

SHEET	DESCRIPTION	SCALE
Plans		
-001	PLOT PLAN	1:100
-100	FOUNDATION / BASEMENT PLAN	1/4" = 1'-0"
-101	FLOOR 01 DEMO PLAN	1/4" = 1'-0"
-102	FLOOR 02 DEMO PLAN	1/4" = 1'-0"
-103	FLOOR 01 PROPOSED PLAN + WALL TYPES + EQUIP. SCHEDULE	1/4" = 1'-0"
-104	FLOOR 02 PROPOSED PLAN + DOOR AND WINDOW SCHEDULES	1/4" = 1'-0"
-105	ROOF PLAN	1/4" = 1'-0"
Exterior Elevations		
-200	EXTERIOR ELEVATIONS - EAST, WEST, SOUTH EXISTING	1/4" = 1'-0"
-201	EXTERIOR ELEVATIONS - EAST, WEST, SOUTH PROPOSED	1/4" = 1'-0"
-202	EXTERIOR ELEVATIONS - NORTH EXISTING + PROPOSED	1/4" = 1'-0"
Building + Wall Sections		
-300	BUILDING SECTIONS	1/4" = 1'-0"
-500	TYPICAL EXTERIOR DTLS	1 1/2" = 1'-0"

1. GC SHALL BE RESPONSIBLE FOR CHECKING ALL "CONTRACT DOCUMENTS," FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE GC IS RESPONSIBLE FOR OBTAINING A CLARIFICATION (ASIF) FROM THE ARCHITECT, BY FIRST WRITING DOWN HIS/HER QUESTIONS AND SENDING (IE. EMAIL) A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.

2. ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GC OR HIS/HER SUBCONTRACTORS, AND IS NOT TO BE PART OF THE CONTRACT SUM.

3. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS.

A. 2022 CONNECTICUT BUILDING CODE

i. 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE OF THE ICC

ii. 2021 INTERNATIONAL PLUMBING CODE

iii. 2021 INTERNATIONAL MECHANICAL CODE

iv. 2021 INTERNATIONAL ENERGY CONSERVATION CODE

v. 2020 NFPA 70, NATIONAL ELECTRICAL CODE, OF THE NFPA

4. IN ACCORDANCE WITH 2021 IRC REQUIREMENTS, ADDITIONS, ALTERATIONS AND REPAIRS MUST COMPLY WITH SECTION N1109 AND ANY UNCONDITIONED SPACE OR LOW-ENERGY SPACE THAT IS ALTERED TO BECOME CONDITIONED SPACE SHALL COMPLY WITH SECTION N1108.

5. IN ACCORDANCE WITH 2021 IRC REQUIREMENTS FOR ADDITIONS AND ALTERATIONS, WORK MUST COMPLY WITH THE FOLLOWING SECTIONS:

i. N1100 (R502) ADDITIONS AND SECTIONS N1111 (R503) ALTERATIONS SO THAT ALTERATIONS AND ADDITIONS TO THE EXISTING BUILDING ARE NOT LESS CONFORMING WITH THE PROVISION OF THE EXISTING BUILDING PRIOR TO THE ALTERATION AND WHERE THE ADDITION SHALL CONFORM TO THE REQUIREMENTS OF NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING TO COMPLY. ADDITIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD THE EXISTING BUILDING SYSTEM.

ii. N113.1.1 (R505.1.1): ANY UNCONDITIONED SPACE OR LOW-ENERGY SPACE THAT IS ALTERED TO BECOME CONDITIONED SPACE SHALL COMPLY WITH SECTION N1108: HVAC DUCTS NEWLY INSTALLED AS PART OF AN ALTERATION SHALL COMPLY WITH SECTION N1103.

5. GC IS RESPONSIBLE FOR INSTALLING ADEQUATE PROTECTION FOR KEEPING ANY CONSTRUCTION DUST AND DEBRIS WITHIN CONFINES OF THE CONSTRUCTION SITE. IN THE EVENT THAT ANY DUST OR DEBRIS DOES EXIT THE CONSTRUCTION SITE, CONTRACTOR IS RESPONSIBLE FOR RAPID REMEDIATION.

6. THE GC IS RESPONSIBLE FOR ALL FEES AND PERMITS NECESSARY TO COMPLETE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS.

7. PROVIDE **FIRESTOPPING** IN THE FOLLOWING LOCATIONS.

A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS

B. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.

C. AT CONCEALED SPACES AT STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN

D. IN OPENINGS AROUND VENTS, PIPES, CHIMNEYS, AND FIRE PLACES, AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS.

8. PROVIDE GLASS FIBER INSULATION, MINERAL WOOL OR SPRAY FOAM EVERY 10' AT WALLS AND SOFFITS FOR DRAFT STOP.

9. REPLACE ANY AND ALL FIREPROOFING WHICH HAS BEEN DISTURBED DURING DEMOLITION.

10. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

11. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION, OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE HAND SECTIONS AND DETAILS.

12. SUBMIT TO THE ARCHITECT FOR REVIEW (PRIOR TO CONSTRUCTION) ALL REQUIRED SHOP DRAWINGS, SAMPLES, AND PRODUCT INFORMATION AS CALLED FOR BY THE PROJECT SPECIFICATIONS (RE: DIVISION 1).

13. CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT THE OWNER'S SITE AND PROPERTY.

14. N1101.13.1 ENERGY COMPLIANCE

INSULATION: PROVIDE INSULATION WITH VAPOR BARRIER AS INDICATED IN DRAWINGS AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS TO MEET FOLLOWING MINIMUM LEVELS (UNLESS OTHERWISE INDICATED ON THE DRAWINGS):

CONNECTICUT 2021 IBC

EXTERIOR WALLS: R-30

FLOOR: R-30

CEILING WITH ATTIC: R-49

TOP CEILING: R-60

BASEMENT CEILING: R-30

CATHEDRAL CEILING: AS INDICATED

15. **SMOKE DETECTORS:**

EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15' OF THE ENTRANCE TO A SLEEPING ROOM; IN EACH ROOM USED FOR SLEEPING PURPOSES AND ON EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES.

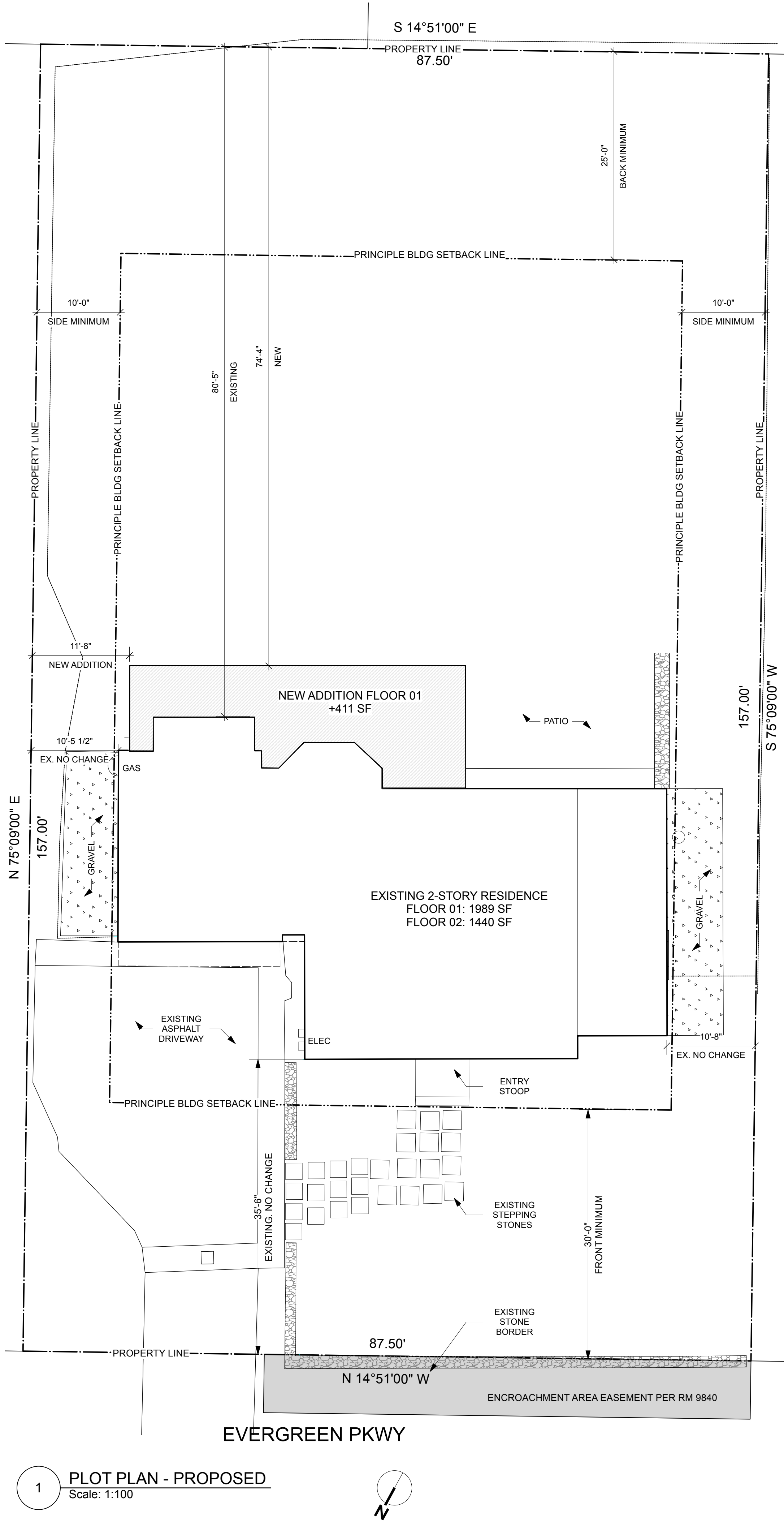
15A. SMOKE DETECTORS SHALL BE REQUIRED IN THE HALLWAY AND IN THE ROOM TO THE HALLWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE.

16. EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE OF TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE.

17. CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL. WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" AND MAXIMUM OF 12" FROM THE CEILING. SD/CO2 DETECTORS SHOWN IN PLAN FOR APPROXIMATE LOCATION ONLY AND DO NOT INDICATE CEILING OR WALL MOUNT. COORDINATE LOCATION IN FIELD WITH ARCHITECT.

18. TEMPORARY INSTALLATION OF BATTERY POWERED SMOKE DETECTORS AND CARBON MONOXIDE ALARMS IS REQUIRED DURING CONSTRUCTION IN THE VICINITY OF ALTERATIONS AND ADDITIONS.

19. **CALL BEFORE YOU DIG: #1-800-922-4455**



A map of the area around 1000 Evergreen Parkway. The map shows a grid of streets including O Lane, Evergreen Parkway, Tamarac Road, and Lone Pine Lane. A black rectangle highlights the property at 1000 Evergreen Parkway, which is the subject of the report. The map also shows the intersection of Evergreen Parkway and Lone Pine Lane, and the intersection of Tamarac Road and Lone Pine Lane. The map is oriented with North at the top.

An aerial map showing a property located at the intersection of Evergreen Pkwy and another street. The property is outlined with a dashed line. Inside the property, there is a building footprint shaded with diagonal hatching. The building has a complex, multi-part shape. Surrounding the property are other buildings and parking areas, all outlined with solid lines. The street name 'EVERGREEN PKWY' is visible in the bottom left corner, oriented vertically.

TOWN MAP #1977
TAX MAP 5319-1 LOT 9, USE CODE 101 NEIGHBORHOOD 160
FEMA ZONE X: FLOOD INSURANCE RATE MAP # 09001 C0411FG PANEL 413 OF 626 DATED 7/8/2013.
RESIDENCE (A) DISTRICT; SINGLE FAMILY DETACHED DWELLING. PUBLIC WATER + SANITARY
SEWER
YEAR BUILT: 1950

**NOTE: CT GENERAL STATUTE 8-13A AMENDED, WITH REGARDS TO EXISTING STRUCTURES 3 OR MORE YEARS OLD.
RESIDENCE (A) DISTRICT; SINGLE FAMILY DETACHED DWELLING. PUBLIC WATER + SANITARY
SEWER

**NOTE: LOT IS NONCONFORMING BY LOT AREA, THE BUILDING SETBACKS ARE LISTED IN THE CHART BELOW.

	EXISTING	PROPOSED	CHANGE	MIN REQ./ MAX ALLOW.
BASE LOT AREA	13,728 SF 3.15 ACRES	13,728 SF 3.15 ACRES	No Change	21,780 SF 1/2 ACRE (MIN.)
LOT FRONTAGE	66 FT	66 FT	No Change	200 FT (MIN)
<u>LOT COVERAGE</u> BUILDING DRIVEWAY OUTDOOR BBQ	1989 SF 1179 SF 15 SF	2400 SF 1179 SF 0	+ 411 SF 0 SF - 15 SF	
TOTAL LOT COVERAGE TOTAL LOT COVERAGE / BASE LOT AREA	3183 SF 23.2%	3579 SF 26 %	+ 396 SF 2.8 %	3434.5 SF 25% (MAX)
<u>BUILDING COVERAGE</u> BUILDING OUTDOOR BBQ	1989 SF 15 SF	2400 SF 0	+ 411 SF 0	
TOTAL BLDG COVERAGE TOTAL BLDG COVERAGE / BASE LOT AREA	2004 SF 14.5%	2400 SF 17.48%	+ 396 SF 2.98%	2059 SF 15% (MAX)
<u>SETBACKS</u> FROM STREET LINE FROM SIDE LINE (NORTH) FROM SIDE LINE (SOUTH) FROM REAR LINE	35.2 FT 10.4 FT 10.9 FT 80.1 FT	35.2 FT 10.4 FT 10.9 FT 74.33 FT	No Change No Change No Change 5.77 FT	30 FT 10 FT 10 FT 25 FT
<u>MASSING</u> FLOOR AREA (BUILDING TOTAL) FLOOR AREA (GROUND FLOOR) FLOOR AREA (FLOOR 02)	3429 SF 1989 SF 1440 SF	4008 SF 2400 SF 1608 SF	+ 579 SF + 411 SF + 168 SF	
BUILDING HEIGHT:	22.7 FT	22.7 FT	No Change	35 FT (MAX)
NUMBER OF STORIES:	2 STORIES	2 STORIES	No Change	2 1/2 (MAX)

JOINING BOARD OF APPEALS REVIEW

20 EVERGREEN PARKWAY

HANNAH I ROBERTSON ARCHITECTURE + DESIGN

**HIR
A+D**

No.	Date	Description	Issued to
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Contractor:
TBD

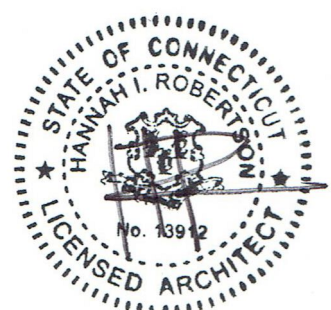
Note: Contractor and Subcontractors are responsible for confirming and correlating dimensions at the job site. The Architect is not responsible for construction means, methods, techniques, sequences or procedures, or for safety or site protection. The Architect is not responsible for the Contractor and all Subcontractors are responsible for local code compliance.

