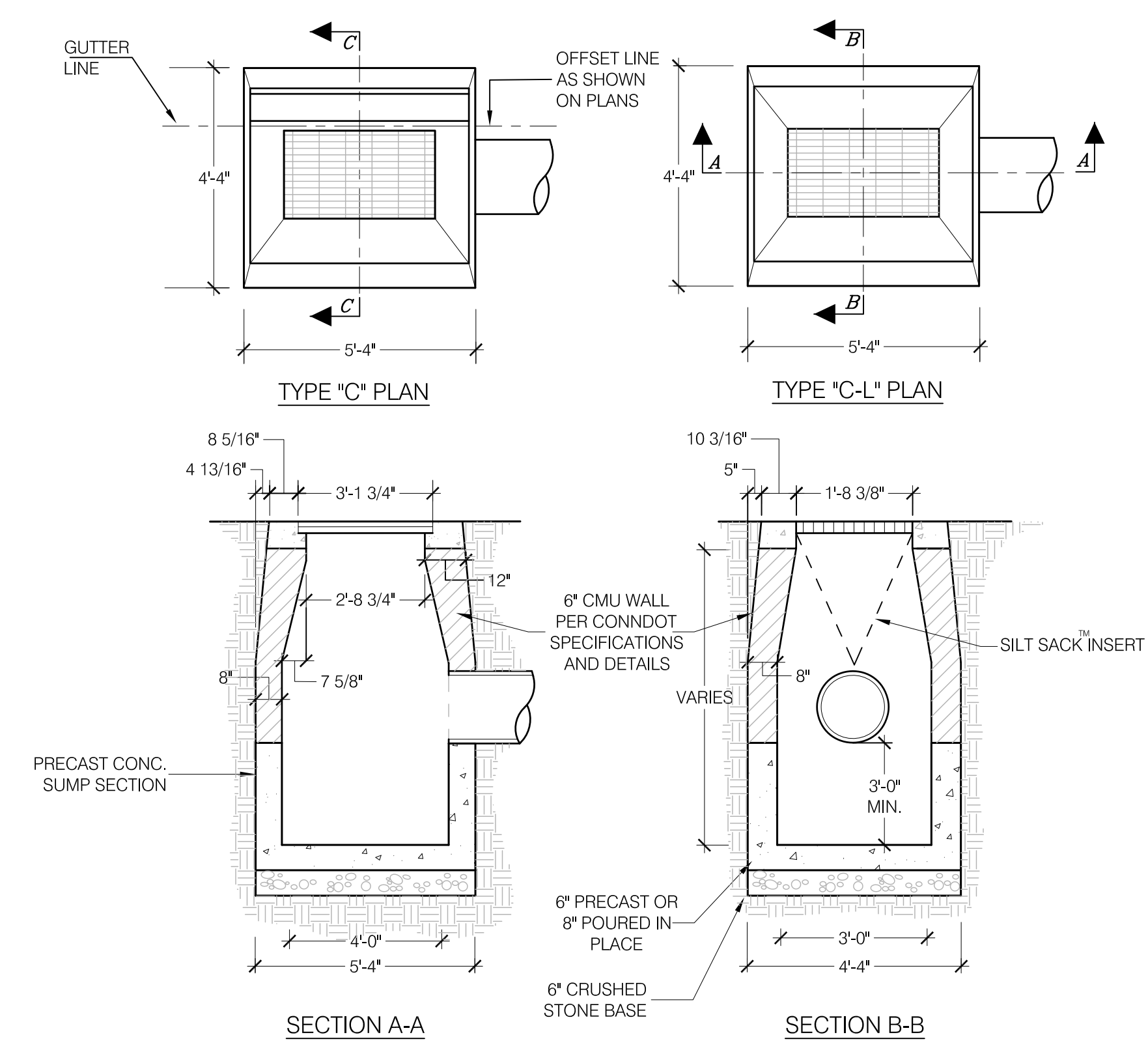


NOTES:  
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
2. DESIGNED FOR AASHTO HS-20 LOADING, 1-5 FEET COVER.

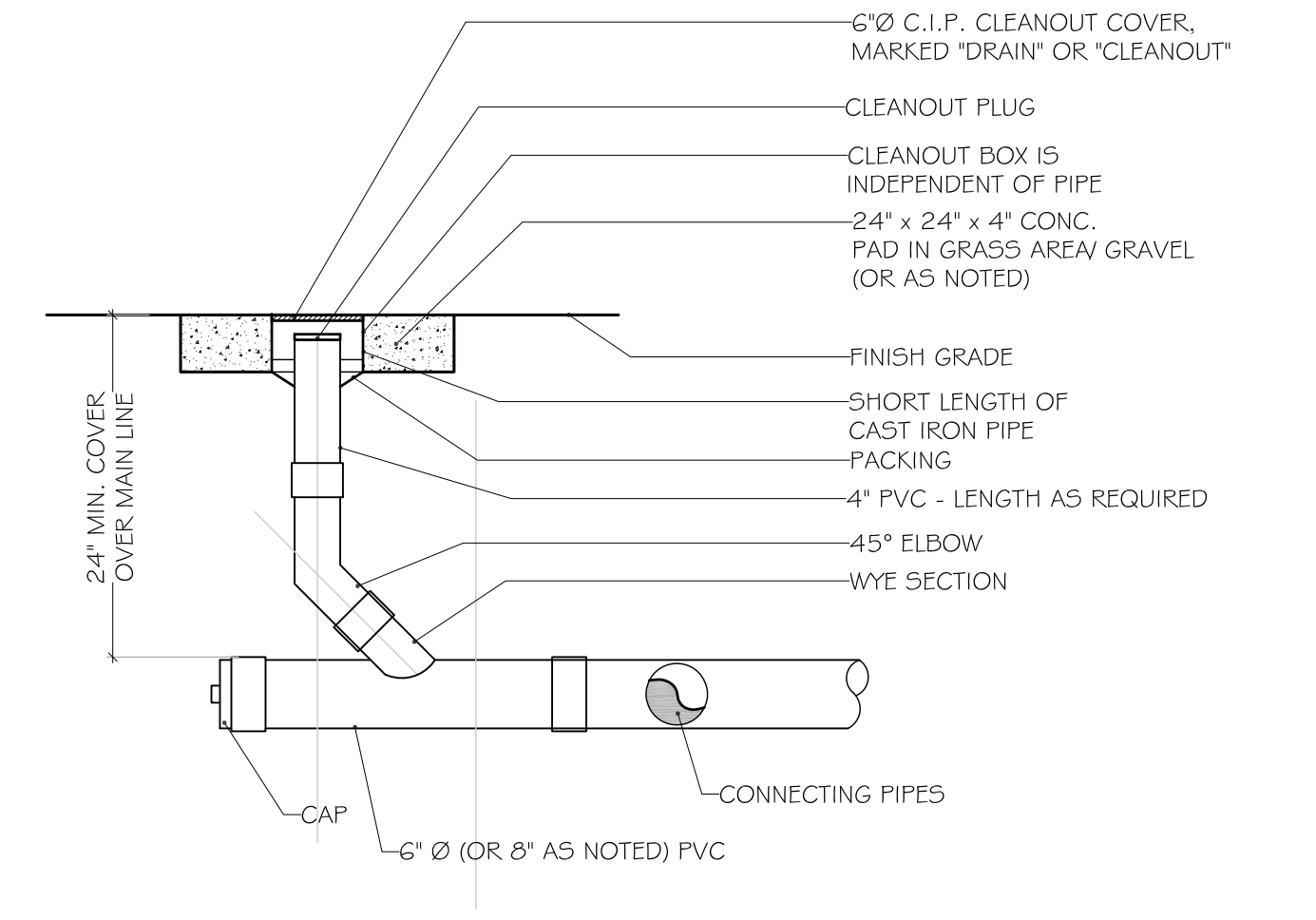
**A** STORM JUNCTION BOX  
SCALE: N.T.S.



