



PROPOSED
 ADDITIONS & ALTERATIONS
 • 7 DUCK POND ROAD •
 WESTPORT, CONNECTICUT 06880

SHEET LIST

A-000 ARCHITECTURAL COVER SHEET
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ISSUED FOR PERMIT
 OCTOBER 20, 2024

ANDY FRANK
 BUILDER OF QUALITY HOMES
 1175 POST RD E, WESTPORT, CT 06880
 (203) 226-0714

RA-2401 2024-10-20
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ANDY FRANK
 SINGLE-FAMILY RESIDENCE
 7 DUCK POND, WESTPORT, CT

ARCHITECTURAL
 COVER SHEET

A-000

WESTPORT ZONING REGULATIONS AND SUBDIVISION REGULATIONS (EFFECTIVE APRIL 12, 2024)

GROUP	REF.	DESCRIPTION	REQUIRED	PROPOSED	REMARKS
1-ZONING	S4-2	ZONING DISTRICT	RESIDENCE AA DISTRICT	NO PROPOSED CHANGE (RESIDENCE AA DISTRICT)	
1-ZONING	S5-2	DEFINITIONS - SPECIFIC TERMS - GRADE ELEVATION	AVERAGE EXISTING GRADE @ ELEVATION +8'-6" (NAVD 88)	NO PROPOSED CHANGE (+8'-6" (NAVD 88))	
1-ZONING	S5-2	DEFINITIONS - SPECIFIC TERMS - SPECIAL FLOOD HAZARD AREA	100-YEAR (AE-13)	FIRST HABITABLE FLOOR LEVEL @ ELEVATION +8'-11/4" (AE-13)	
1-ZONING	S5-2	DEFINITIONS - SPECIFIC TERMS - ATTIC	<25% FLOOR AREA w/ HEADROOM 5'-6" OR GREATER	437 SF (LEVEL 3) / 1644 SF (LEVEL 2) = 26.58%. LEVEL 3 IS NOT AN ATTIC	NOT A FULL STORY, NOT INCLUDED IN FLOOR AREA MEASUREMENTS
1-ZONING	S5-2	DEFINITIONS - SPECIFIC TERMS - BUILDING HEIGHT	AVG. EXISTING GRADE TO MIDPOINT OF SLOPES, RIDGE OF OTHERS		EXEMPTIONS: PARAPETS/TURRETS <3'-0". CUPOLAS w/ RESTRICTIONS
1-ZONING	S5-2	DEFINITIONS - SPECIFIC TERMS - HALF-STORY	25-50% FLOOR AREA w HEADROOM 5'-6" OR GREATER	437 SF (LEVEL 3) / 1644 SF (LEVEL 2) = 26.58%. LEVEL 3 IS A HALF-STORY	HALF STORY SHALL BE INCLUDED FULLY IN FLOOR AREA MEASUREMENTS
1-ZONING	S5.2, S12-6	TOTAL COVERAGE	25% OF LOT (INCLUDE 50% OF TENNIS COURTS)	EXISTING NON-CONFORMING TO REMAIN UNCHANGED	ALL BUILDINGS, STRUCTURES, PARKING AREAS, DRIVEWAYS, SWIMMING POOLS, TENNIS COURTS, AND SIMILAR IMPROVEMENTS, PATIOS AND TERRACES, EXCLUDED PROVIDED THEY ARE LESS THAN 3'-0" ABOVE ADJACENT GRADE. NO MORE THAN 20% OF LAND COVERED BY WATER BODIES, WATERCOURSES, WETLANDS, AND TOPOGRAPHY GREATER THAN 25% SHALL BE INCLUDED IN THE LOT AREA USED TO CALCULATE MAX. ALLOWABLE TOTAL COVERAGE.
1-ZONING	S6-31	SETBACKS, NON CONFORMING LOT, 21780-43.5595SF	30' FRONT, 15' SIDE, 25' REAR	EXISTING NON-CONFORMING TO REMAIN UNCHANGED	IN SFHA, ENTRY STEPS/PORCHES ALLOWED TO WITHIN 5' OF P.L.
1-ZONING	S6-33	HEIGHT, NON-CONFORMING LOT, 21780-43.5595SF	2 1/2 STORIES, 30 FEET + 4' ADDITIONAL TO 3/4" MAX. VE ZONES OR 3' MAX. AE ZONES	2 1/2 STORIES, 30' + 1' = 31' (AE ZONE)	IN SFHA, ADD 1' TO MAX. HT. FOR EACH 1' BETWEEN BFE & GRADE (+5' MAX)
1-ZONING	S12-3S6-3	LOT AREA	1 ACRE (43,560 SF), 150' SQUARE	0.746 ACRES (32,504 SF)	NON-CONFORMING LOT SETBACK MODIFICATIONS: 30' FRONT, 15' SIDE, 25' REAR
1-ZONING	S12-4	SETBACKS, RESIDENCE AA DISTRICT	30' STREET, 25' SIDE, 25' REAR (PROJECTIONS ALLOWED TO 3'-0")	N/A	EXISTING NON-CONFORMING, REFER TO NON-CONFORMING LOT RESTRICTIONS
1-ZONING	S12-5	HEIGHT, RESIDENCE AA DISTRICT	PRINCIPAL - 3 STORIES, 40 FEET; ACCESSORY - 1 STORY, 16 FEET	N/A	EXISTING NON-CONFORMING, REFER TO NON-CONFORMING LOT RESTRICTIONS
1-ZONING	S12-7	BUILDING AREA	NONE	N/A	
1-ZONING	S12-8	FLOOR AREA	NONE	N/A	
1-ZONING	S12-II, S34-5	OFF STREET PARKING, SINGLE-FAMILY DWELLING UNIT	2 SPACES	2 SPACES	
1-ZONING	S32-82.7	DATUM	NORTH AMERICAN VERTICAL DATUM (NAVD) 1988	NORTH AMERICAN VERTICAL DATUM (NAVD) 1988	
1-ZONING	S148, S31-7	WATERWAY PROTECTION LINE ORDINANCE	25' SETBACK FROM WETLANDS/WATERCOURSE	ENTIRE PROPERTY IS WITHIN WPLO	INLAND WETLAND AND WATERCOURSE REGULATIONS