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Project:

Schlang Residence
20 Evergreen Pkwy
Westport, CT 06880

Seal / Signature



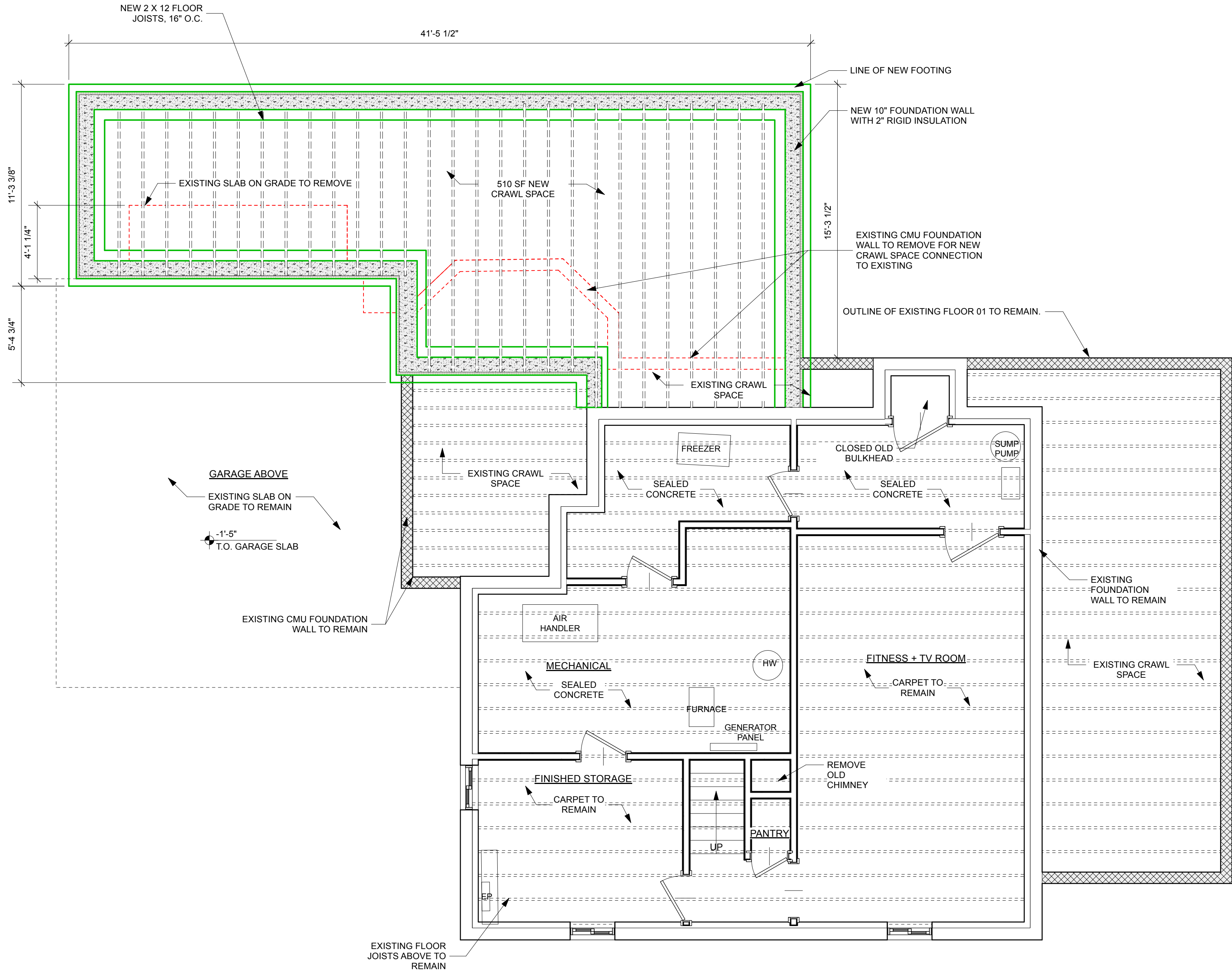
Date
11/04/2024

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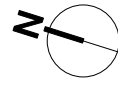
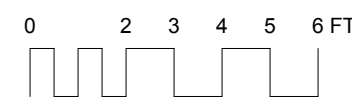
EXISTING SITE PLAN

Drawing No.

A-001



1 PROPOSED BASEMENT + FOUNDATION PLAN
Scale: 1/4" = 1'-0"



SHEET NOTES

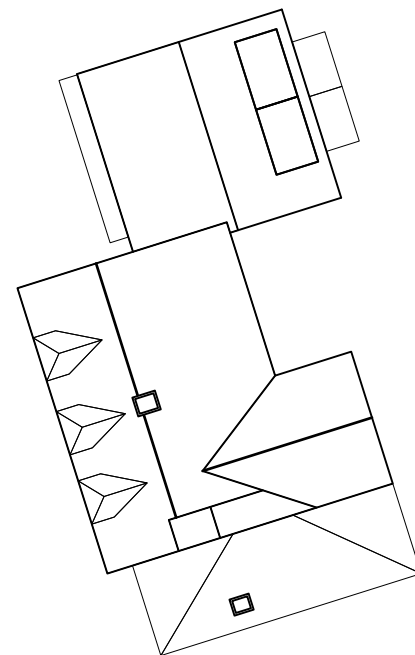
1. CRAWL SPACE AND EXISTING CONCRETE MASONRY UNIT FOUNDATION WALLS TO BE REVIEWED AT TIME DEMO FOR EXTENTS OF EXISTING AND EXTENTS OF WALL TO BE REMOVED. ADDITIONAL EXCAVATION AND FOUNDATION IMPROVEMENTS MAY BE REQUIRED AT AREAS NOT CURRENTLY ACCESSIBLE.

GENERAL DEMO NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. SEE G-001
- CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT THE OWNER'S SITE AND PROPERTY. SEE PROTECTION REQ.S G-001
- PROVIDE PLYWOOD SHUTTERS CUT TO FIT OVER ALL WINDOW AND DOOR OPENINGS. PLYWOOD MUST BE PRE-CUT, IN GOOD CONDITION AND STORED ONSITE IN AN ACCESSIBLE, DRY AND SECURE LOCATION ON THE PROPERTY. ANCHORAGE HARDWARE MUST BE PRE-INSTALLED ON ALL WINDOW AND DOOR OPENINGS.
- PROTECT ALL TREES WHICH ARE TO REMAIN AND IN THE PATH OF CONSTRUCTION VEHICLES (RE: SITE PLAN)
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- G.C. TO NOTIFY ARCHITECT AND OWNER OF ANY HARMFUL MATERIALS SUCH AS ASBESTOS OR LEAD IDENTIFIED THAT MAY BE AFFECTED BY THE PROPOSED WORK. THESE MATERIALS SHOULD BE PROPERLY ABATED UPON IDENTIFICATION. ALL REQUIREMENTS OF CT LAWS SHALL BE FOLLOWED. **ALL CONTRACTORS WORKING ON THE PROJECT MUST BE FULLY COMPLIANT WITH EPA LEAD PROCEDURES.**
- MAINTAIN WORKING FIRE EXTINGUISHERS DURING THE ENTIRE CONSTRUCTION PERIOD.
- RETAIN ALL DOORS MARKED FOR DEMOLITION FOR POSSIBLE REUSE

- RECESSED CEILING LIGHT
- PENDANT CEILING LIGHT
- SURFACE MOUNT CEILING LIGHT
- SURFACE MOUNT WALL LIGHT
- THERMOSTAT
- DOORBELL CHIME
- SMOKE DETECTOR
- SDCM CARBON MONOXIDE / SMOKE DETECTOR HARDWIRED W/BATTERY BACKUP.
- AIR SUPPLY - FLOOR OR CEILING; SEE NOTES
- SWITCH
- DUPLEX OUTLET
- QUAD OUTLET
- ELECTRICAL PANEL
- WALL - DEMOLITION
- WALL - INTERIOR EXISTING TO REMAIN
- WALL - EXTERIOR NEW
- WALL - EXISTING TO REMAIN

SITE MAP



20 EVERGREEN PARKWAY | ZONING BOARD OF APPEALS REVIEW

HANNAH I ROBERTSON ARCHITECTURE + DESIGN

A: 7 Haristown Place
Norwalk, CT 06853
T: hannah@hirarchitecture.com
E: hannah@hirarchitecture.com

HIR
A+D

No. Date Description Issued to

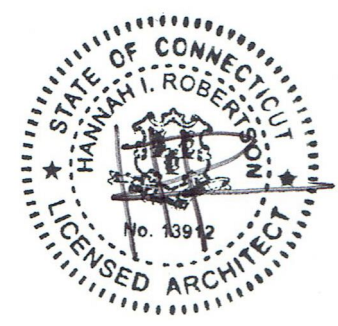
Contractor:
TBD

Note: Contractor and Subcontractor are responsible for confirming and correcting dimensions on the site. The Architect is not responsible for safety procedures and programs related to the project construction. Contractor and all Subcontractors are responsible for local code compliance.

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Project:
Schlang Residence
20 Evergreen Pkwy
Westport, CT 06880

Seal / Signature



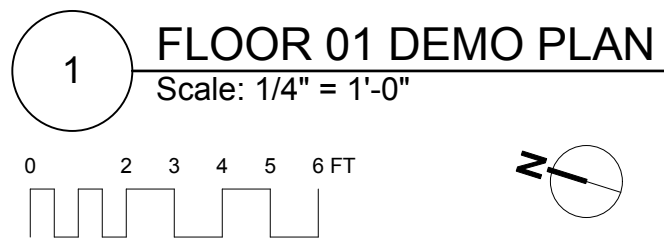
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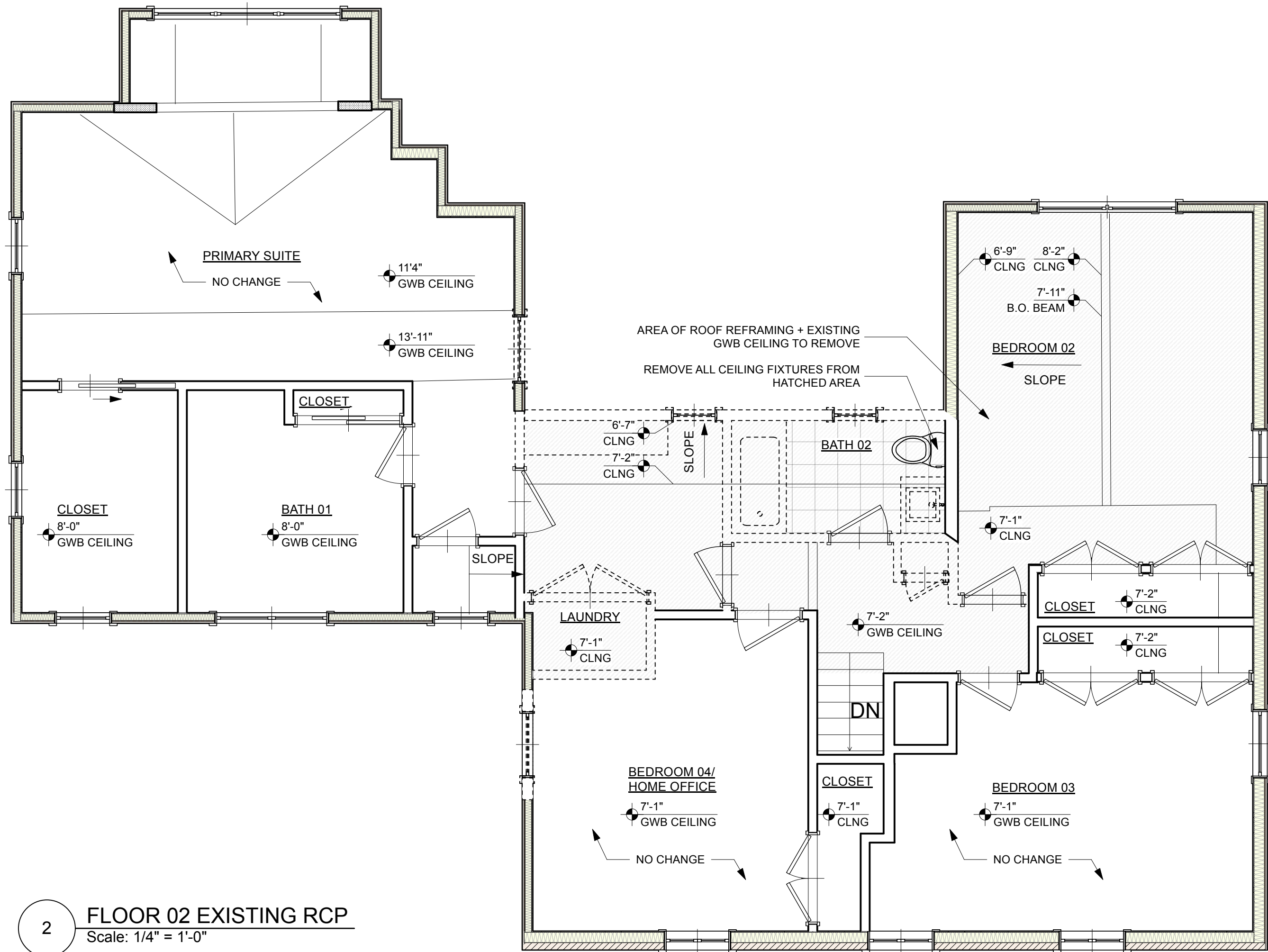
FOUNDATION /
BASEMENT PLAN

Drawing No.