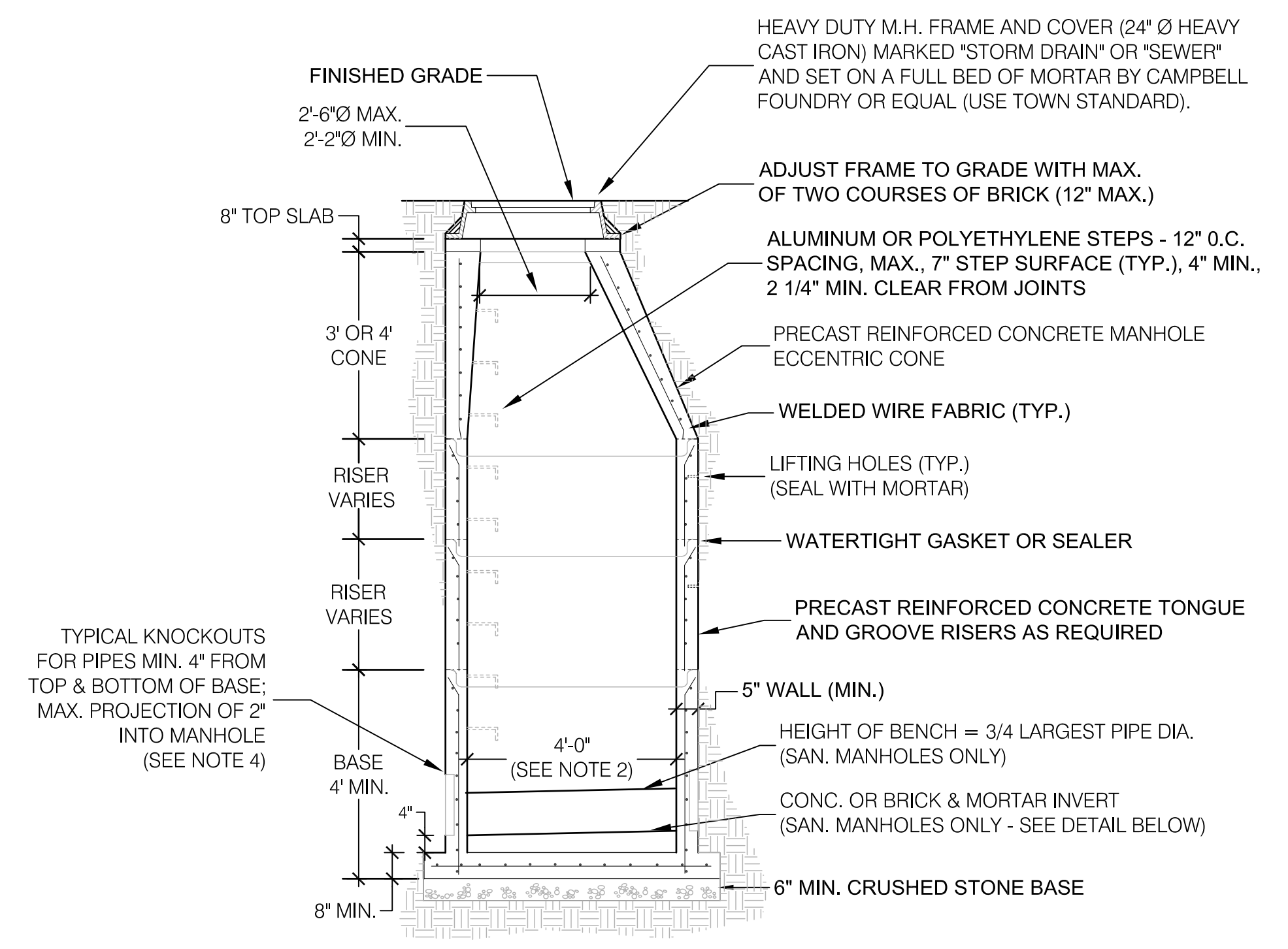
**B** AREA DRAIN  
SCALE: N.T.S.



**C** TYPICAL CATCH BASIN - TYPE "C" OR "C-L"  
SCALE: N.T.S.

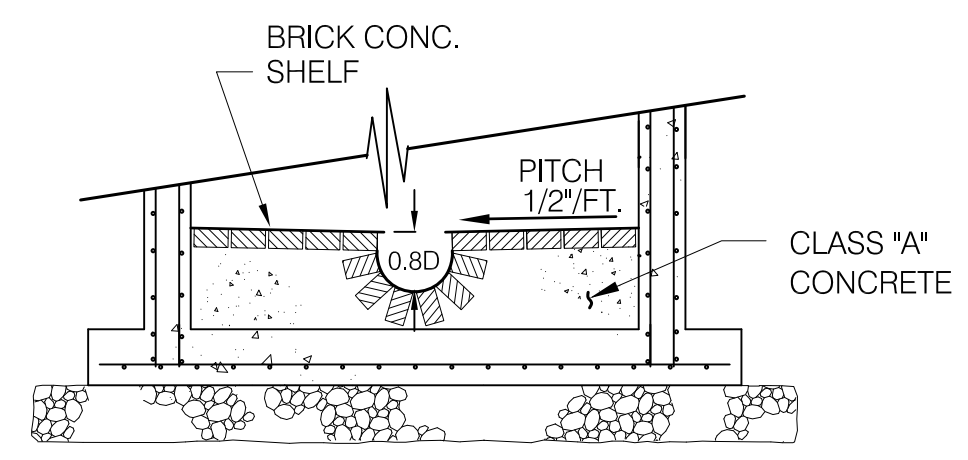


**D** TYPICAL CLEANOUT (LANDSCAPE + PAVED AREAS)  
SCALE: 3/4" = 1'-0"

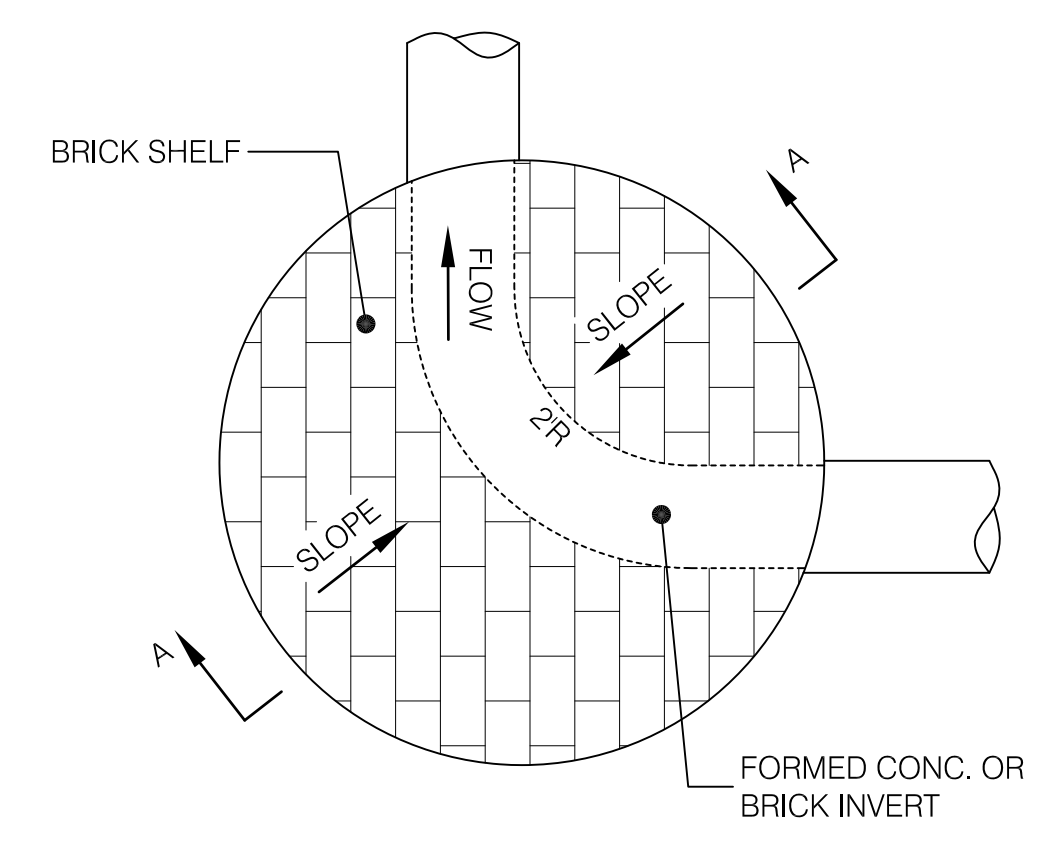


NOTES:  
1. 8" SOLID RADIAL CONC. BLOCKS MAY BE SUBSTITUTED FOR PRECAST CONC. UNITS; PLASTER OUTSIDE OF MANHOLE W/ 1/2" THICK MORTAR COAT WHEN USING CONC. BLOCK.  
2. MANHOLE BASE SECTION DIAMETER: 6" TO 18"Ø PIPES - BASE DIA. 4'-0" 21" TO 27"Ø PIPE - BASE DIA. 5'-0" 30" TO 42"Ø PIPES - BASE DIA. 6'-0"  
3. 5' OR 6' DIA. PRECAST BASES MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5' AND 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESSES TO INCREASE 1" FOR EACH 1' OF INSIDE DIAMETER INCREASE.  
4. SANITARY MANHOLE PIPE CONNECTIONS TO CONSIST OF PREFABRICATED RUBBER BOOT SIZED TO FIT.