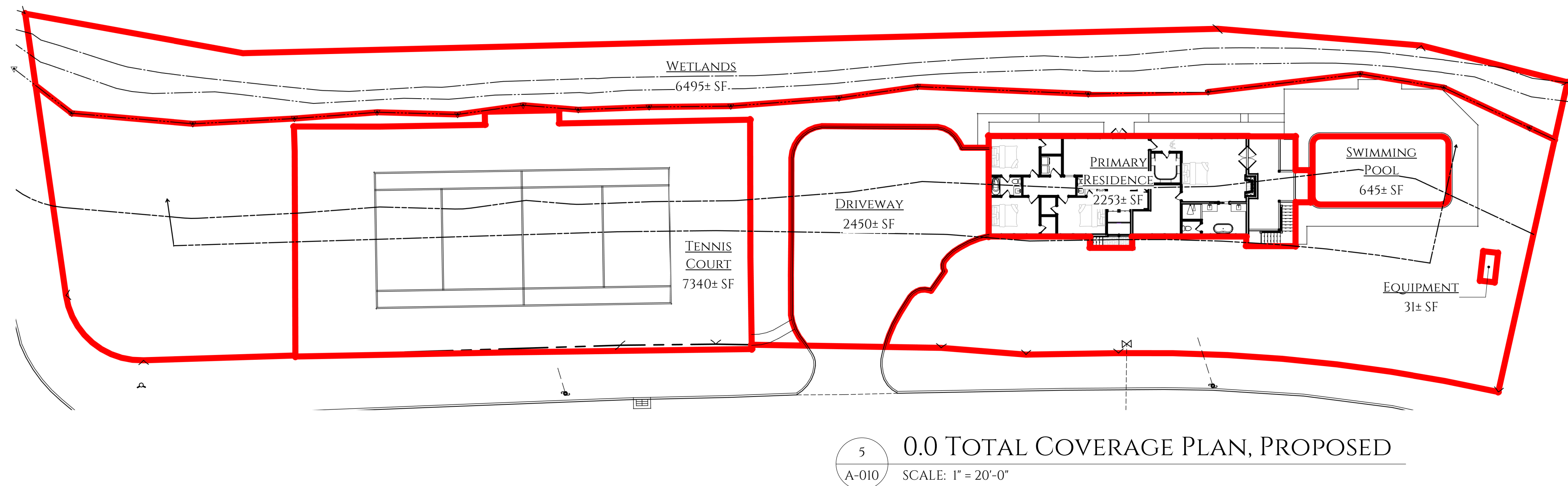
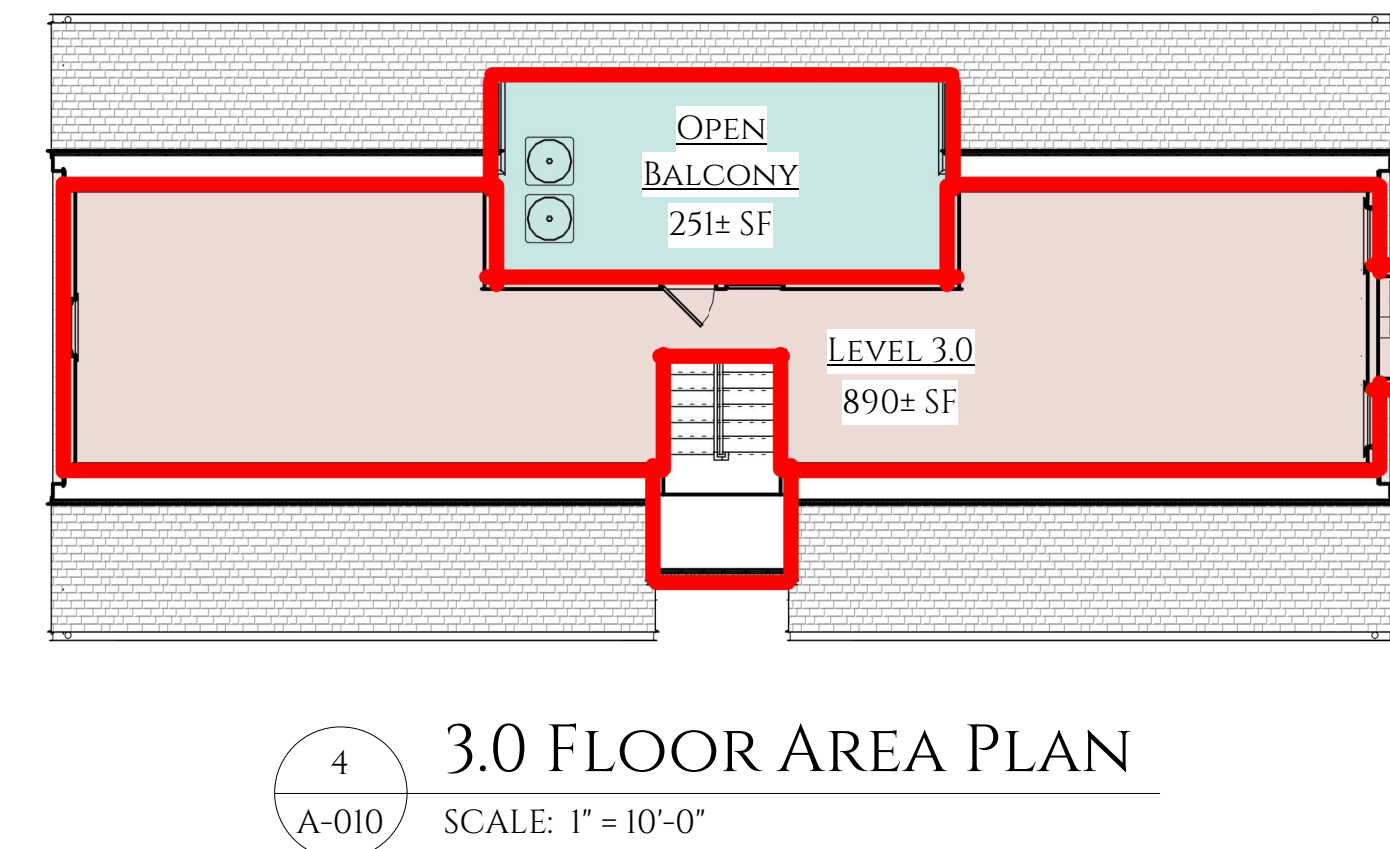
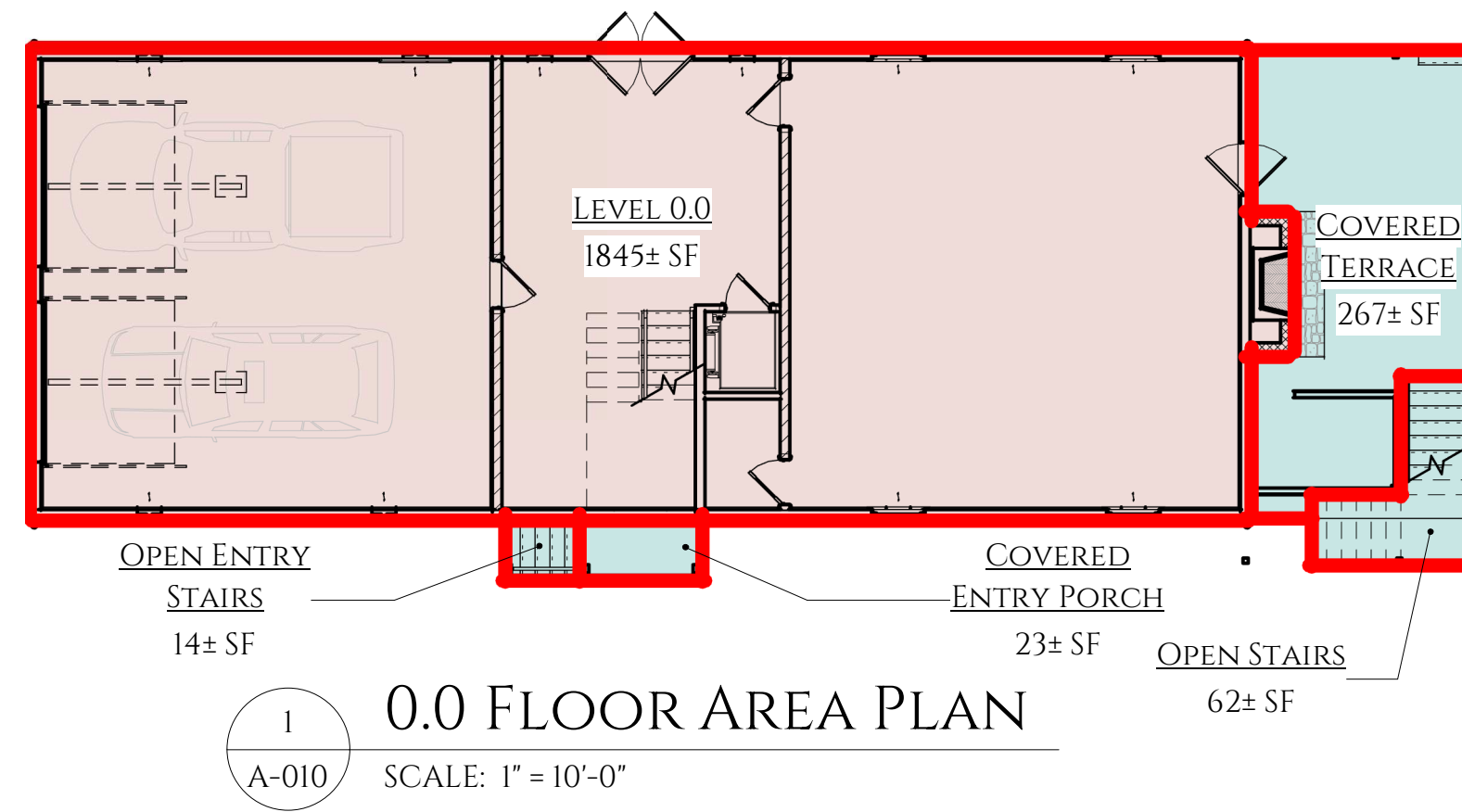