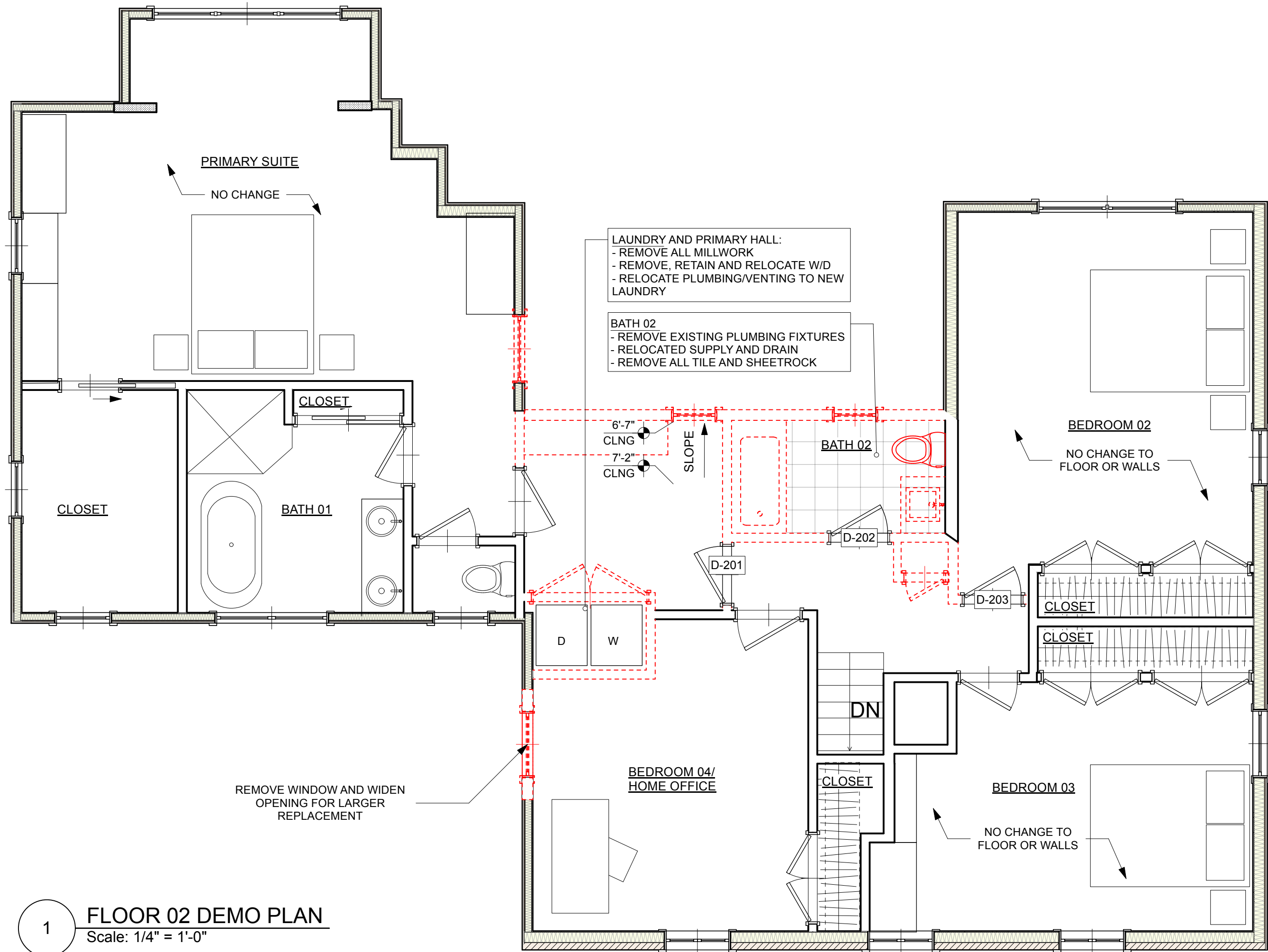
A-100



A-101



2 FLOOR 02 EXISTING RCP
Scale: 1/4" = 1'-0"



1 FLOOR 02 DEMO PLAN
Scale: 1/4" = 1'-0"

SHEET NOTES

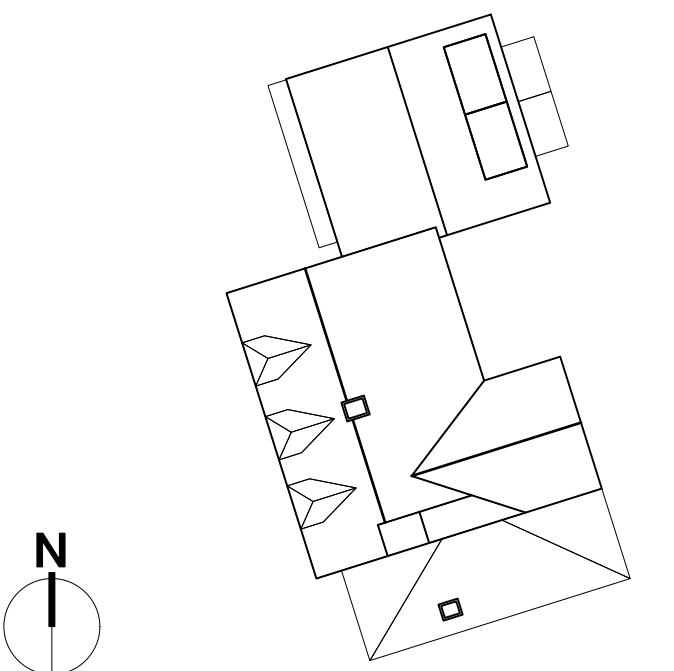
1. ALL EXISTING CEILINGS TO REMAIN, UNO, PATCH, SKIM AND RE-PAINT, TYP.
2. ALL EXISTING CROWN, WALL BASE, DOOR CASING, WINDOW CASING TO REMAIN, UNO.
3. ALL WOOD FLOORING TO REMAIN, UNO, COVER AND PROTECT HARDBOARD THROUGHOUT CONSTRUCTION.
4. ALL EXISTING HVAC DUCTS AND VENTS TO REMAIN WHERE POSSIBLE. WHERE ADJUSTMENTS ARE NECESSARY, CONSULT WITH ARCHITECT ON WHETHER TO REMOVE CEILING FULLY OR PATCH AND REPAIR.
5. RETAIN AND RELOCATE EXISTING WIRING AND LIGHT SWITCHES WHERE POSSIBLE AND REVIEW NEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

GENERAL DEMO NOTES

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8. RETAIN ALL DOORS MARKED FOR DEMOLITION FOR POSSIBLE REUSE

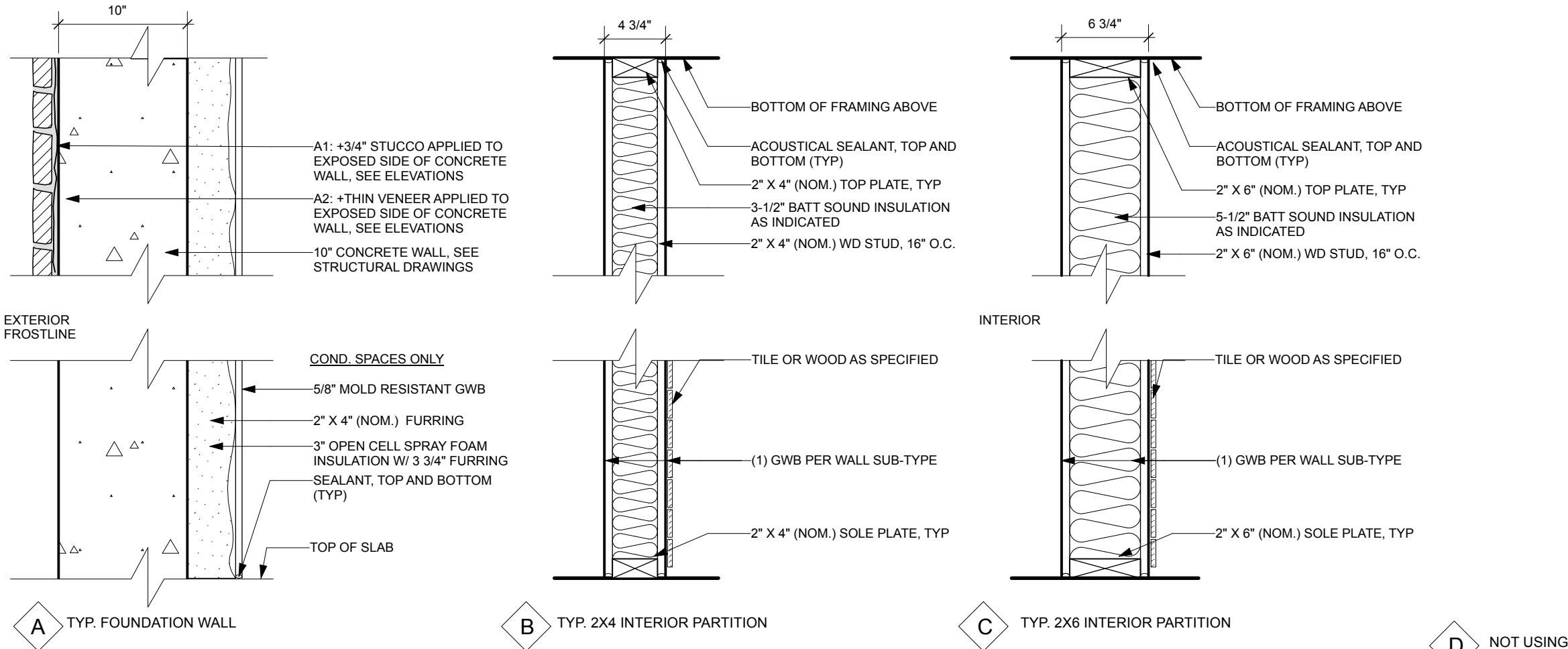
- ⊙ RECESSED CEILING LIGHT
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- ⊙ THERMOSTAT
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- ▨ AIR SUPPLY - FLOOR OR CEILING; SEE NOTES
- \$ SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ QUAD OUTLET
- ▭ ELECTRICAL PANEL
- ▨ CEILING TO REMOVE
- ▨ DEMOLITION
- ▭ WALL - EXISTING TO REMAIN

SITE MAP



EQUIPMENT SCHEDULE							
TAG	LOCATION	QTY	APPLIANCE	MANUF.	MODEL	COLOR/FINISH	DIMENSIONS
EQ-1	KITCHEN	1	Dishwasher	Bosch	SHE53C85N	Stainless	23 9/16" W X 23 3/4" D X 33 7/8" H
EQ-2	KITCHEN	1	48" Range	Wolf		Existing	
EQ-3	KITCHEN	1	48" Hood insert			Existing	
EQ-4	KITCHEN	1	Refrigerator	Subzero	DEC3650RID/L	Custom Panel	36" W x 25" D x 84" H
EQ-5	KITCHEN	1	Freezer	Subzero	DEC2450F/L	Custom Panel	24" W x 25" D x 84" H
EQ-6	KITCHEN	1	Garbage Disposal	Insinkerator	Evolution		n/a
EQ-7			Microwave Drawer?				
EQ-8			Wine fridge?				
EQ-9	LAUNDRY	1	Washer	Electrolux		White	approx. 27"W x 32"D x 38"H
EQ-01	LAUNDRY	1	Dryer	Maytag	MED6630HC	grey	approx. 27"W x 32"D x 38"H

WALL TYPES



TYPE A1 - TYP. FOUNDATION WALL @ CONDITIONED SPACES
3/4" STUCCO FINISH EXTERIOR, GWB INT

TYPE A2 - TYP. FOUNDATION WALL @ CONDITIONED SPACES
STONE VENEER FINISH EXTERIOR, GWB INT

TYPE A3 - TYP. FOUNDATION WALL
3/4" STUCCO FINISH EXTERIOR

TYPE A4 - TYP. FOUNDATION WALL
STONE VENEER FINISH EXTERIOR

TYPE B1 - TYP. 2X4 PARTITION
TYPE B2 - TYP. 2X4 PARTITION AT WET LOCATION ONE SIDE
TYPE B3 - TYP. 2X4 WALL AT WET LOCATION BOTH SIDES
TYPE B4 - TYP. 2X4 PARTITION AT CHASE WALL

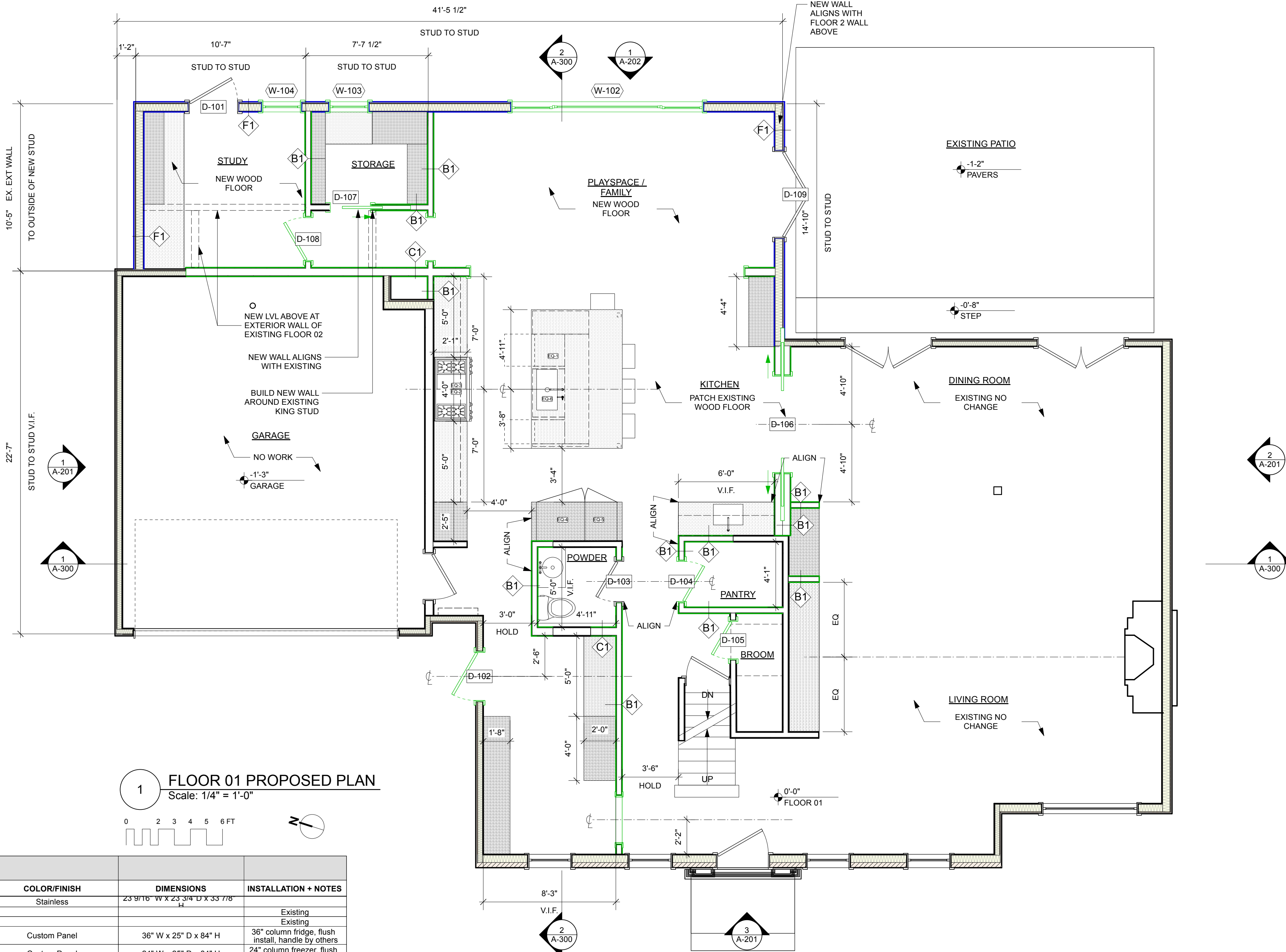
*SEE FINISH SCHEDULE FOR TILE OR WOOD APPLIED TO GWB