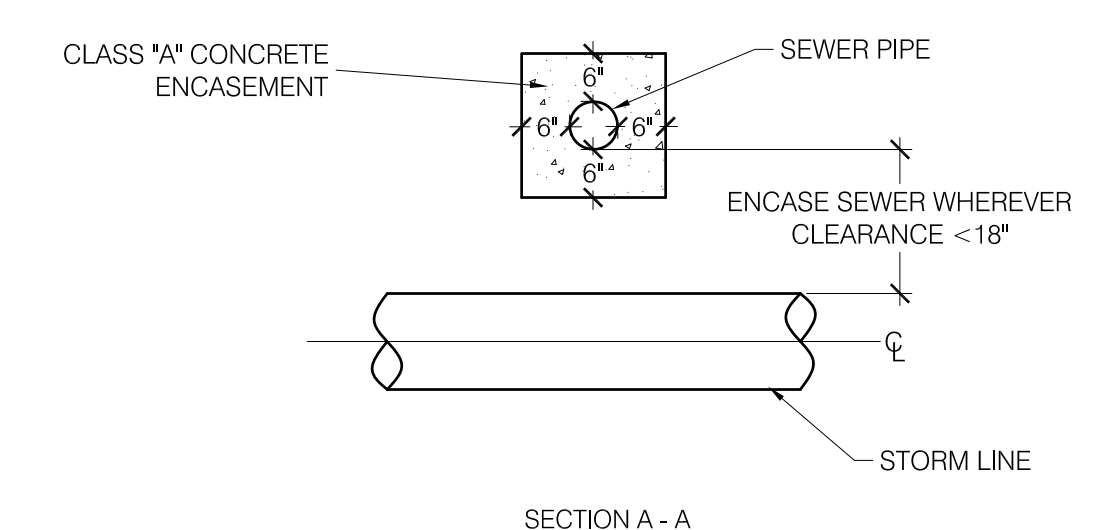
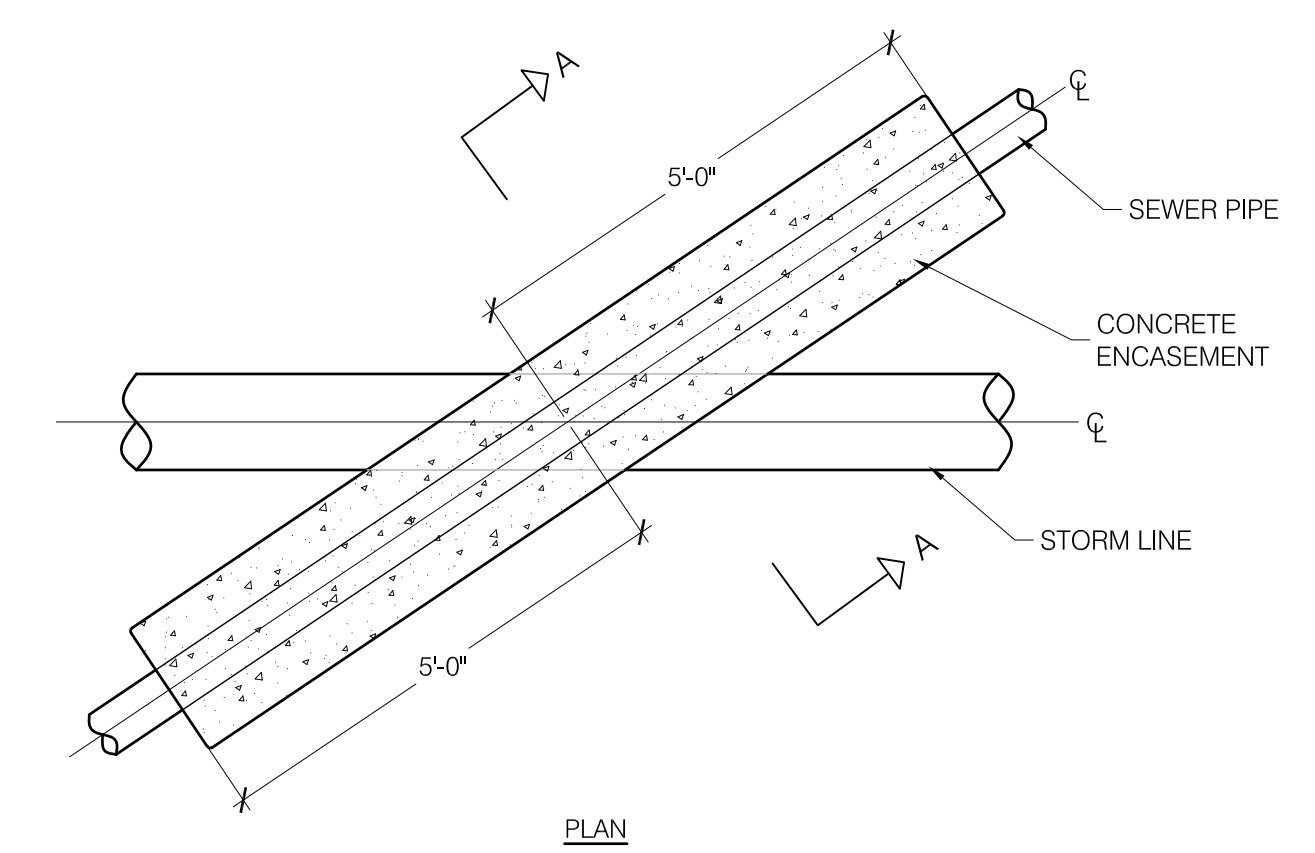
**E** TYPICAL STORM DRAIN & SANITARY SEWER MANHOLE  
SCALE: N.T.S.



SECTION A-A



DETAIL OF SANITARY MANHOLE INVERT



**F** CONCRETE ENCASEMENT FOR SANITARY SEWER  
SCALE: N.T.S.



NO.		REVISION / ISSUE	DATE

**DRAINAGE DETAILS**  
DRAWING TITLE

Fairfield Hunt Club  
INDOOR RACQUET FACILITIES  
174 Long Lots Road  
Westport, Connecticut 06

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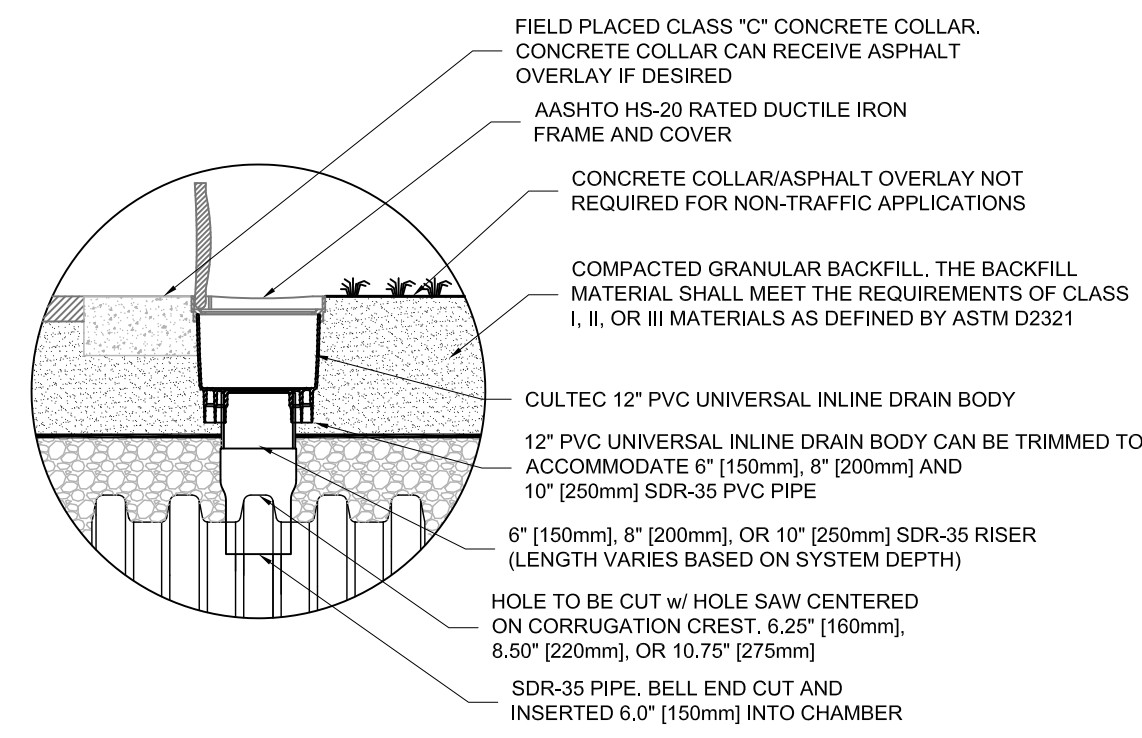
**GENERAL NOTES**