APPLICABLE CODES

- LIST OF APPLICABLE BUILDING CODES AS ADOPTED WITH AMENDMENTS BY THE
- 2022 CONNECTICUT STATE BUILDING CODE INCLUDING ERRATA #1 (4/12/2023)
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2022 CT STATE FIRE SAFETY CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2020 NFPA 70 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL SWIMMING POOL & SPA CODE

CODE REFERENCES

USE GROUP:		
SINGLE FAMILY DWELLING		
INSULATION MINIMUM R-VALUES (R402.1.3)		
CLIMATE ZONE:	5	
FENESTRATION U-FACTOR:	0.30	
CEILING R-VALUE:	60	
WALL R-VALUE:	30	
	OR 20 + 5ci	
FLOOR R-VALUE:	30	
BASEMENT WALL R-VALUE:	15/19	
SLAB R-VALUE & DEPTH:	10, 2ft	
CRAWL SPACE WALL R-VALUE:	15/19	
STRUCTURAL		
UNIFORM LIVE LOADS:	PSE	
UNINHABITABLE ATTIC w/o STORAGE:	10	
UNINHABITABLE ATTIC w/ LIMITED STORAGE:	20	
HABITABLE ATTIC SERVED w/ FIXED STAIRS:	30	
BALCONIES AND DECKS:	40	
FIRE ESCAPES:	40	
PASSENGER VEHICLE GARAGES:	50	
AREAS OTHER THAN SLEEPING AREAS:	40	
SLEEPING AREAS:	30	
STAIRS:	40	
CONCENTRATED LOADS		
GUARDS:	LBS	200
GUARD IN-FILL COMPONENTS:		50
HANDRAILS:		200