TYPE C1 - TYP. 2X6 PARTITION
TYPE C2 - TYP. 2X6 PARTITION AT WET ONE SIDE
TYPE C3 - TYP. 2X6 PARTITION AT WET BOTH SIDES

*SEE FINISH SCHEDULE FOR TILE OR WOOD APPLIED TO GWB

TYPE E1 - (1) 5/8" GWB INTERIOR
TYPE E2 - (1) 5/8" WATER RES. GWB INTERIOR @ WET
TYPE E3 - TILE APPLIED TO 5/8" WATER RES. GWB INTERIOR
TYPE E4 - WD PANEL APPLIED TO 5/8" GWB INTERIOR

TYPE F1 - (1) 5/8" GWB INTERIOR
TYPE F2 - (1) 5/8" WATER RES. GWB INTERIOR @ WET
TYPE F3 - TILE APPLIED TO 5/8" WATER RES. GWB INTERIOR
TYPE F4 - WD PANEL APPLIED TO 5/8" GWB INTERIOR



WALL TYPE NOTES

- SEE FINISH SCHEDULE FOR ALL WALL FINISH TYPES AND FINISH THICKNESSES.
- ALL WALLS ARE TO BE PLUMB, LEVEL, AND SQUARE TO FLOOR.
- WALL TYPES ARE FOR REFERENCE ONLY. SEE SPECIFICATIONS, FINISH SCHEDULE, WALL SECTIONS, AND FLOOR PLANS FOR ADDITIONAL DETAILS.
- G.C. TO BRING ANY WALL TYPE OR DIMENSIONAL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- MOLD RESISTANT DRYWALL IS REQUIRED TO BE USED ON ALL PORTIONS OF WALLS WITHIN 2 FEET OF A KITCHEN SINK AND/OR STOVE AND UP TO 4 FEET HIGH. MUST ALSO BE USED ON ALL WALLS AND CEILINGS IN LAUNDRY ROOMS AND BATHROOMS.

SHEET NOTES

- INTERIOR DIMENSIONS SHOWN OUTSIDE OF STUD TO OUTSIDE OF STUD. "HOLD TO" DIMENSIONS ARE TO FACE OF FINISH.
- EXTERIOR DIMENSIONS TO EXTERIOR OF SHEATHING
- WHERE POSSIBLE, WINDOWS ALIGN ON CENTER WITH THOSE ABOVE AND BELOW. SEE ELEVATIONS FOR ADDITIONAL ALIGNMENT

SMOKE /CO2 DETECTOR NOTES

- SD/CO2 DETECTORS SHOWN IN PLAN FOR APPROXIMATE LOCATION ONLY AND DO NOT INDICATE CEILING OR WALL MOUNT. COORDINATE LOCATION IN FIELD WITH ARCHITECT.
- EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15' OF THE ENTRANCE TO A SLEEPING ROOM. IN EACH ROOM USED FOR SLEEPING PURPOSES AND ON EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES.
- EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE OF TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE.
- CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL.
- WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" AND MAXIMUM OF 12" FROM THE CEILING.

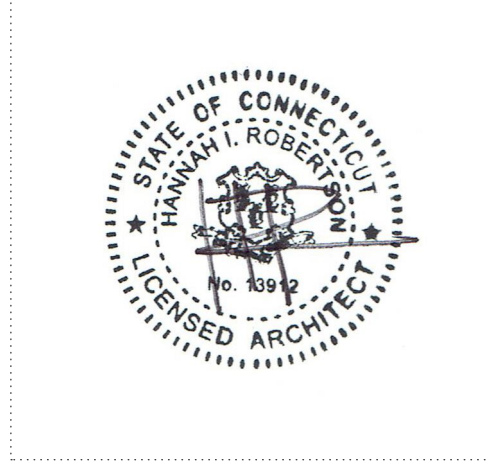
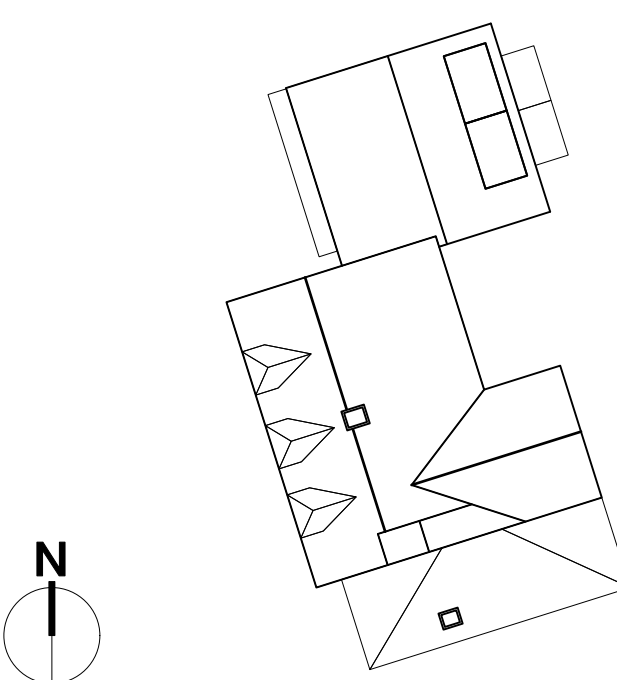
FINISH NOTES

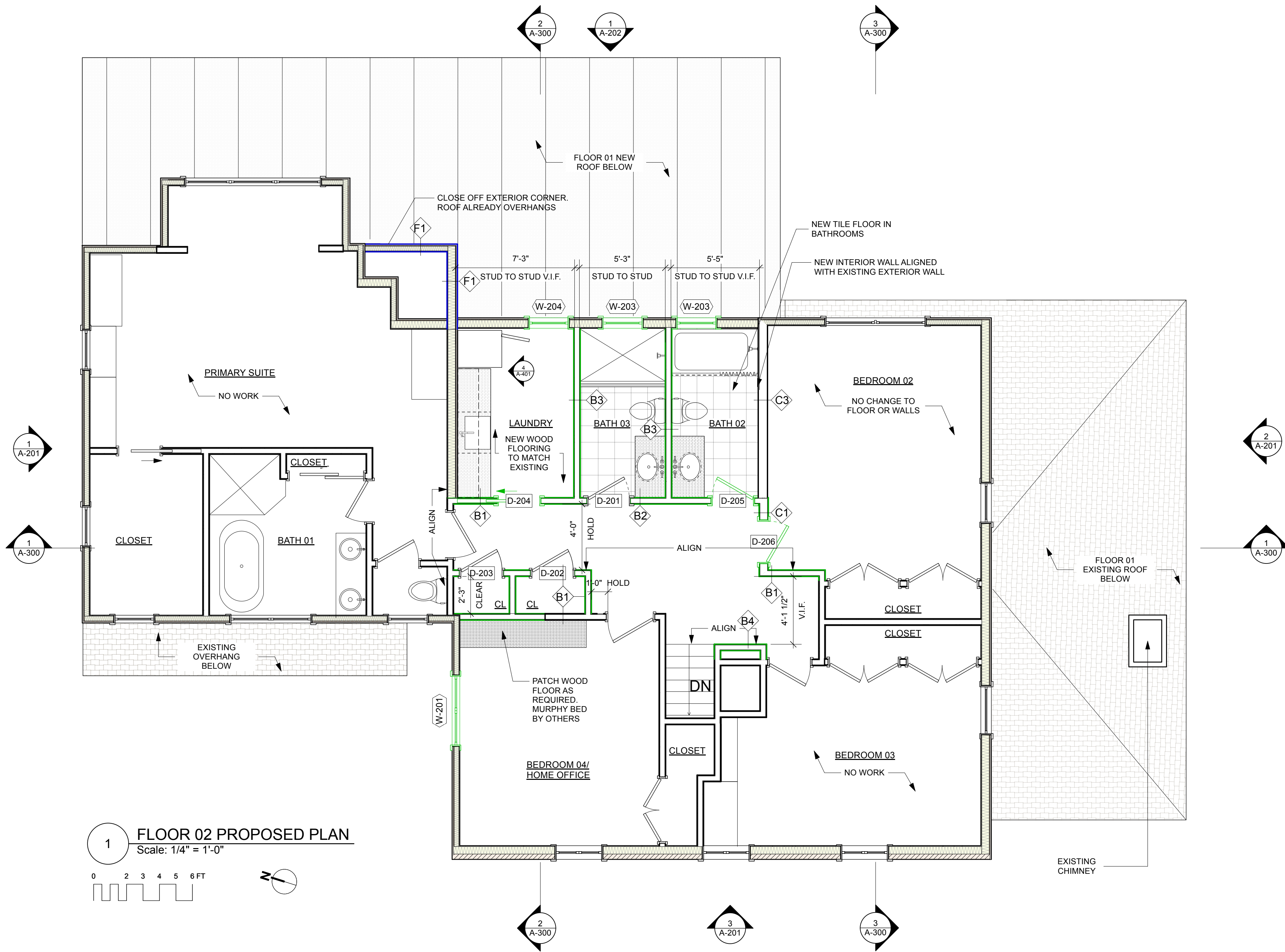
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- INTERIOR DIMENSIONS ARE FOR GENERAL PLANNING PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION. FOLLOW STUD TO STUD DIMENSIONS PROVIDED ON FLOOR PLANS.
- CONTRACTOR TO PROVIDE SAMPLES FOR ALL WOOD AND STONE SELECTION PRIOR TO PURCHASE. BID SHALL INCLUDE TEMPLATING, INSTALLATION, AND ANY OTHER NECESSARY WORK REQUIRED TO COMPLETE THE INSTALLATION.
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- SUBSTRATE GROUT, WATERPROOFING MEMBRANE SEALANT, AND ANY ADDITIONAL MATERIALS NECESSARY TO COMPLETE TILE WORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE PRICING.
- G.C. TO PROVIDE 2' X 2' CONTROL SAMPLE OF TILE WITH GROUT AND SEALER TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- REVIEW PROPOSED TILE LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- WOOD FLOORS SHALL BE TREATED WITH NON-TOXIC SEALER ONLY. ALL PLYWOOD MUST BE FORMALDEHYDE FREE.
- G.C. TO PROVIDE MOCK-UP OF ALL STAINS, PAINTS, AND SEALERS FOR ARCHITECT'S REVIEW.

LEGEND

- RECESSED CEILING LIGHT
- PENDANT CEILING LIGHT
- SURFACE MOUNT CEILING LIGHT
- SURFACE MOUNT WALL LIGHT
- THERMOSTAT
- DOORBELL CHIME
- SMOKE DETECTOR
- CARBON MONOXIDE / SMOKE DETECTOR HARDWIRED W/BATTERY BACKUP.
- AIR SUPPLY - FLOOR OR CEILING; SEE NOTES
- SWITCH
- DUPLEX OUTLET
- QUAD OUTLET
- ELECTRICAL PANEL
- WALL - INTERIOR NEW
- WALL - EXTERIOR NEW
- WALL - EXISTING TO REMAIN

SITE MAP





1 FLOOR 02 PROPOSED PLAN
Scale: 1/4" = 1'-0"

DOOR SCHEDULE

			Location	Nominal Size			Type		Door Frame		Manufacturer Data						
	Mark	Room Name		Width	Height	Thickness	Configuration	Top Shape	Jamb Thick	Jamb Depth	Mfr	Model No.	Panel detail	Door Finish (Exterior)	Door Finish (Interior)	Hardware Set	Comments
D-	101	Side Entry Front	Exterior	3'0"	6'8"	1 3/4"	Swing Simple	Square	3/4"	7 5/8"	Trustile	TBD	TBD	Primed	Primed	-	Existing (Relocated)
D-	102	Side Entry Front	Exterior	3'0"	6'11"	1 3/4"	Swing Simple	Square	3/4"	5 5/8"	Trustile	TBD	TBD	Primed	Primed	-	New
D-	103	Powder Room	Interior	2'6"	6'8"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	Existing (Relocated)
D-	104	Pantry	Interior	2'6"	6'8"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	105	Broom	Interior	2'4"	6'8"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	106	Kitchen/Dining	Interior	6'0"	6'8"	1 3/4"	Pocket Bi-part	Square	3/4"	1'0 1/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	107	Storage	Interior	2'6"	6'8"	1 3/4"	Pocket Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	108	Office	Interior	2'8"	6'8"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	109	Patio	Exterior	5'4"	6'8"	1 3/4"	Swing Bi-part	Square	3/4"	7 5/8"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	Existing to Remain
D-	201	Bath 03	Interior	2'6"	6'6"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	Existing (Relocated)
D-	202	Hall Closet	Interior	2'6"	6'6"	1 3/4"	Swing Simple	Square	1"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	Existing (Relocated)
D-	203	Hall Closet	Interior	2'6"	6'6"	1 3/4"	Swing Simple	Square	1"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	Existing (Relocated)
D-	204	Laundry	Interior	2'6"	6'6"	1 3/4"	Pocket Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	205	Bath 02	Interior	2'6"	6'6"	1 3/4"	Swing Simple	Square	3/4"	4 3/4"	Trustile	TS1000	step (OS) flat panel	Primed	Primed	-	New
D-	206	Bedroom 02	Exterior	2'6"	6'6"	1 3/4"	Swing Simple	Square	3/4"	6 3/4"						-	Existing (Relocated)

WINDOW SCHEDULE

		Rough Opening				Operation		Manufacturer Data				Horizontal Muntins	Vertical Muntins	Comments
	Mark	Room Name	R.O. Width	R.O. Height	Elevation Set At	Elevation	Sash Operation	Exterior Finish	Interior Window Finish	Mfr	Model	Model No.		
W-	102	Family	12'0"	5'0"	Sill of Window	1'7"	Custom	White	White	TBD	TBD	TBD	0	1
W-	103	Storage	2'6"	3'4"	Sill of Window	3'0"	Casement	White	White	TBD	TBD	TBD	2	1
W-	104	Office	2'6"	3'4"	Sill of Window	3'0"	Casement	White	White	TBD	TBD	TBD	2	1
W-	201	Bedroom 04	4'4"	4'0"	Sill of Window	2'7"	Bi-parting Casement	White	White	TBD	TBD	TBD	1	1
W-	203	Bath 03	2'6"	3'4"	Sill of Window	3'4"	Casement	White	White	TBD	TBD	TBD	2	1
W-	203	Bath 03	2'6"	3'4"	Sill of Window	3'4"	Casement	White	White	TBD	TBD	TBD	2	1
W-	204	Laundry	2'6"	3'4"	Sill of Window	3'4"	Casement	White	White	TBD	TBD	TBD	2	1

SHEET NOTES

- INTERIOR DIMENSIONS SHOWN OUTSIDE OF STUD TO OUTSIDE OF STUD. "HOLD TO" DIMENSIONS ARE TO FACE OF FINISH.
- EXTERIOR DIMENSIONS TO EXTERIOR OF SHEATHING
- WHERE POSSIBLE, WINDOWS ALIGN ON CENTER WITH THOSE ABOVE AND BELOW. SEE ELEVATIONS FOR ADDITIONAL ALIGNMENT

SMOKE /CO2 DETECTOR NOTES

- SD/CO2 DETECTORS SHOWN IN PLAN FOR APPROXIMATE LOCATION ONLY AND DO NOT INDICATE CEILING OR WALL MOUNT. COORDINATE LOCATION IN FIELD WITH ARCHITECT.
- EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15' OF THE ENTRANCE TO A SLEEPING ROOM. IN EACH ROOM USED FOR SLEEPING PURPOSES AND ON EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES.
- EACH SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SHALL BE OF TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE.
- CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL.
- WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" AND MAXIMUM OF 12" FROM THE CEILING.