CULTEC RECHARGER<sup>®</sup> 330XLHD PRODUCT SPECIFICATIONS, OR APPROVED EQUAL

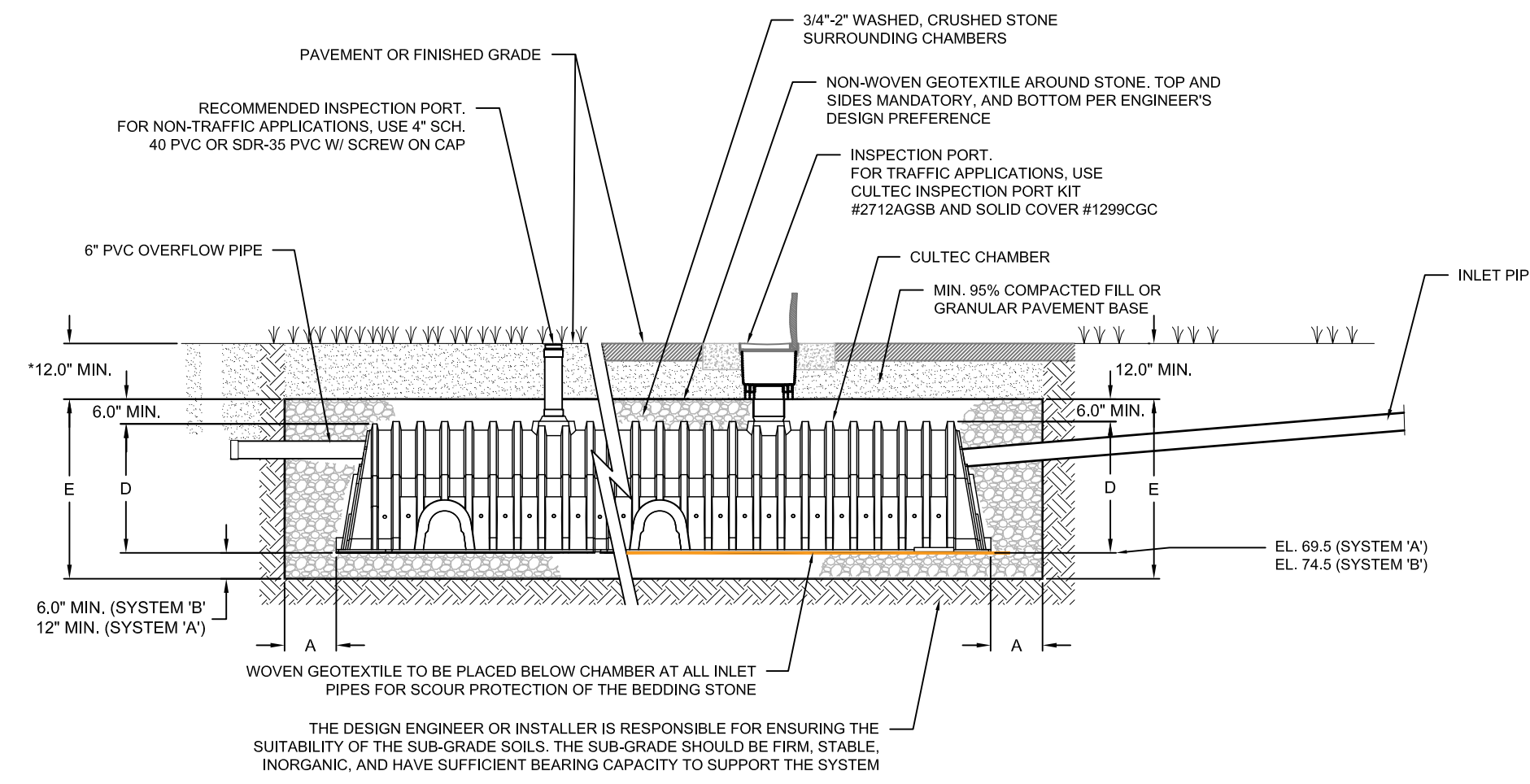
**GENERAL**  
CULTEC RECHARGER<sup>®</sup> 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416), OR APPROVED EQUAL.  
CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS, OR APPROVED EQUAL.

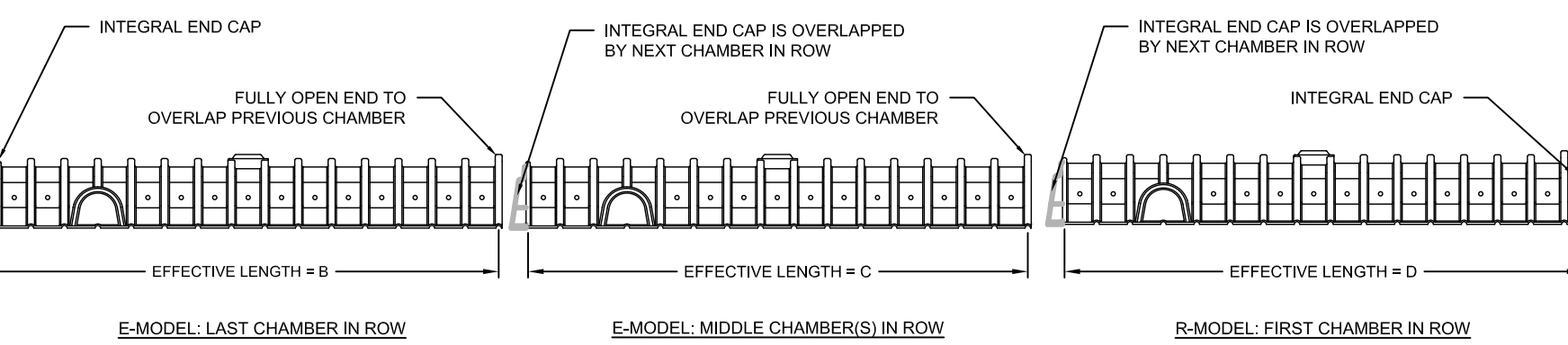
**FEED CONNECTOR**  
CULTEC HVLV FC-48 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD.  
1. THE NOMINAL DIMENSIONS OF THE CULTEC HVLV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (457 mm) WIDE AND 24.2 INCHES (614 mm) LONG.



**CULTEC INSPECTION PORT - ZOOM DETAIL**

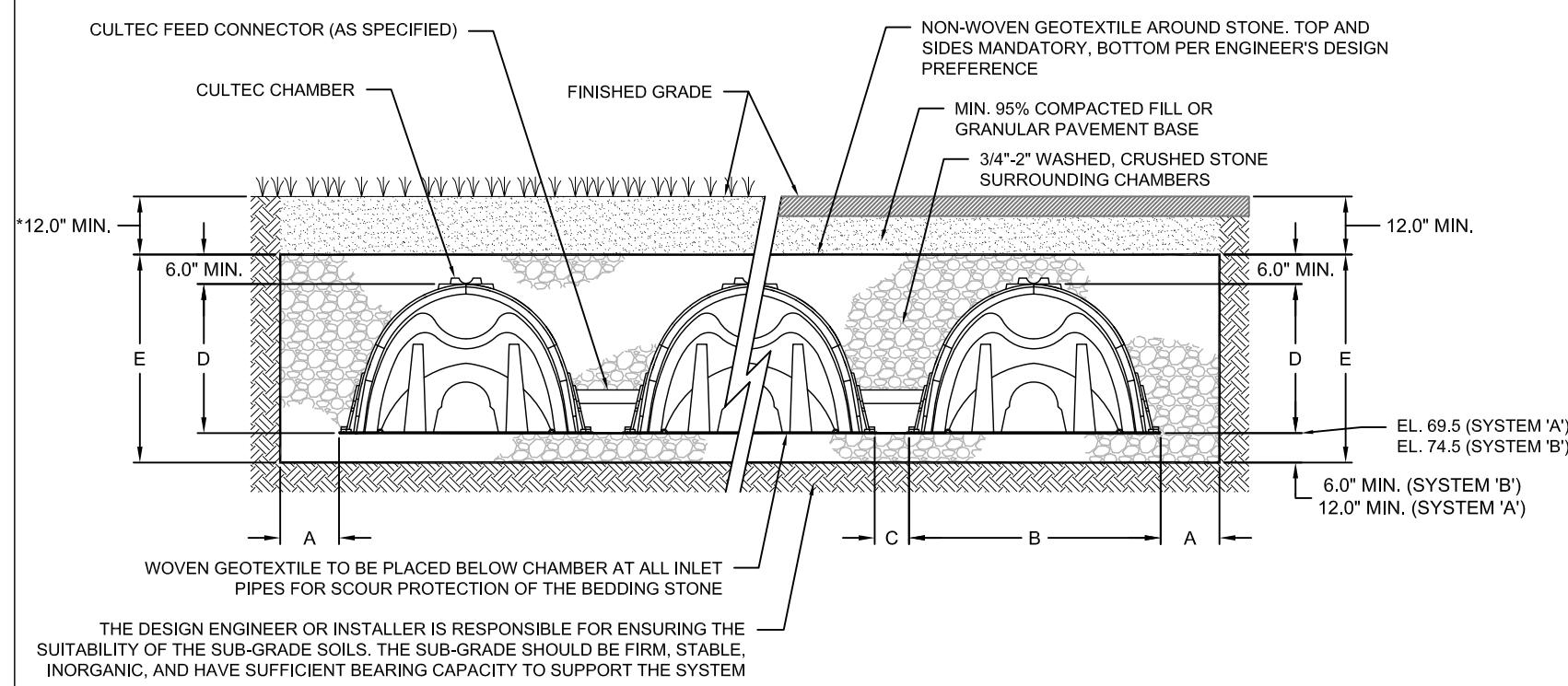


**TYPICAL SYSTEM PROFILE DETAIL**



CHAMBER LENGTH TABLE		
REF.	LOCATION	RECHARGER 330XLHD
A	N/A	N/A
B	FIRST CHAMBER OF ROW	93"
C	MIDDLE CHAMBER(S)	84"
D	LAST CHAMBER OF ROW	93"

**CHAMBER LENGTH DETAIL & LENGTH TABLE**



\*FOR NON-TRAFFIC APPLICATIONS, THE DEPTH OF COVER ABOVE THE EMBEDMENT STONE LAYER MAY BE REDUCED TO 6.0"