COVERAGE CALCS

ALLOWABLE TOTAL COVERAGE	
GROSS LOT AREA	= 32,504 SF
(LESS) 80% OF:	
EASEMENTS = 0 SF X 0.80 =	- 0 SF
WETLANDS = 6,495 SF X 0.80 =	- 5,196 SF
STEEP SLOPES = 0 SF X 0.80 =	- 0 SF
BASE LOT AREA FOR CALCS	= 27,308 SF
ZONE RESIDENCE AA ALLOWABLE (S12-6)	± 25%
ALLOWABLE COVERAGE, TOTAL	= 6,827 SF

EXISTING TOTAL COVERAGE	
BUILDINGS	+ 2,475 SF
DRIVEWAY	+ 2,450 SF
TENNIS COURTS	+ 7,340 SF
(LESS) 50%	7340 SF X 0.50 =
	- 3,670 SF
POOL	+ 645 SF
EXISTING TOTAL COVERAGE	= 9,240 SF

9,240 SF EXISTING > 6,827 SF ALLOWABLE
THEREFORE EXISTING IS NON-CONFORMING

PROPOSED TOTAL COVERAGE	
BUILDINGS	+ 2,253 SF
EQUIPMENT	+ 31 SF
DRIVEWAY	+ 2,450 SF
TENNIS COURTS	+ 7,340 SF
(LESS) 50%	7340 SF X 0.50 =
	- 3,670 SF
POOL	+ 645 SF
PROPOSED TOTAL COVERAGE	= 9,049 SF

9,049 SF PROPOSED < 9,240 SF EXISTING
REDUCTION IN NON-CONFORMANCE BY 191 SF

NOTE: NO BUILDING COVERAGE LIMITS IN RESIDENCE AA DISTRICT. PLANS PROVIDED FOR REFERENCE ONLY.

NOTE: ALL FINAL COVERAGE CALCULATIONS SHALL BE PROVIDED BY LICENSED SURVEYOR.

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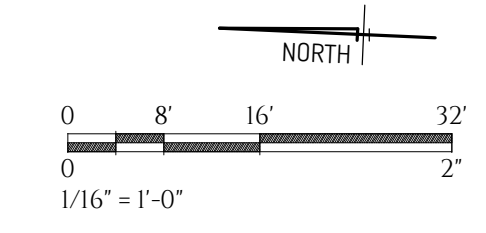
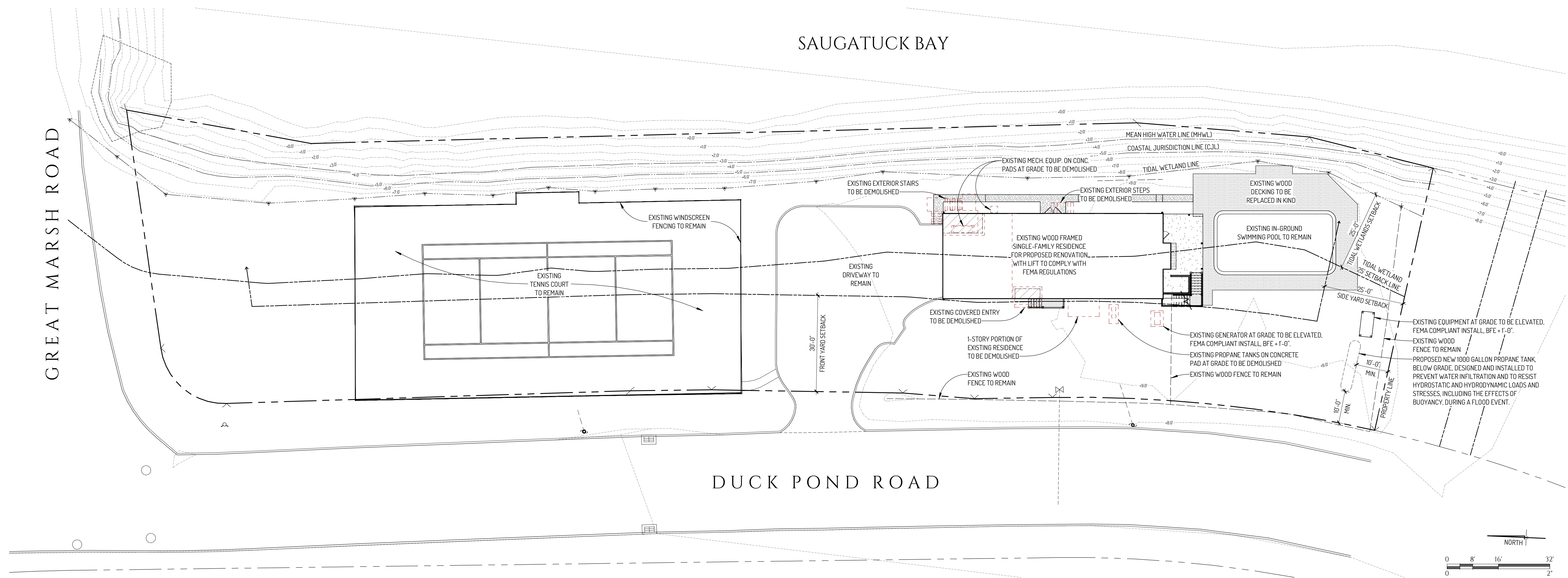
ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