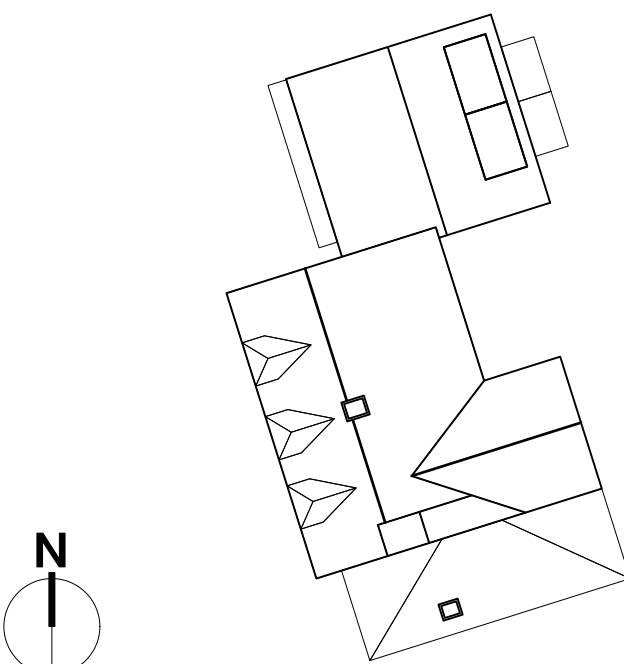
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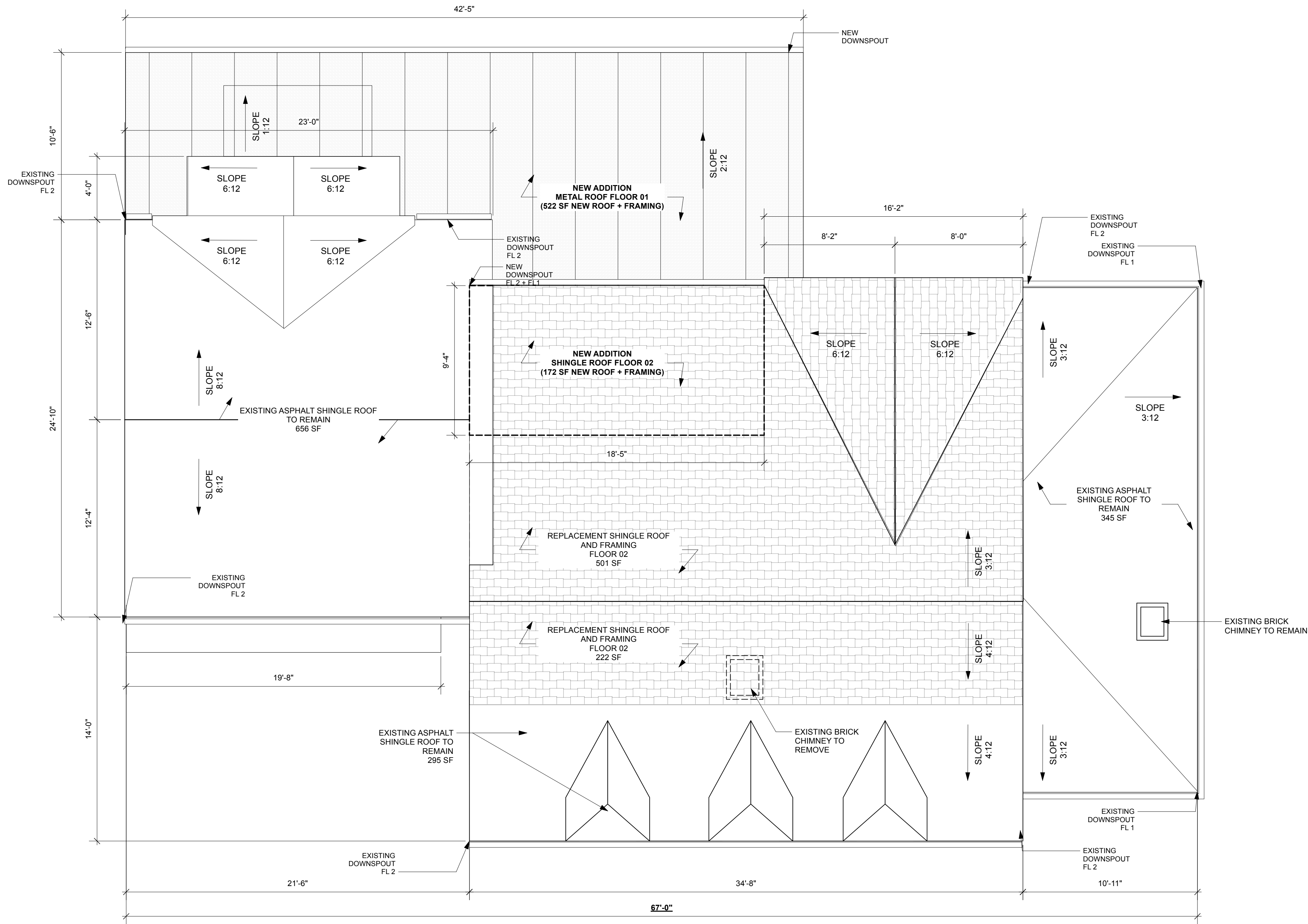
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LEGEND

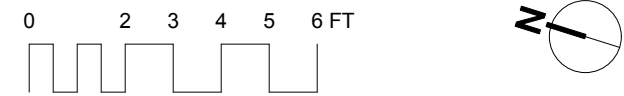
- RECESSED CEILING LIGHT
- PENDANT CEILING LIGHT
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- SURFACE MOUNT WALL LIGHT
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- WALL - INTERIOR NEW
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SITE MAP





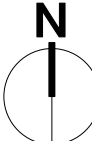
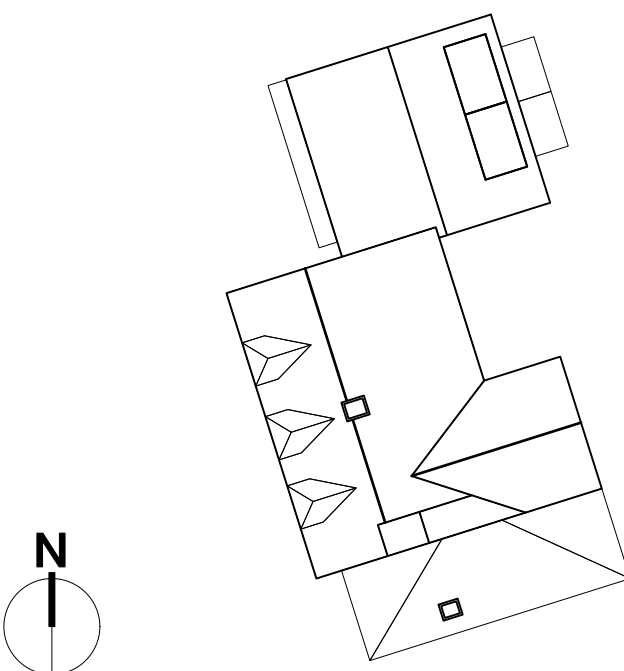
1 ROOF PROPOSED PLAN
Scale: 1/4" = 1'-0"



ROOF MATERIAL AREAS

	EXISTING	PROPOSED	CHANGE
ROOF AREA			
FL 01 LIVING ROOM FL 01 KITCHEN/FAMILY	345 SF ASPHALT 280 SF ASPHALT	345 SF ASPHALT -280 SF ASPHALT +522 SF METAL	NO CHANGE + 195 SF AREA
FL 02 PRIMARY SUITE	656 SF ASPHALT	656 SF ASPHALT	NO CHANGE
FL 02 BEDROOM AREA	1027 SF ASPHALT	(295 SF TO REMAIN 723 SF TO REPLACE / REFRAME) + 172 SF NEW ASPHALT	+ 172 SF AREA
TOTAL ROOF AREA	2308 SF	3002 SF	+ 694 SF AREA

SITE MAP



Date:
11/04/2024
Drawing Title:
Roof Plan Proposed

Drawing No:
A-105

Scale:
1/4" = 1'-0"

Project:
Schlang Residence
20 Evergreen Pkwy
Westport, CT 06880

Contractor:
TBD

Note: Contractor and Subcontractor are responsible for confirming and controlling dimensions on the job site. The Architect is not responsible for safety procedures and programs related to the project construction. Contractor and all Subcontractors are responsible for local code compliance.

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11/04/2024

Roof Plan Proposed

A-105

20 Evergreen Parkway | Zoning Board of Appeals Review

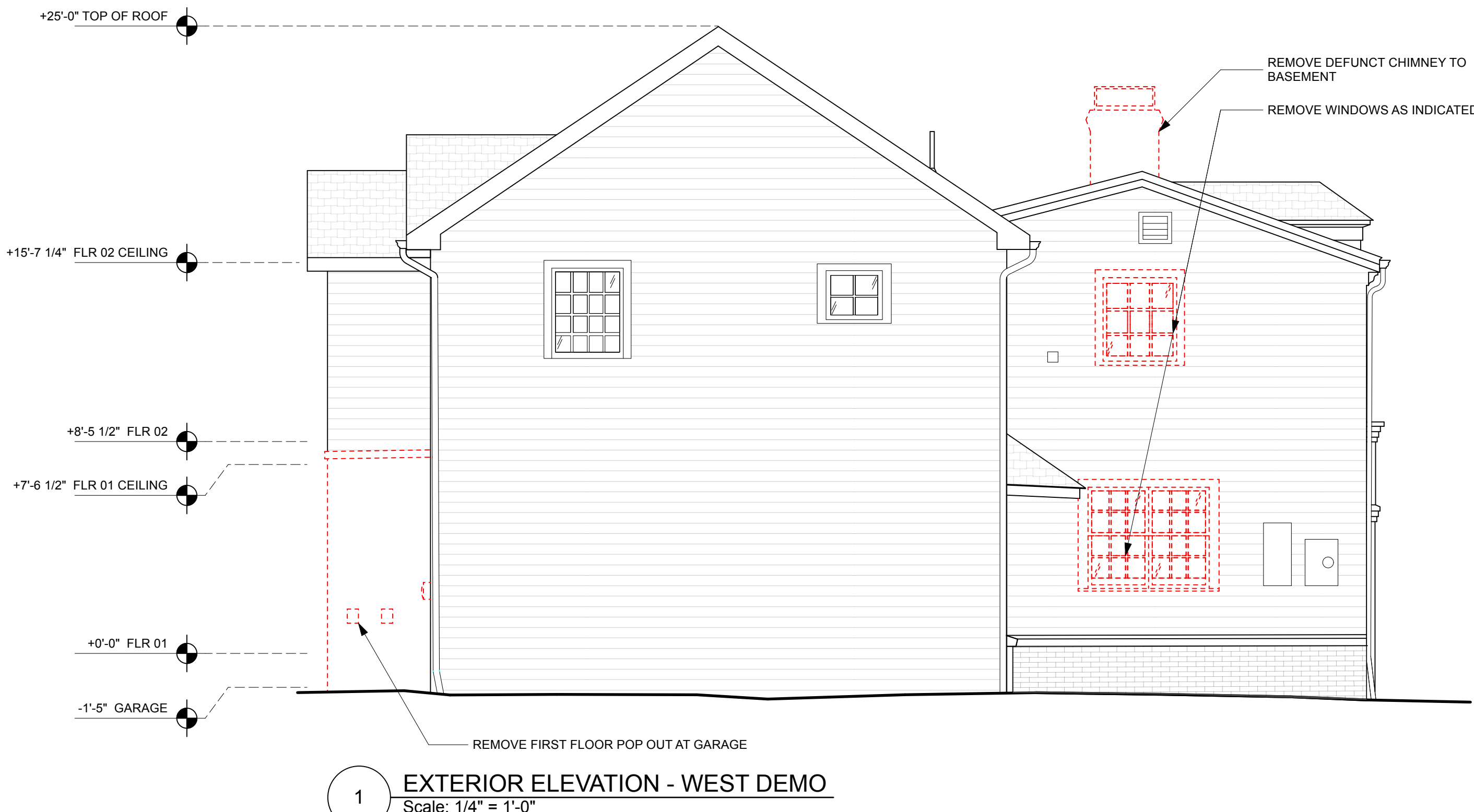
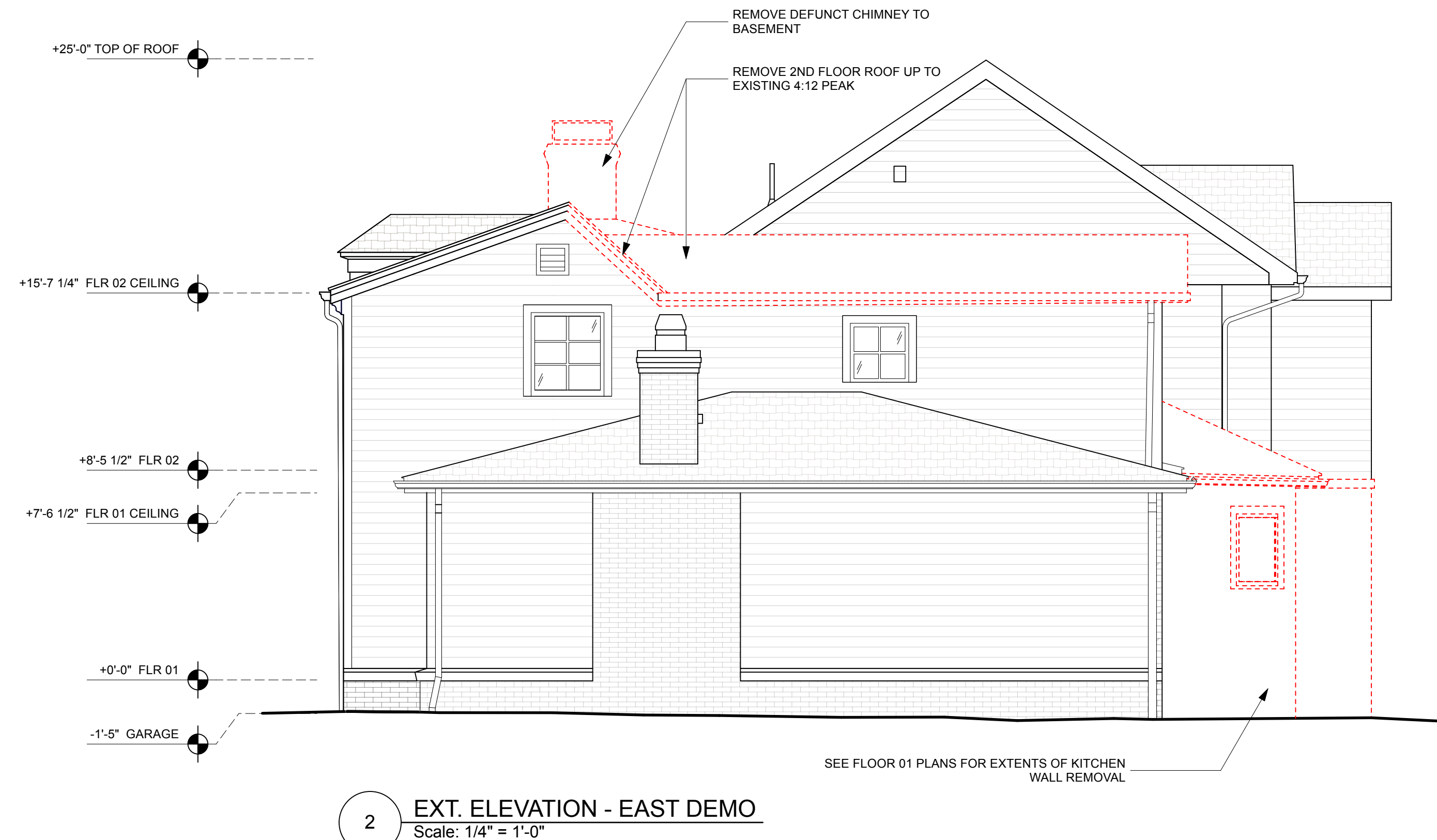
Hannah I Robertson Architecture + Design
A: 7 Hariston Place
Norwalk, CT 06853
T: 203.881.1111
E: hannah@hirarchitecture.com