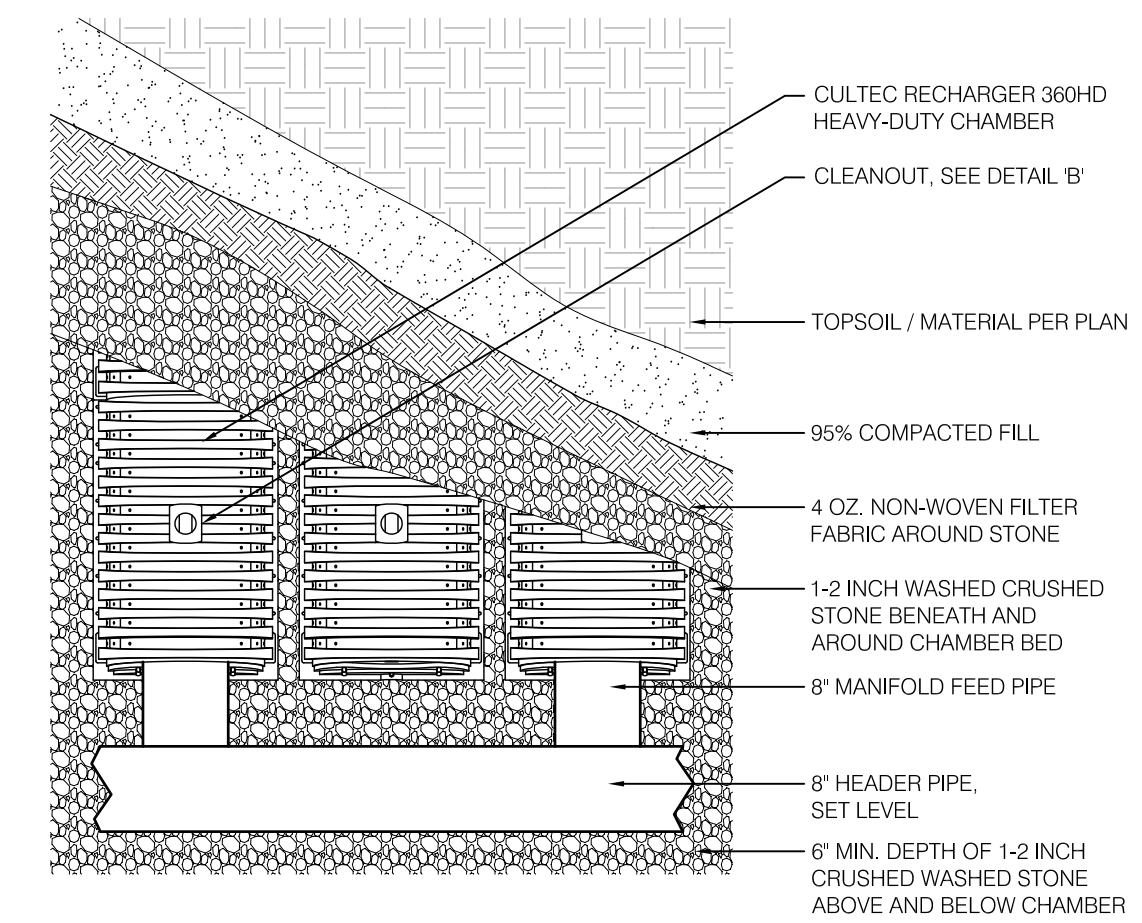
**SPECIFICATION TABLE**

		RECHARGER 330XLHD
REF.	BARE CHAMBER VOLUME	7.46 FT <sup>3</sup> /FT 52.21 FT <sup>3</sup> /UNIT 391 GAL
A	STONE BORDER (IN)	12
B	CHAMBER WIDTH (IN)	52
C	ROW SPACING (IN)	6
D	CHAMBER HEIGHT (IN)	30
E	EFFECTIVE DEPTH (IN)	42

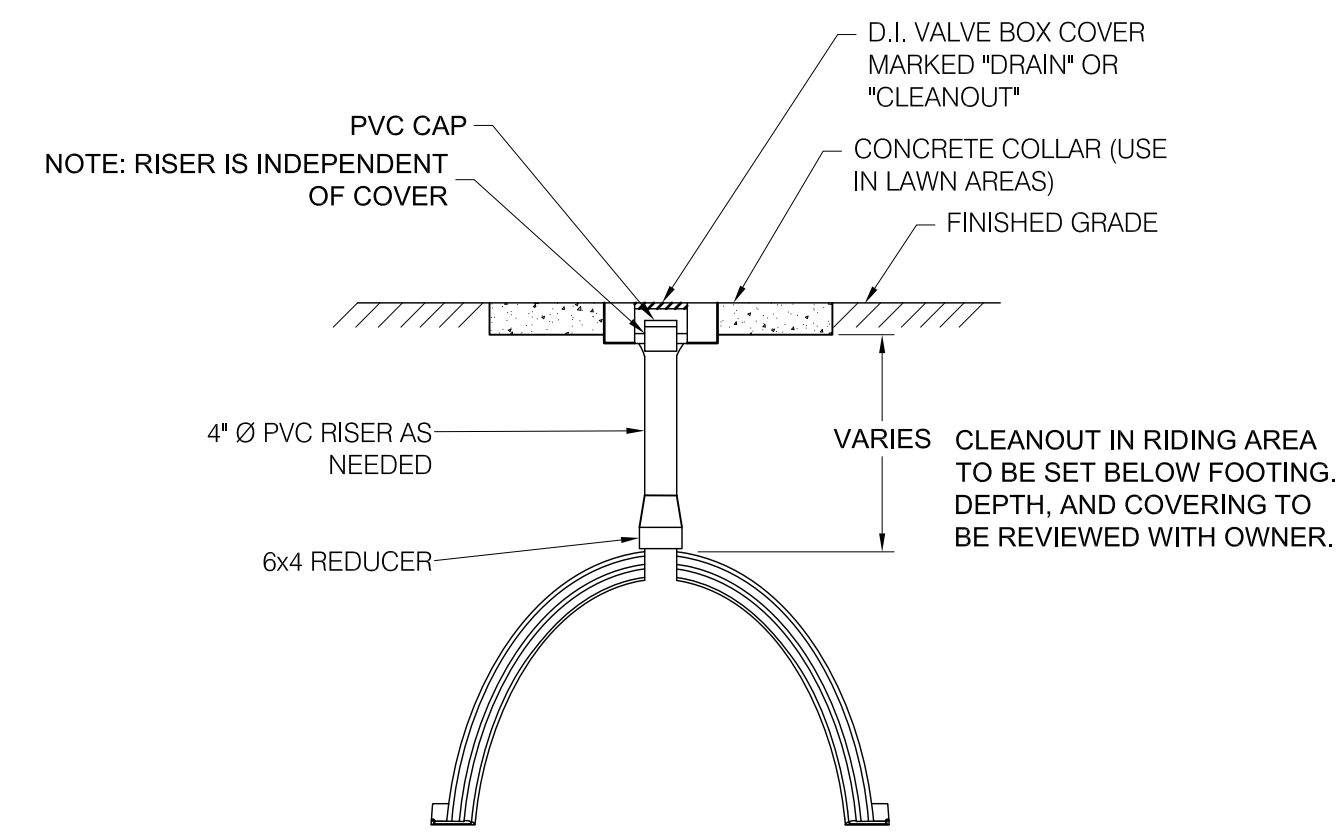
PIPE	B
6" [150 mm]	1.00" [25 mm]
8" [200 mm]	1.00" [25 mm]
10" [250 mm]	1.25" [32 mm]
12" [300 mm]	1.75" [45 mm]

\*THE TYPICAL INVERT TABLE ABOVE IS BASED ON THE INSIDE DIAMETER OF STANDARD CORRUGATED PLASTIC PIPE. THE HEAVY DUTY END CAP HAS PRE-MARKED TRIM LINES FOR PIPE DIAMETERS 12" (300mm), 15" (375mm), 18" (450mm) AND 24" (600mm). PIPES OF ANY SIZE AND MATERIAL 1/8" TO 24" (600mm) MAY BE PLACED AT CUSTOM LOCATIONS AND CUSTOM INVERTS. 30" (750 mm) SMOOTH-WALL SDR-35 PVC PIPE MAY BE USED AT THE BOTTOM OF THE END CAP. THE CROWN OF THE PIPE MUST REMAIN A MINIMUM OF 3" (75mm) FROM THE EDGE OF THE HEAVY DUTY END CAP.

**CULTEC RECHARGER TYPICAL PIPE INVERTS**



**CULTEC R330HD - TYPICAL MANIFOLD LAYOUT**  
SCALE: NTS



**TYPICAL CLEANOUT**  
SCALE: NTS

**TYPICAL SYSTEM CROSS-SECTION DETAIL & SPECIFICATION TABLE**

**Cabezas DeAngelis**  
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UNDERGROUND STORMWATER SYSTEM  
DRAWING TITLE