CODE &
REGULATION
SUMMARY

A-010



SAUGATUCK BAY



1 ARCHITECTURAL SITE PLAN
A-090 SCALE: 1/16" = 1'-0"

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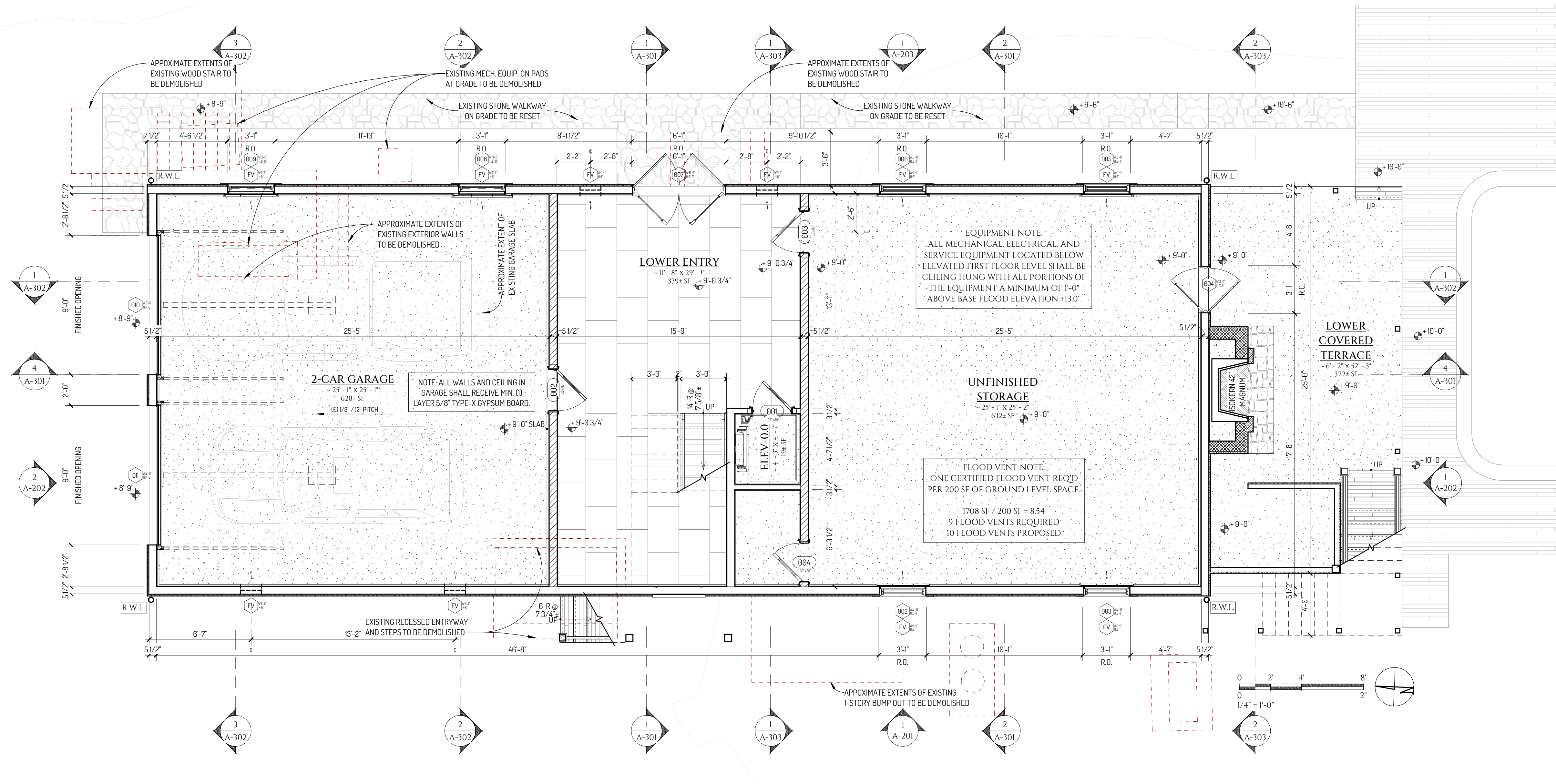
ARCHITECTURAL
SITE PLAN

A-090



GENERAL NOTES

- FOR THE PURPOSES OF THESE NOTES, THE TERM 'CONTRACTOR' SHALL INCLUDE, BUT NOT BE LIMITED TO, GENERAL CONTRACTOR, SUB-CONTRACTORS, FABRICATORS, CONSTRUCTION MANAGERS, AND ALL OTHER CONSTRUCTION TRADE PERSONS.
- CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH ALL FORMS OF CONTRACT DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY PORTION OF FABRICATION OR CONSTRUCTION. THIS INCLUDES ALL ARCHITECTURAL AND INTERIOR CONSTRUCTION DRAWINGS, ANNOTATIONS, NOTES, CONSULTING ENGINEER DOCUMENTS, AND ALL WRITTEN SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK AND CONSTRUCTION SEQUENCING WITH SPECIAL ATTENTION GIVEN TO CRITICAL AREAS WITH OVERLAPPING WORK OF MULTIPLE TRADES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS, AND FOR EXECUTING ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANUP OF WORK AREA AND ALL EXPOSED BUILDING SURFACES.
- ALL TRASH SHALL BE REMOVED FOR THE PREMISES EACH DAY AND THE AREA LEFT CLEAN WHENEVER UNATTENDED. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP. COORDINATE WITH THE OWNER FOR SECURE ON-SITE STORAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO FINISHED SURFACES, EQUIPMENT, AND FURNITURE CAUSED AS A RESULT OF THEIR WORK. REPAIR OR REPLACE DAMAGED ITEMS AS DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR ANY PURPOSE RELATED TO THE FABRICATION CONSTRUCTION OR INSTALLATION OF ANY PORTION OF THIS PROJECT.
- ALL DIMENSION STRINGS ON FLOOR PLANS WITH REFERENCE TO EXTERIOR WALLS, EXTERIOR OPENINGS, INTERIOR PARTITIONS, AND SIMILAR SUCH ELEMENTS ARE TAKEN AT ROUGH FRAMING OR FACE OF MASONRY UNLESS OTHERWISE NOTED ON PLANS.
- ALL DIMENSIONS NOTED AS EXISTING OR V.I.F. SHALL BE VERIFIED IN FIELD BY GENERAL CONTRACTOR.
- ANY DIMENSIONAL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW AND FREE FROM DEFECTS. ANY SUBSTITUTIONS OR CHANGES TO THE SPECIFIED MATERIALS OR FINISHES MUST BE SUBMITTED TO ARCHITECT IN WRITING FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY RELATED OR CORRELATED WORK.
- ALL WORKMANSHIP SHALL BE OF GOOD QUALITY AND PERFORMED IN A TRADESMAN-LIKE MANNER. DEFECTIVE WORK SHALL BE CORRECTED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
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- WINDOWS AND DOORS: ALL WINDOWS AND DOORS SHALL BE INSTALLED PLUMB, LEVEL, AND SECURE, AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FLASHING SHALL BE PROVIDED AS REQUIRED TO PREVENT WATER INFILTRATION.