HIR
A+D

SHEET NOTES
*NOTE: +86'-0" SITE ELEVATION CORRESPONDS TO FLOOR 01 FINISH FLOOR 0'-0"

LEGEND

- DEMOLITION
- BRICK WALL
- ASPHALT SHINGLE
- CLAPBOARD SIDING



No.	Date	Description	Issued to
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Contractor:
TBD

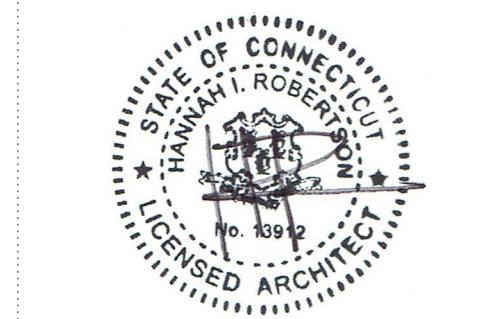
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Project:

Schlang Residence
20 Evergreen Pkwy
Westport, CT 06880

Seal / Signature



Date:
11/04/2024

Drawing Title

EXTERIOR ELEVATIONS
E, S, W, DEMO

Drawing No.

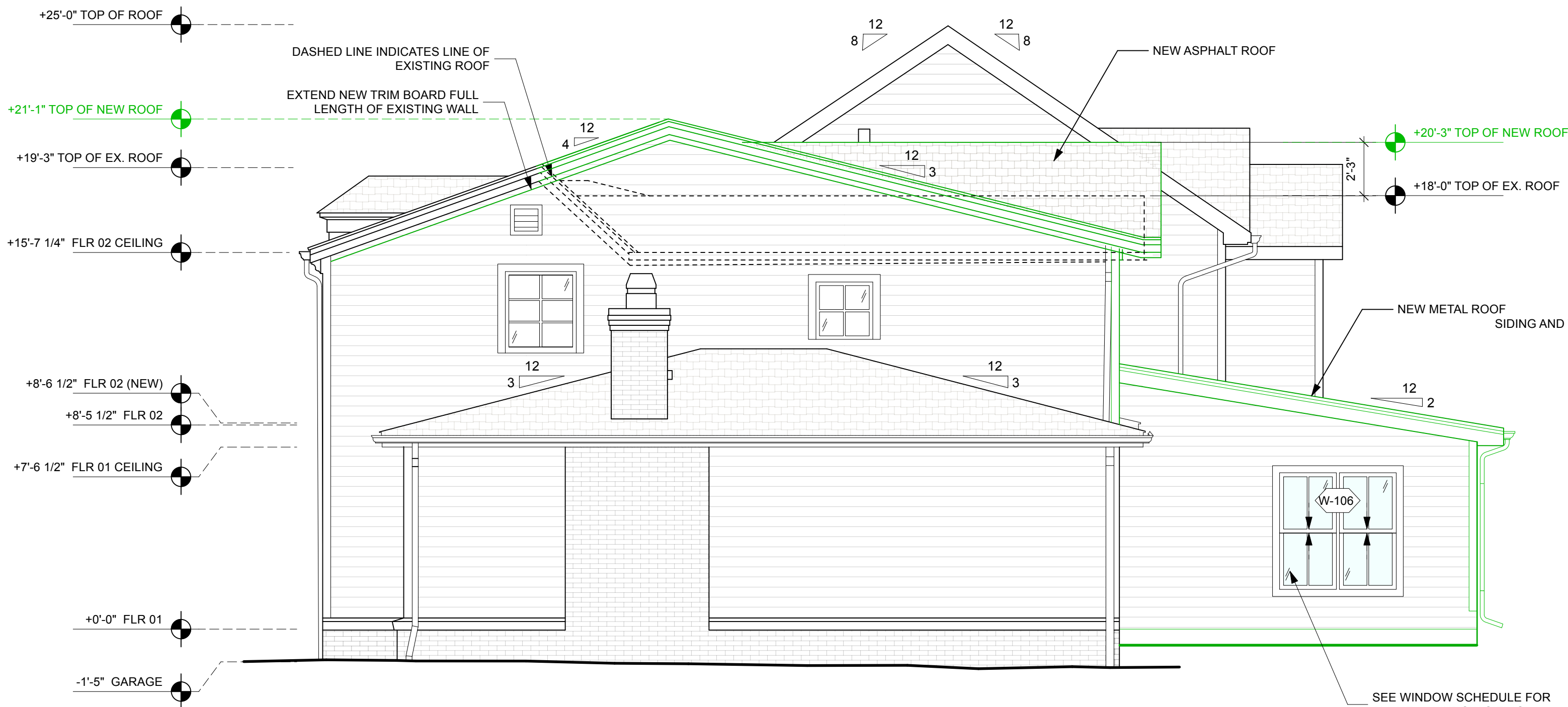
LEGEND

- NEW ADDITION
- BRICK WALL
- ASPHALT SHINGLE
- CLAPBOARD SIDING



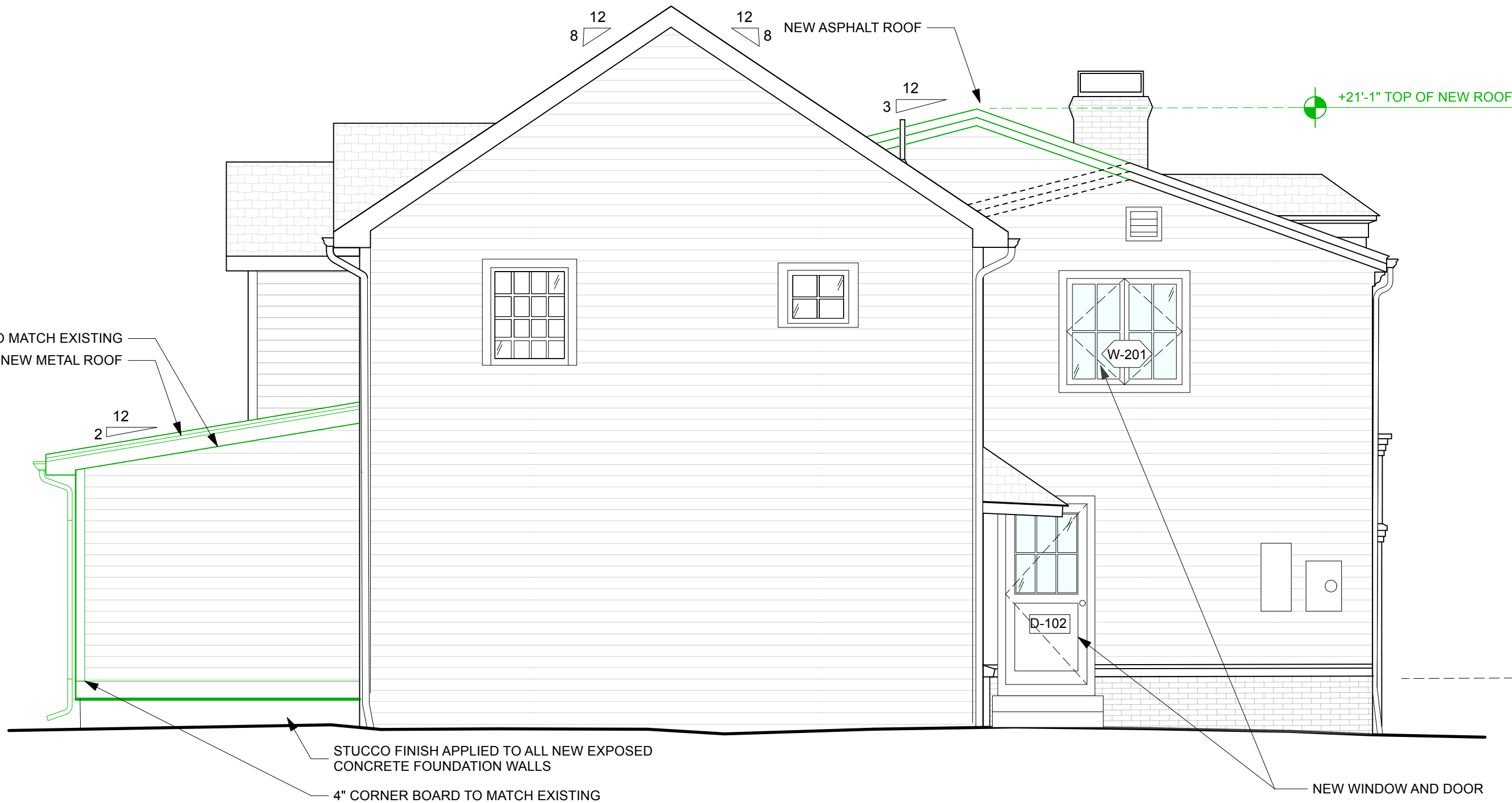
3 EXT. ELEVATION - SOUTH PROPOSED

Scale: 1/4" = 1'-0"



2 EXT. ELEVATION - EAST PROPOSED

Scale: 1/4" = 1'-0"



1 EXT. ELEVATION - WEST PROPOSED

Scale: 1/4" = 1'-0"

No.	Date	Description	Issued to
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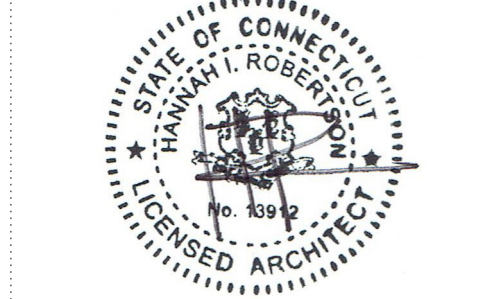
Contractor:
TBD

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Scale / Signature



Date:
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Drawing Title

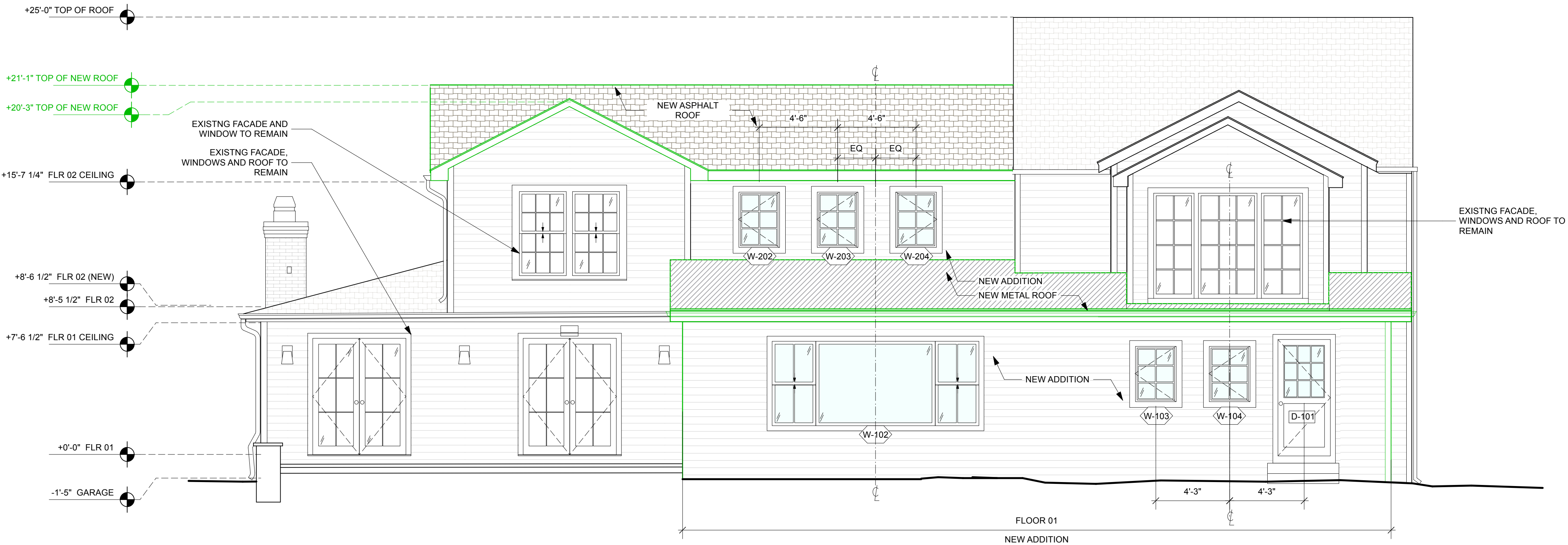
EXTERIOR ELEVATIONS
E, S, W PROPOSED

Drawing No.