Fairfield Hunt Club  
INDOOR RACQUET FACILITIES  
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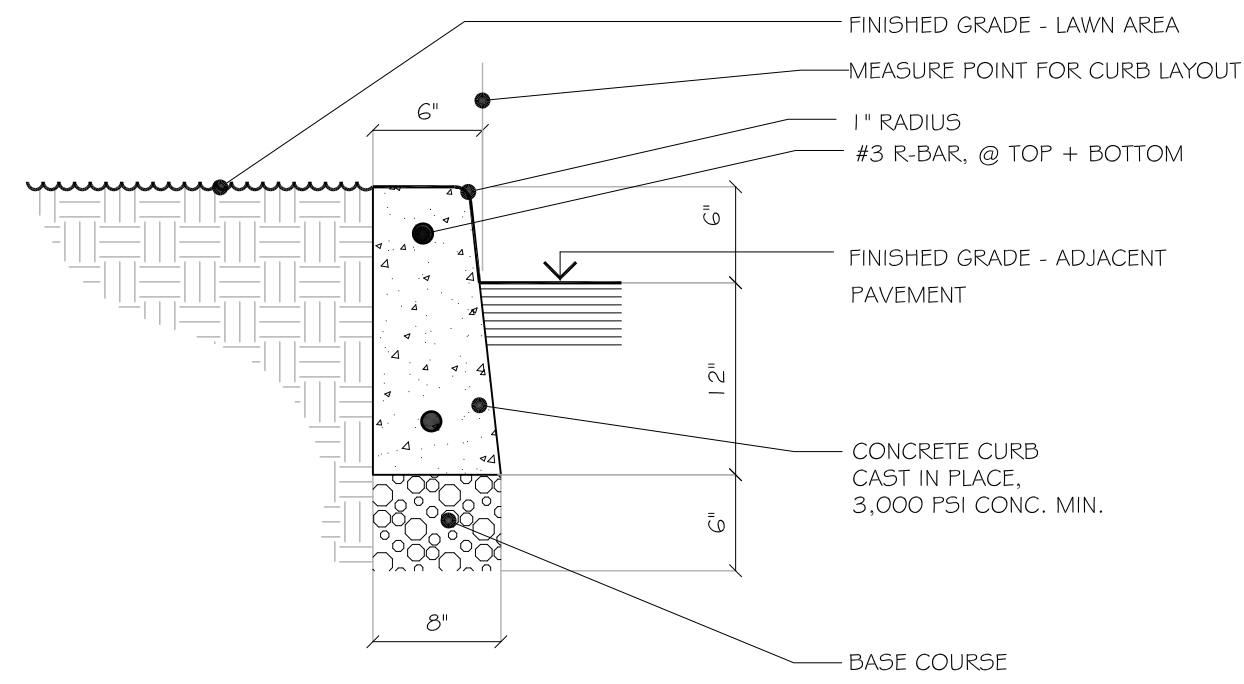
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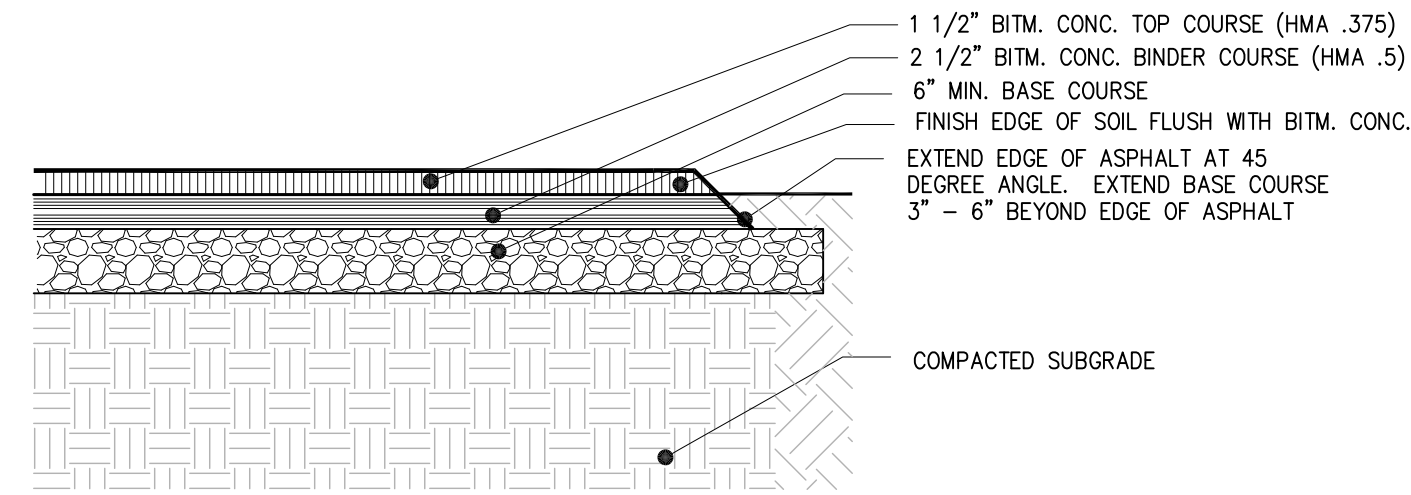
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AL5 CONTRACT NO. 23-301A | DRAWN BY: | SCALE:

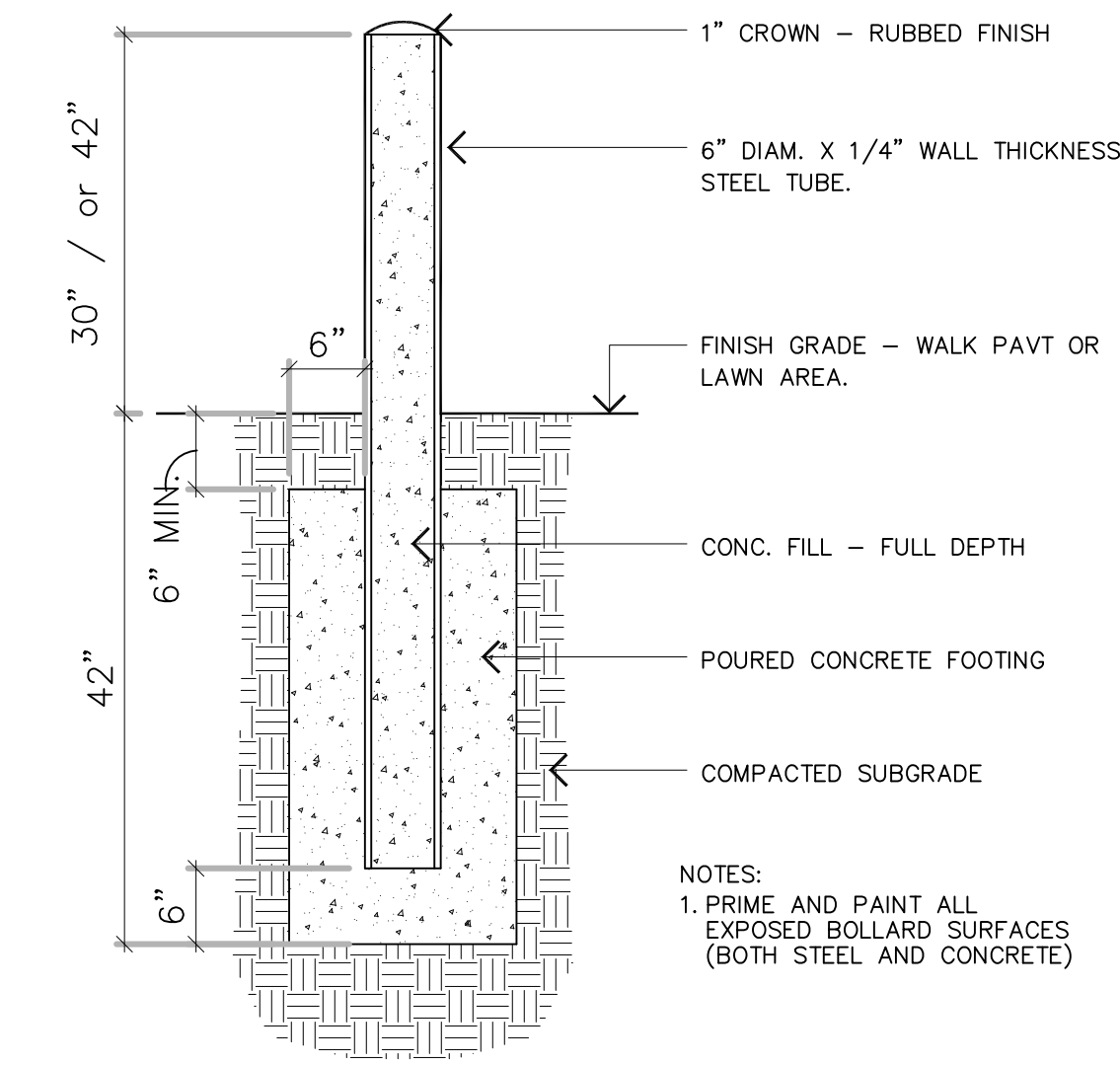




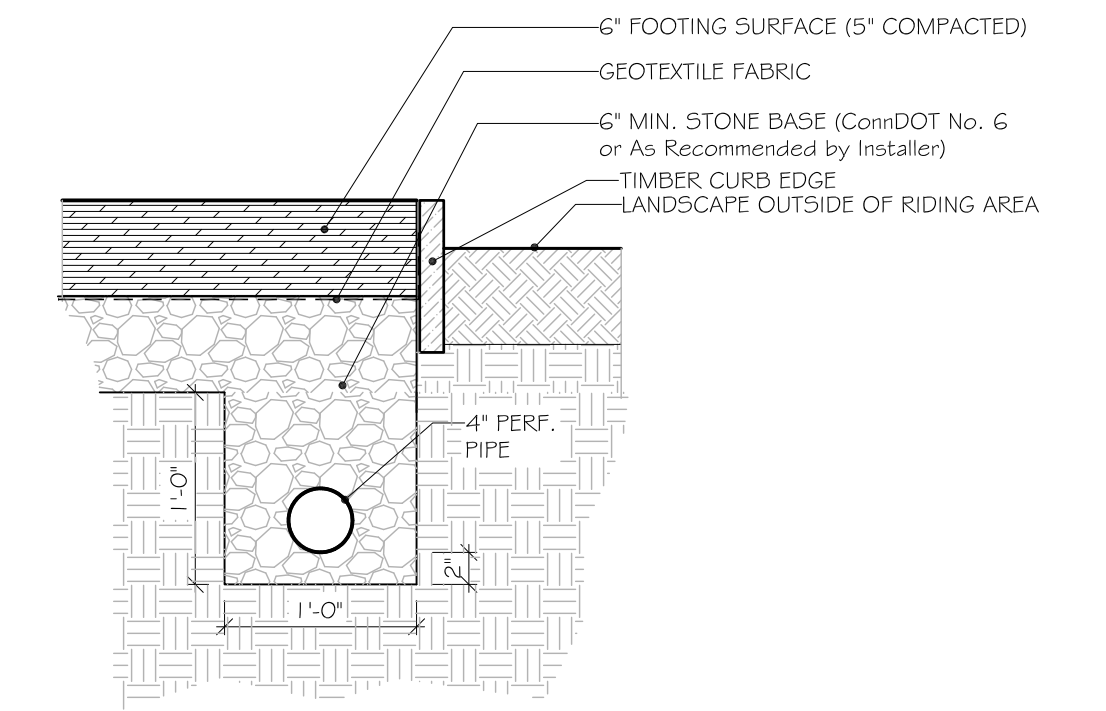
**A CONCRETE CURB** NTS



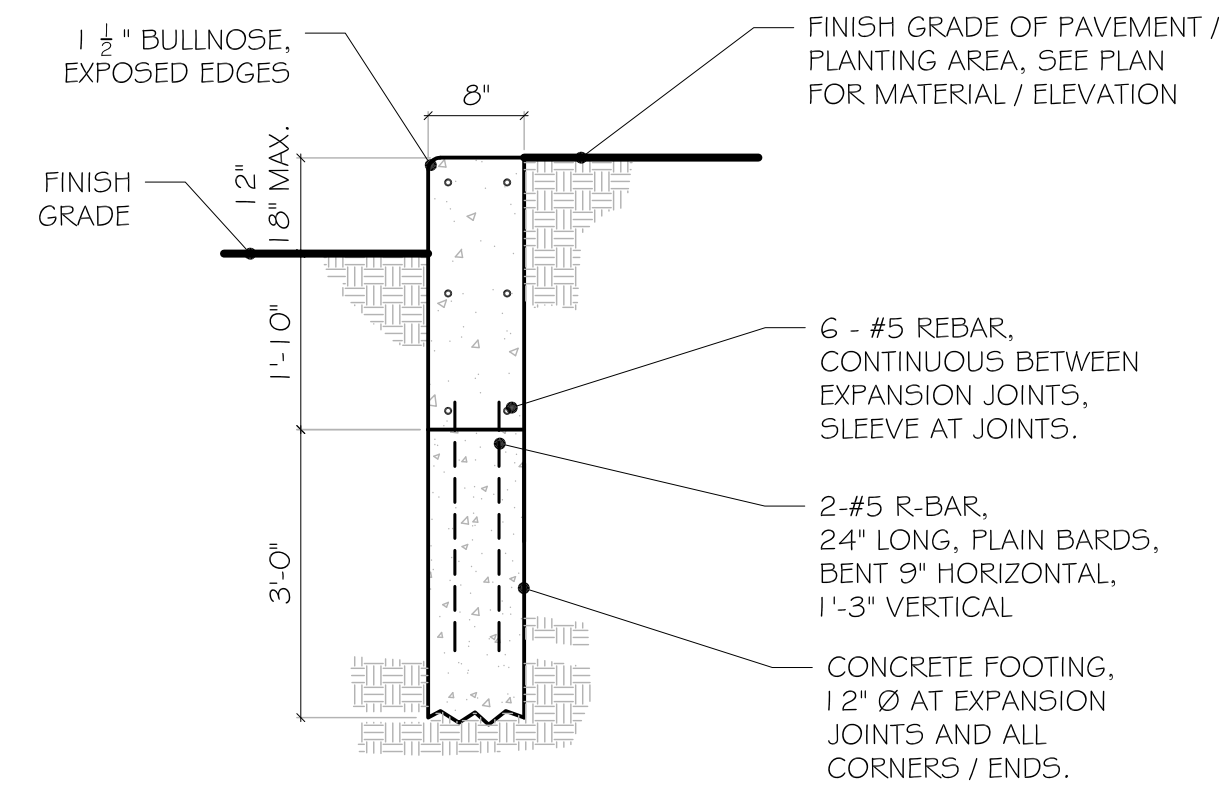
**D BITM. CONC. PAVEMENT-DRIVE/PARKING** NTS



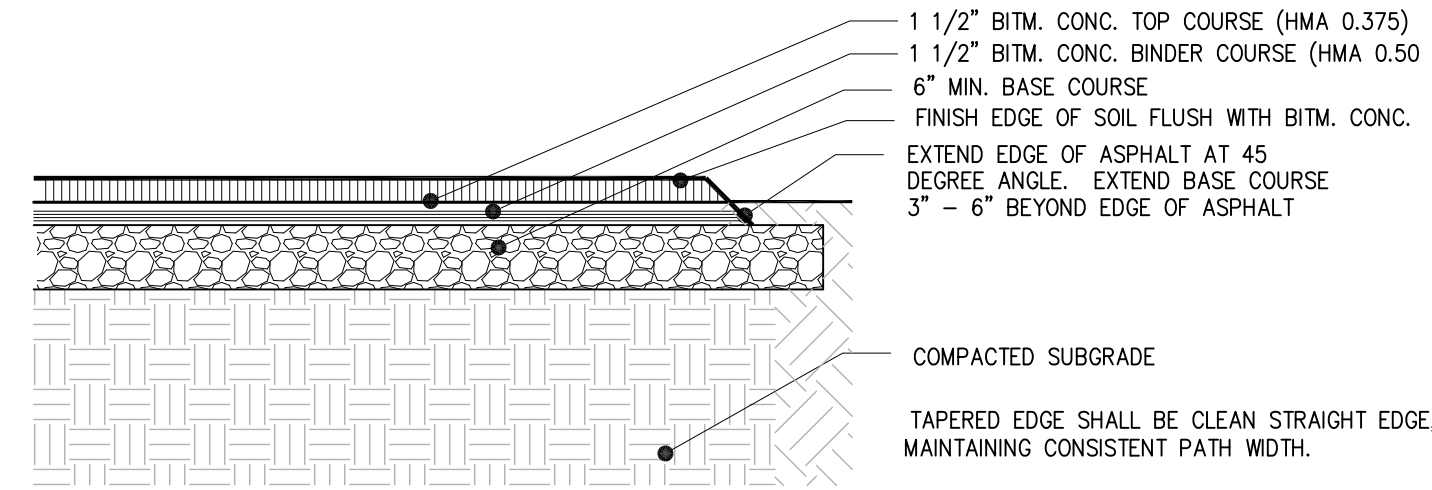
**H STEEL BOLLARD** NTS



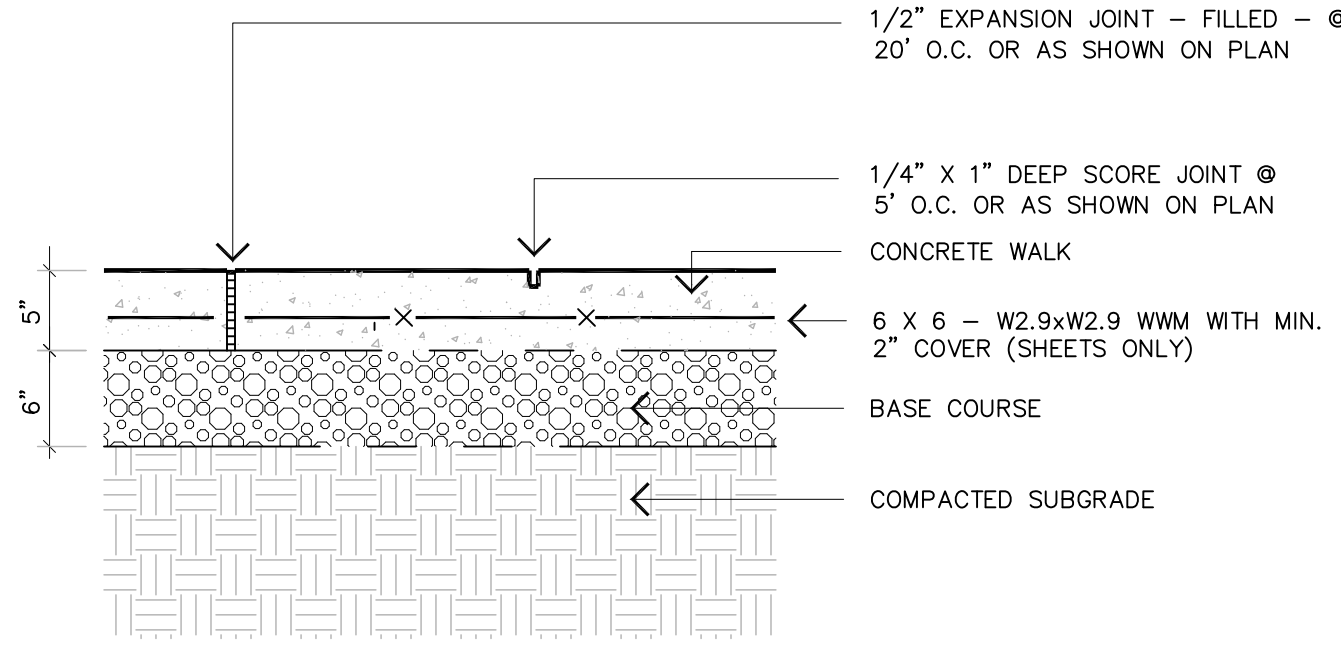
**I RIDING RING SURFACE (FOOTING)**  
SCALE 1" = 1'-0"