1 LEVEL 0.0 FLOOR PLAN
 A-100 SCALE: 1/4" = 1'-0"

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 SINGLE-FAMILY RESIDENCE
 7 DUCK POND, WESTPORT, CT

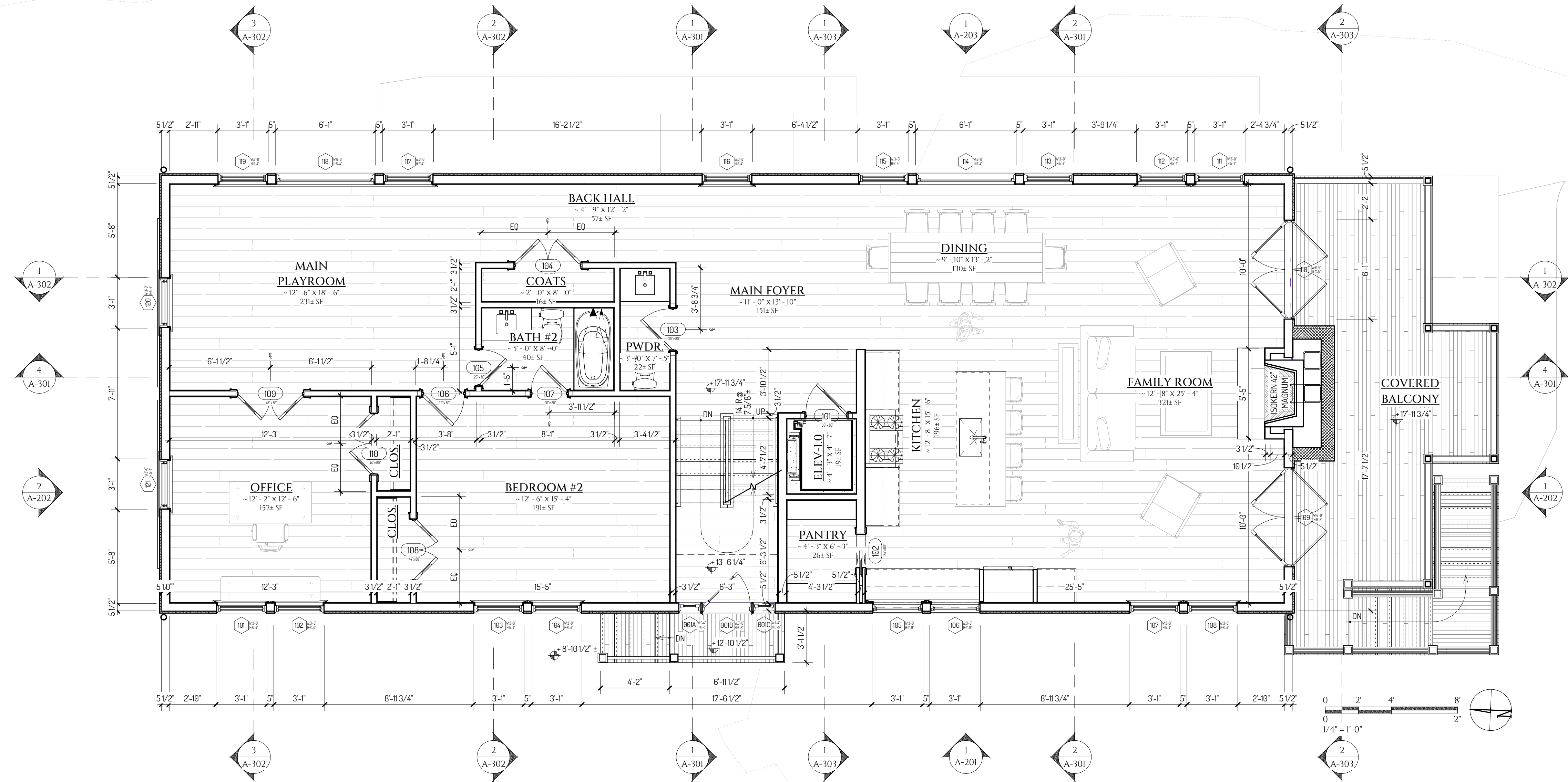
GROUND LEVEL
 FLOOR PLAN

A-100



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1 LEVEL 1.0 FLOOR PLAN
 A-101 SCALE: 1/4" = 1'-0"