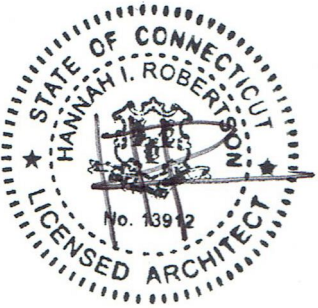
- LEGEND**
- DEMOLITION
 - NEW ADDITION
 - BRICK WALL
 - ASPHALT SHINGLE
 - CLAPBOARD SIDING

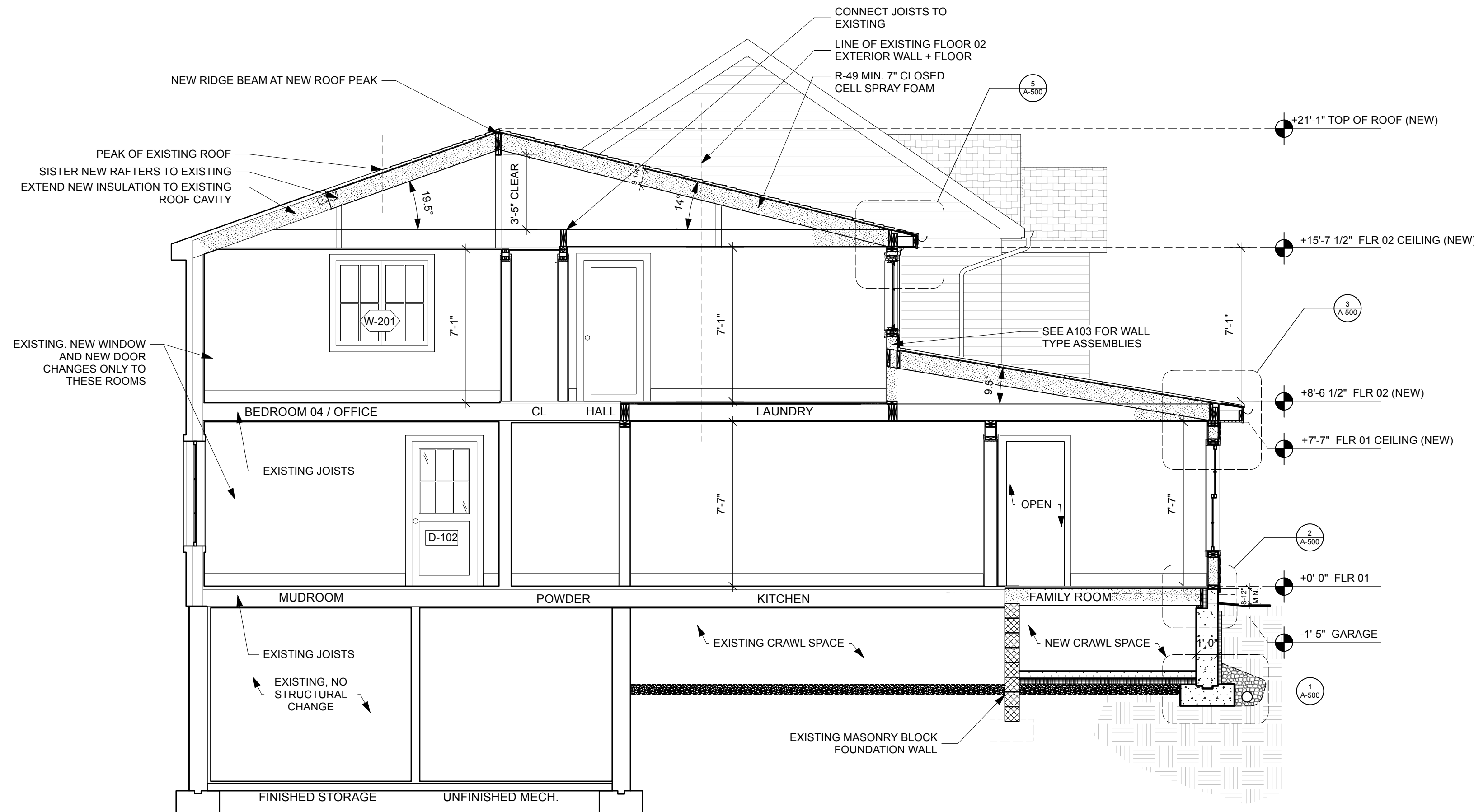


2 EXT. ELEVATION - NORTH DEMO
Scale: 1/4" = 1'-0"

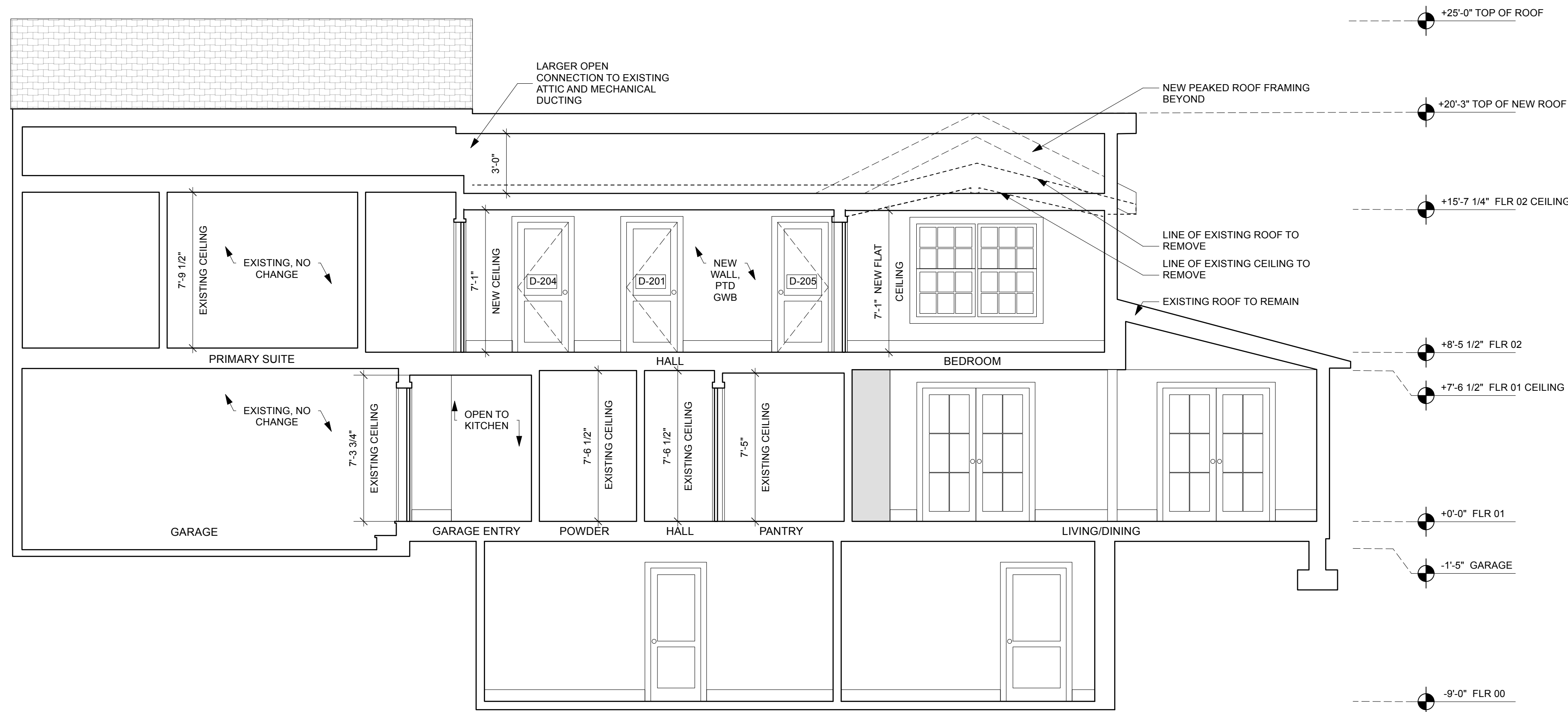


1 EXT. ELEVATION - NORTH PROPOSED
Scale: 1/4" = 1'-0"





2 E-W BUILDING SECTION FACING NORTH
Scale: 1/4" = 1'-0"



1 N-S BUILDING SECTION FACING EAST
Scale: 1/4" = 1'-0"

No.	Date	Description	Issued to
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Contractor:
TBD

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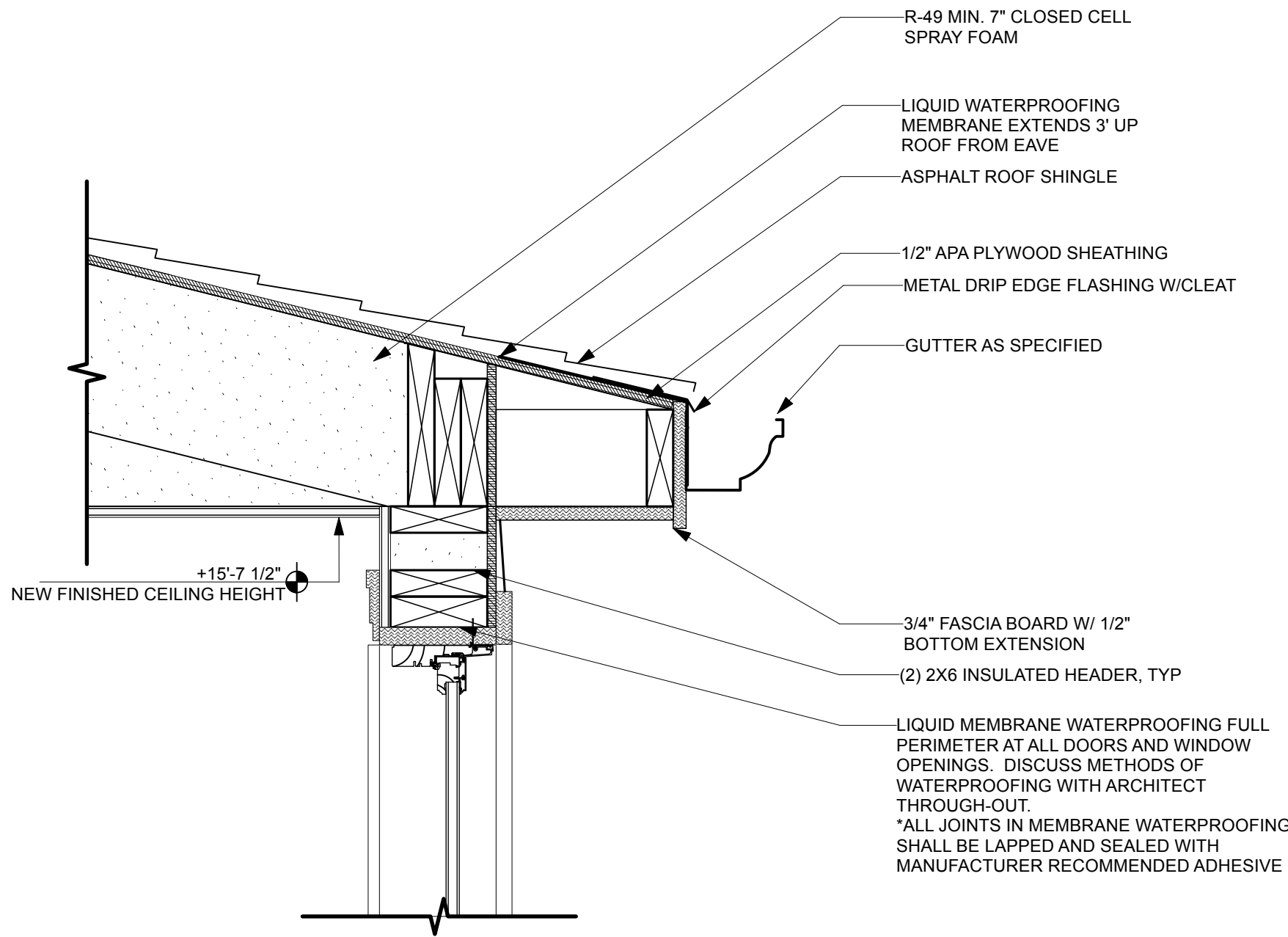
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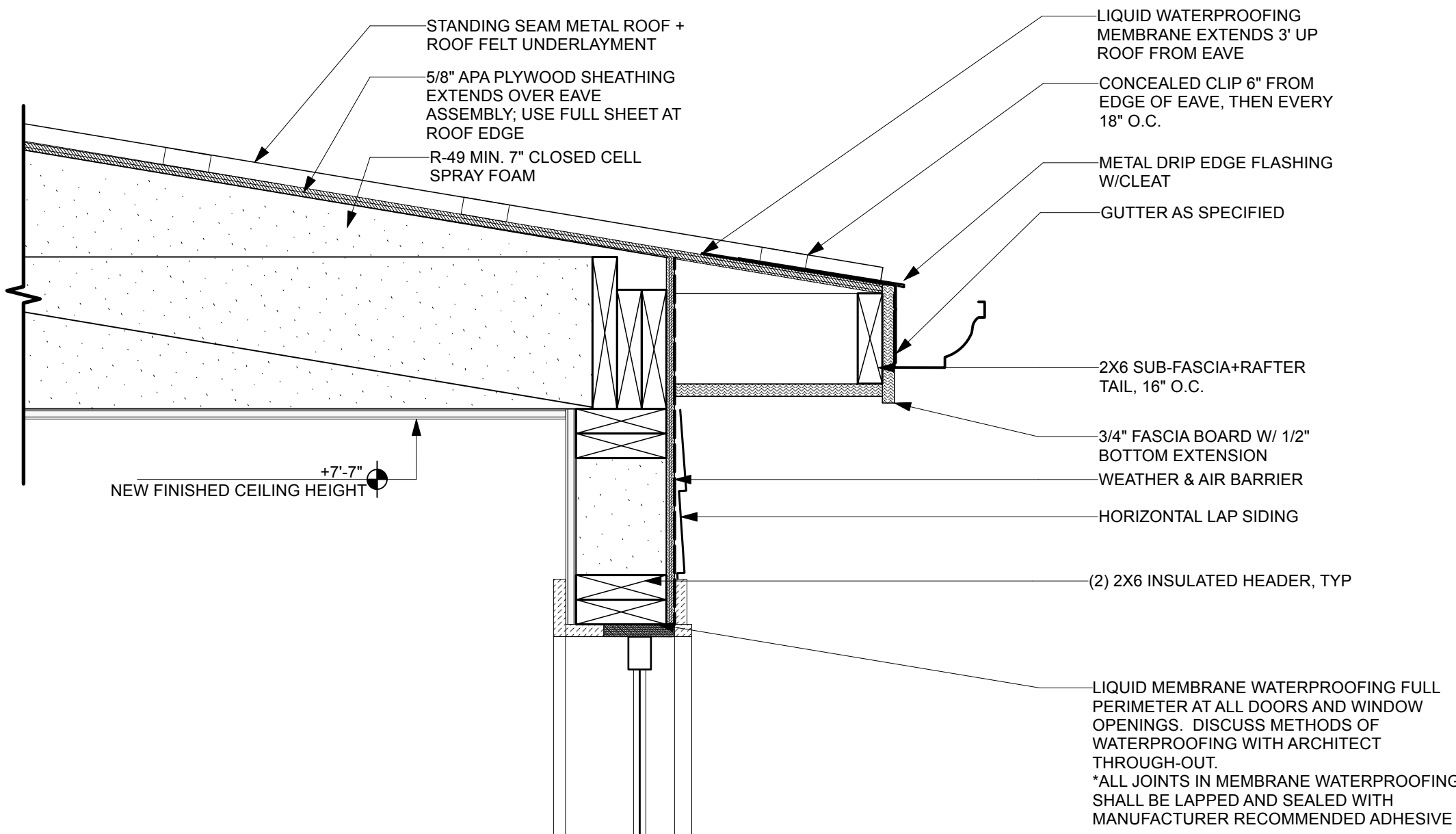
BUILDING SECTIONS

Drawing No.