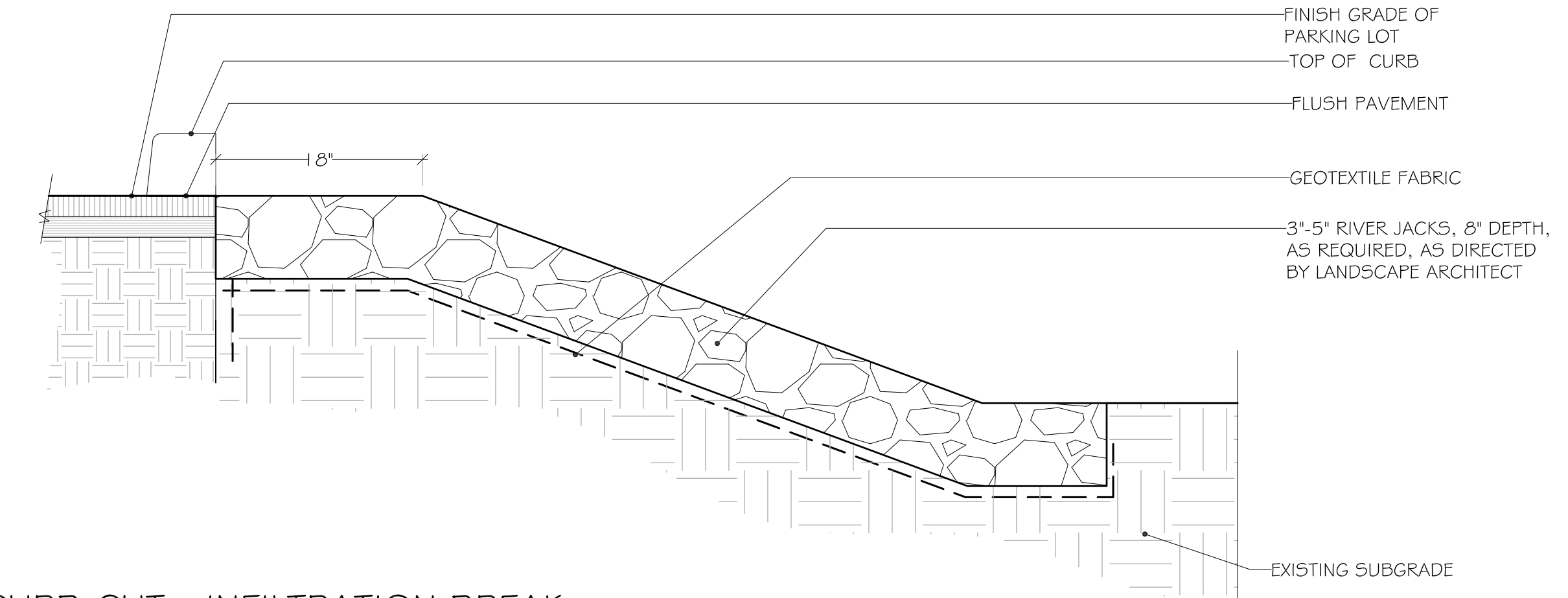
**B HIGH CONCRETE CURB**  
SCALE 1/2" = 1'-0"



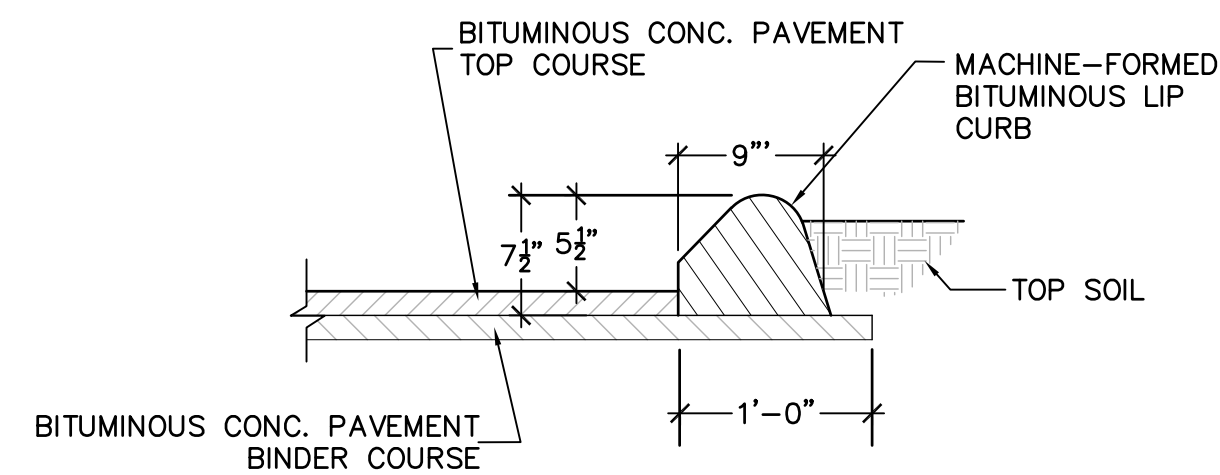
**E BITM. CONC. PAVEMENT - WALK** NTS



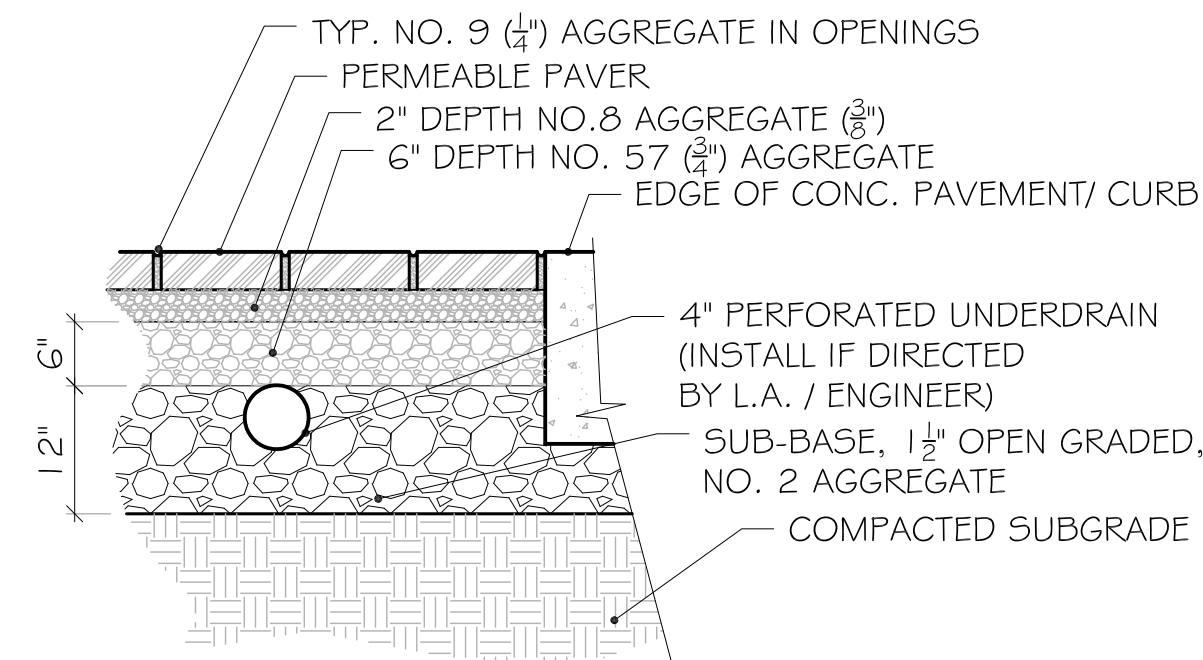
**F LIGHT DUTY CONCRETE PAVEMENT - SECTION** NTS



**J CURB CUT - INFILTRATION BREAK**  
SCALE 1" = 1'-0"



**C BITUMINOUS LIP CURB**  
SCALE: NTS



- PAVERS SHALL BE AS PER OWNER SELECGTION.
- INSTALL PAVERS IN A HERRINGBONE PATTERN, LONG DIRECTION FACING DOORWAYS.
- PROVIDE GRADATION ANALYSIS OF AGGREGATE.
- INSTALL AS RECOMMENDED BY MANUFACTURER.
- CONTRACTOR SHALL RETURN AFTER 6 MONTHS TO TOPDRESS SURFACE AGGREGATE (NO.9).
- FINAL AGGREGATE DEPTH MAY VARY

**G PERVIOUS PAVER** NTS

NO.		REVISION / ISSUE		DATE	

NOT FOR CONSTRUCTION		SITE DETAILS		DRAWING TITLE	
		Fairfield Hunt Club INDOOR RACQUET FACILITIES 174 Long Lots Road Westport, Connecticut 06			
		<b>ARIS LAND STUDIO</b> Sustainability + Land Architecture 78 Elm Street Bridgeport, CT 06604 www.arisls.com 203.606.3130		DATE: 11/6/2024 ISSUED FOR: CONSERVATION DEPARTMENT APPLICATION DWG. No.: <b>L-10.4</b>	
ALS CONTRACT NO. 23-301A		DRAWN BY:		SCALE:	