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 SINGLE-FAMILY RESIDENCE
 7 DUCK POND, WESTPORT, CT

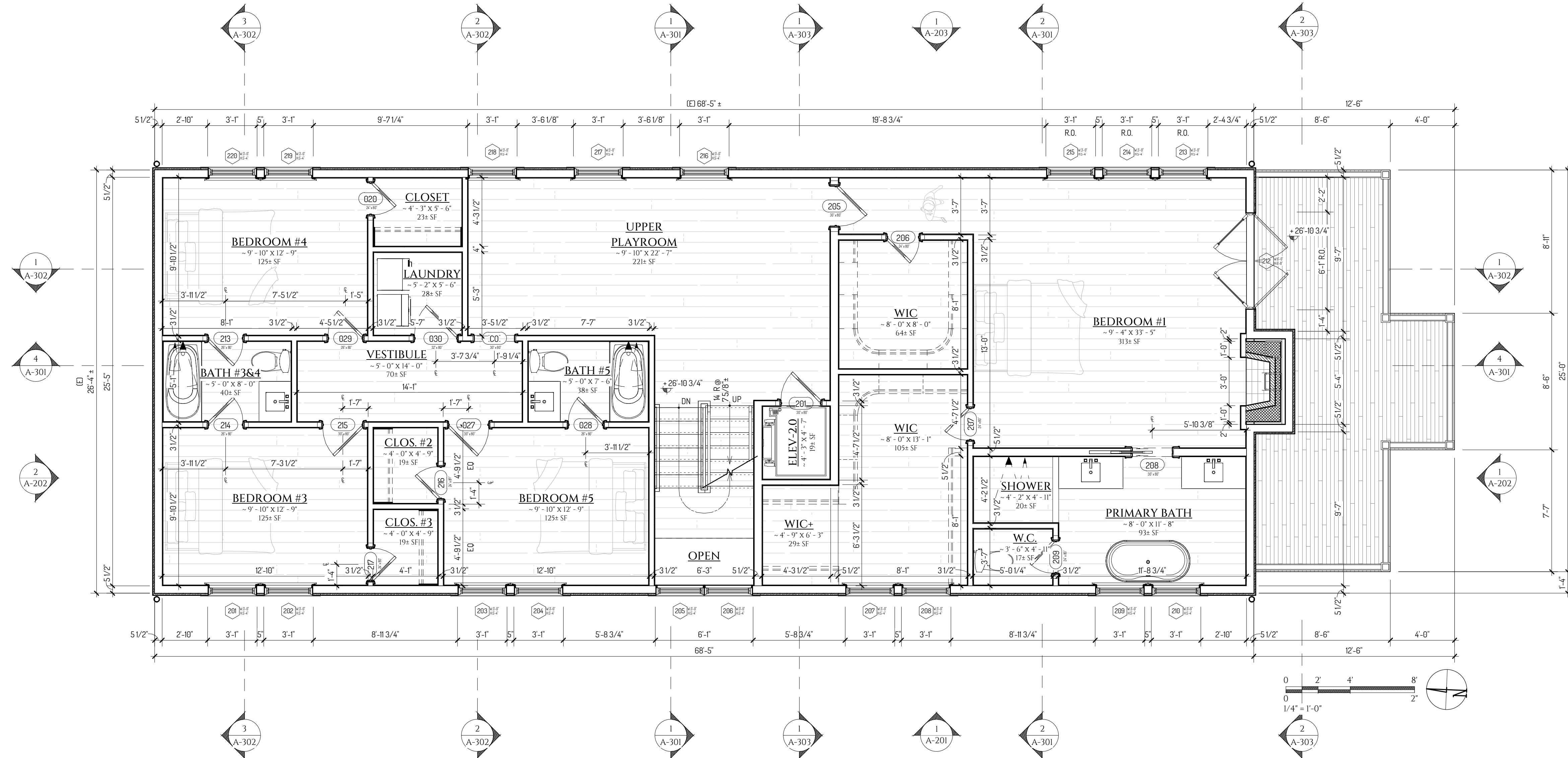
FIRST LEVEL FLOOR
 PLAN

A-101



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1 LEVEL 2.0 FLOOR PLAN
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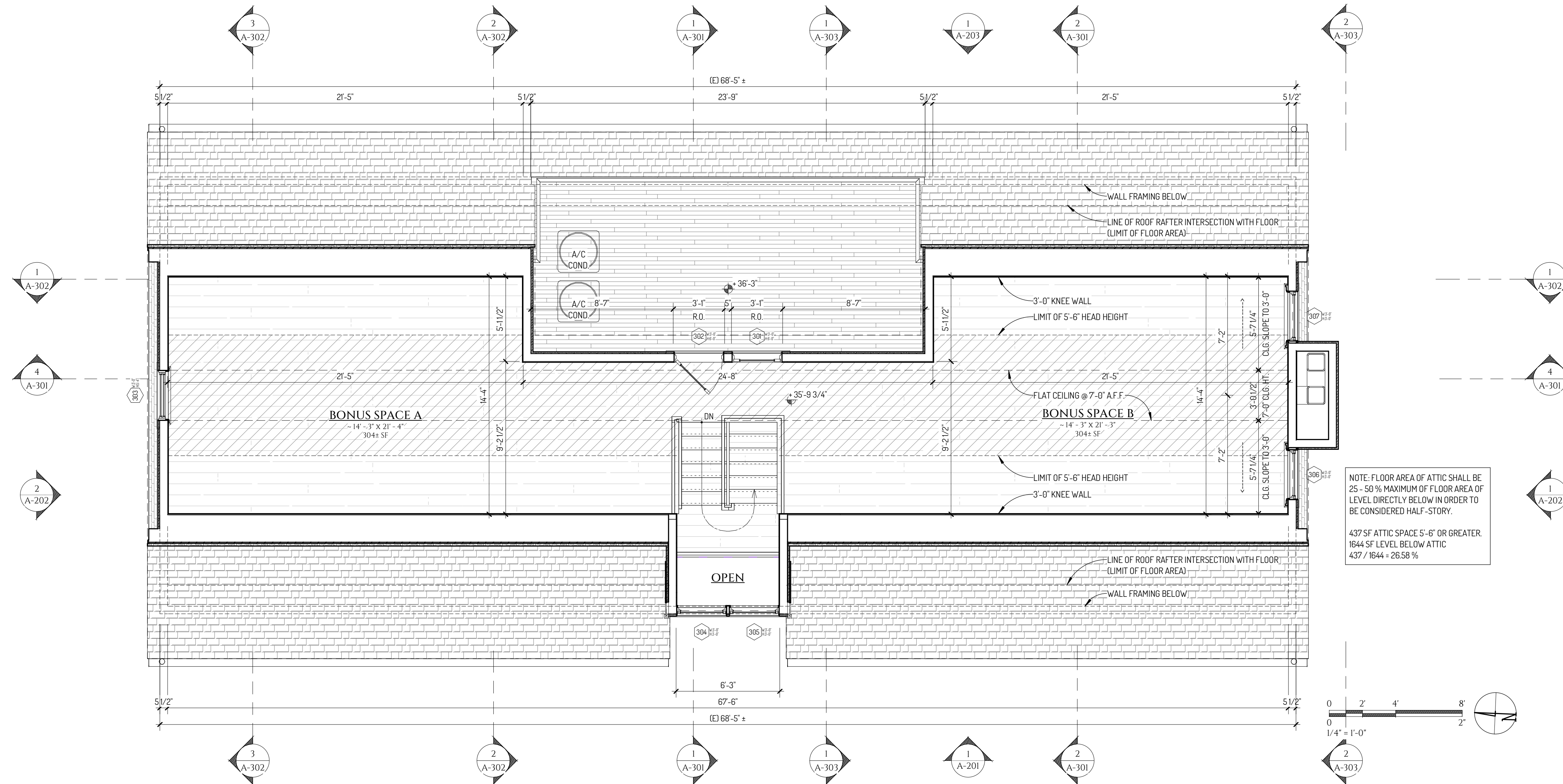
SECOND LEVEL
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A-102