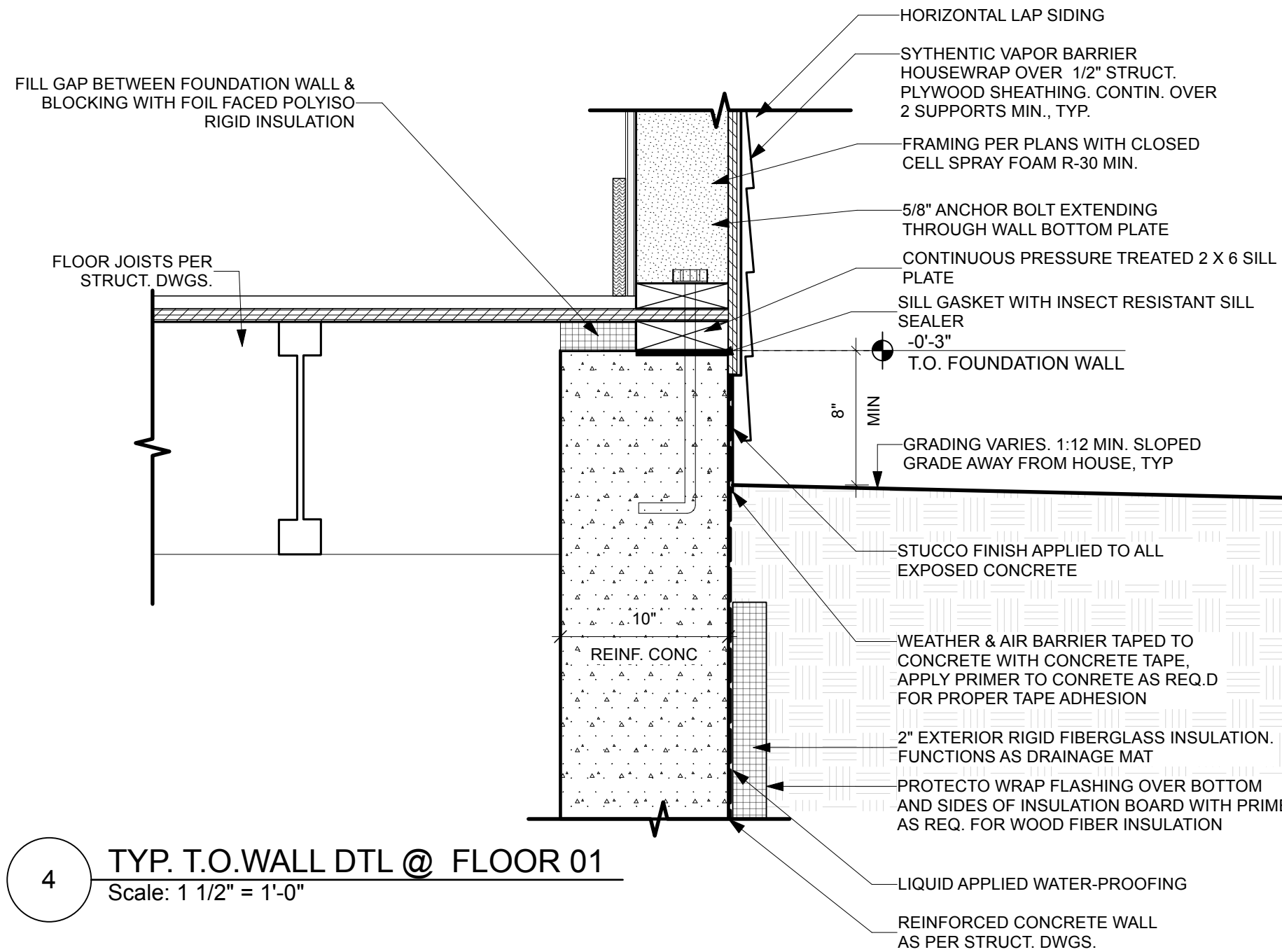
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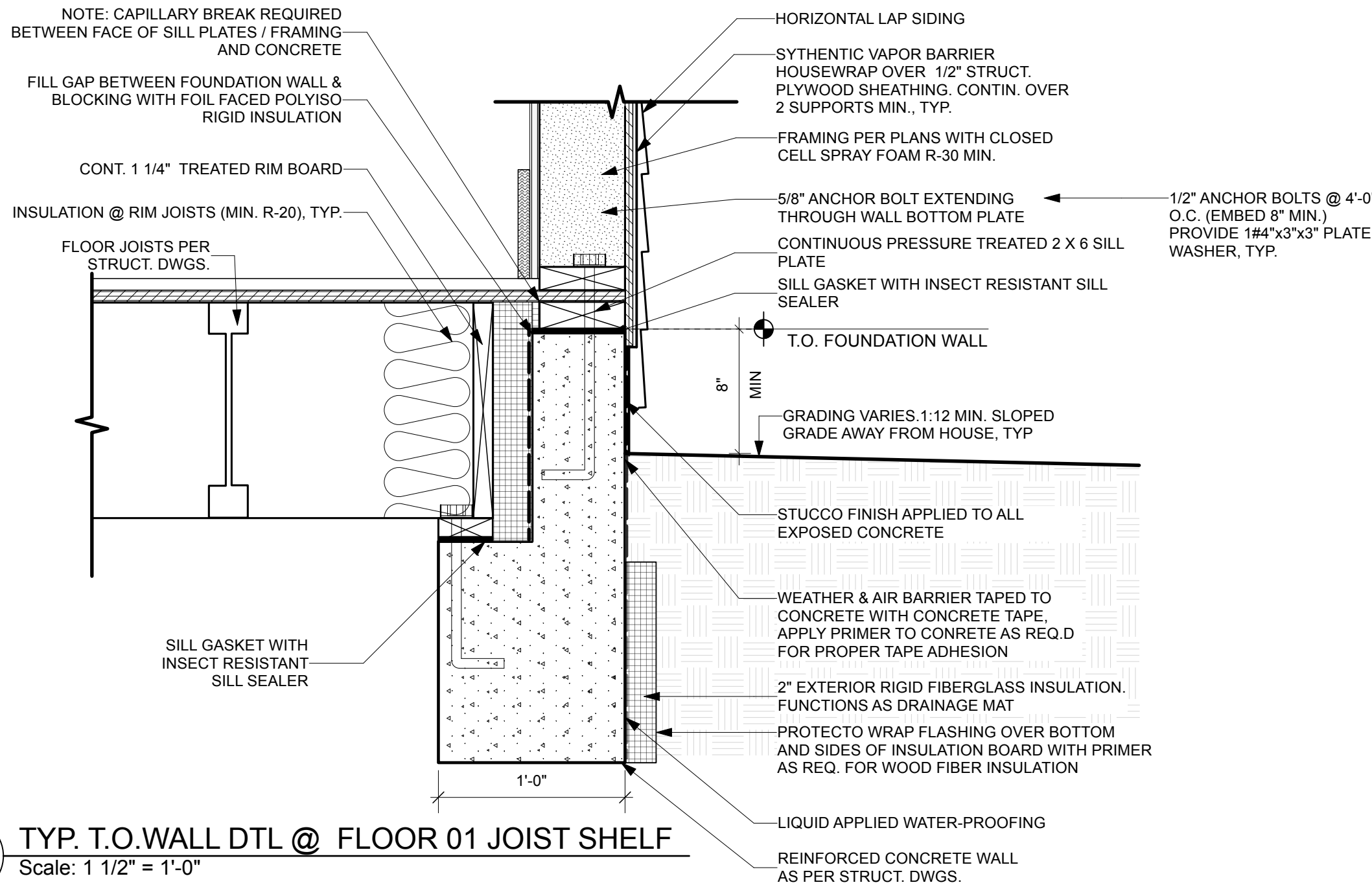
5 EAVE DETAIL @ SHINGLED ROOF (FLOOR 02)
Scale: 1 1/2" = 1'-0"



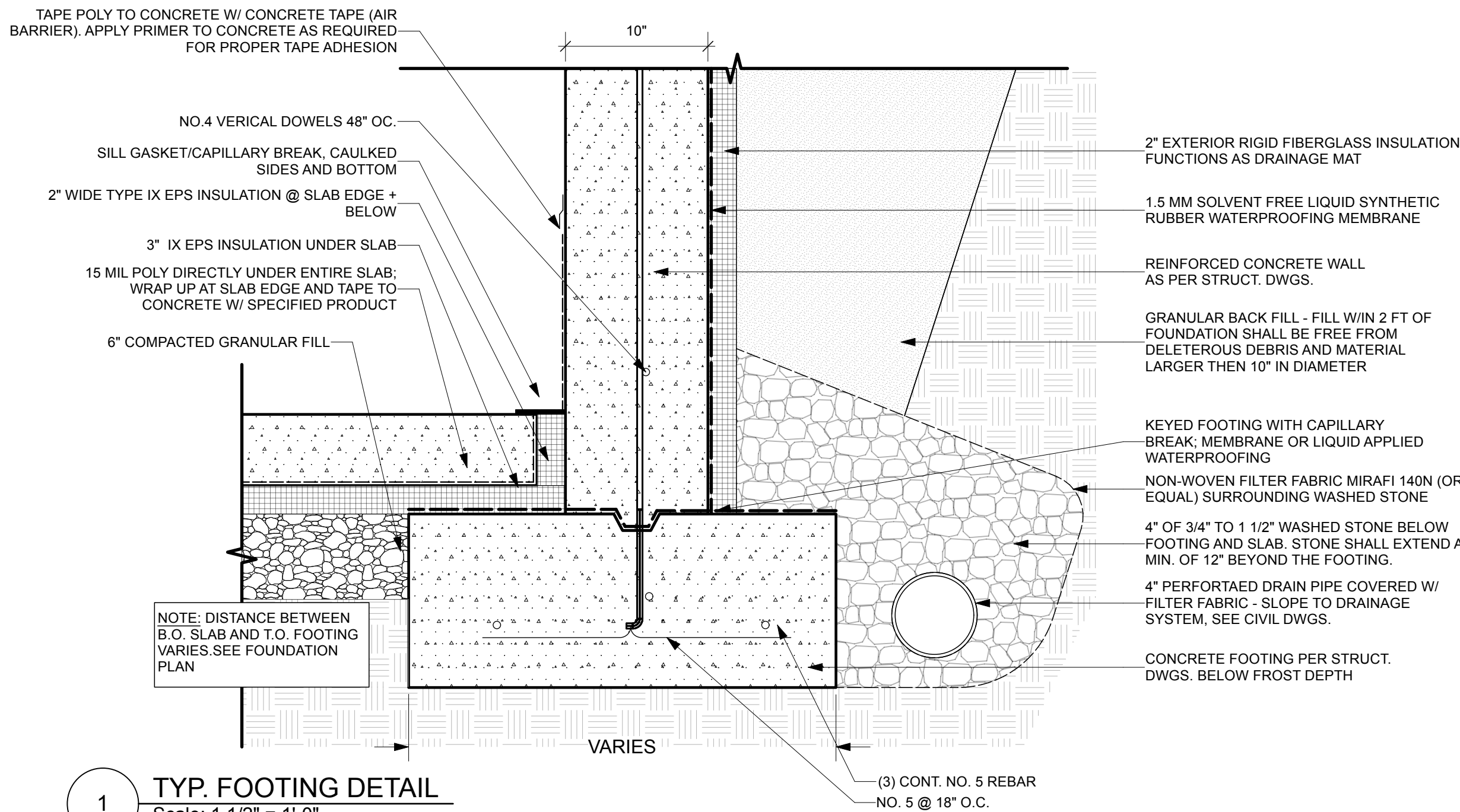
3 EAVE DETAIL @ METAL ROOF (FLOOR 01)
Scale: 1 1/2" = 1'-0"



4 TYP. T.O. WALL DTL @ FLOOR 01
Scale: 1 1/2" = 1'-0"



2 TYP. T.O. WALL DTL @ FLOOR 01 JOIST SHELF
Scale: 1 1/2" = 1'-0"



1 TYP. FOOTING DETAIL
Scale: 1 1/2" = 1'-0"

No.	Date	Description	Issued to
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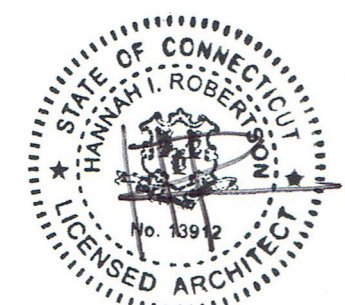
Contractor:
TBD

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Project:
Schlang Residence
20 Evergreen Pkwy
Westport, CT 06880

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Date:
11/04/2024

Drawing Title

TYP EXTERIOR DETAILS

Drawing No.