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1 LEVEL 3.0 FLOOR PLAN
A-103 SCALE: 1/4" = 1'-0"

RA-2401 2024-10-20
ISSUED FOR PERMIT

ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

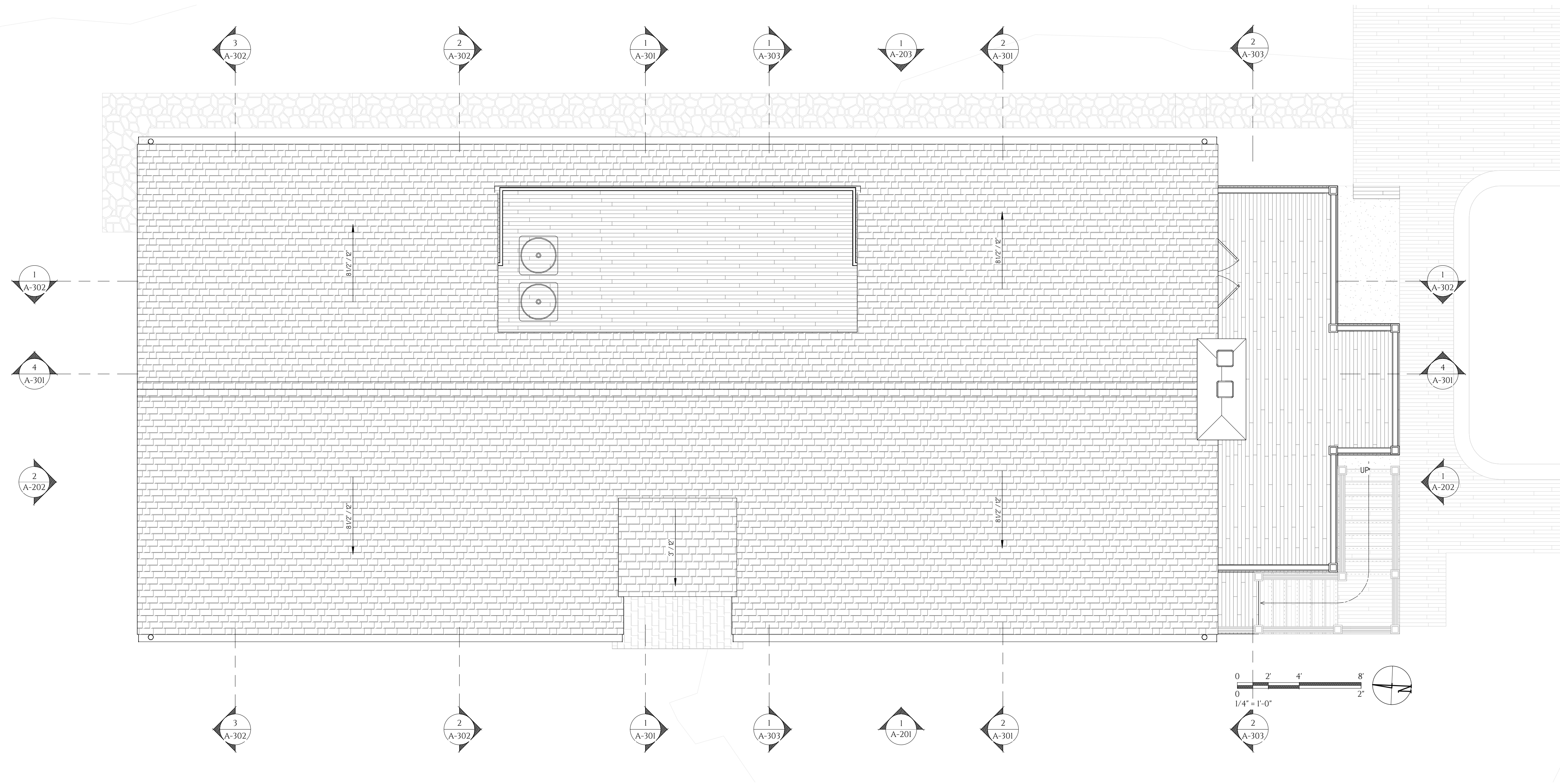
THIRD LEVEL FLOOR
PLAN

A-103



GENERAL NOTES

- FOR THE PURPOSES OF THESE NOTES, THE TERM 'CONTRACTOR' SHALL INCLUDE, BUT NOT BE LIMITED TO: GENERAL CONTRACTOR, SUB-CONTRACTORS, FABRICATORS, CONSTRUCTION MANAGERS, AND ALL OTHER CONSTRUCTION TRADE PERSONS.
- CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH ALL FORMS OF CONTRACT DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY PORTION OF FABRICATION OR CONSTRUCTION. THIS INCLUDES ALL ARCHITECTURAL AND INTERIOR CONSTRUCTION DRAWINGS, ANNOTATIONS, NOTES, CONSULTING ENGINEER DOCUMENTS, AND ALL WRITTEN SPECIFICATIONS.
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- THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR ANY PURPOSE RELATED TO THE FABRICATION, CONSTRUCTION, OR INSTALLATION OF ANY PORTION OF THIS PROJECT.
- ALL DIMENSION STRINGS ON FLOOR PLANS WITH REFERENCE TO EXTERIOR WALLS, EXTERIOR OPENINGS, INTERIOR PARTITIONS, AND SIMILAR SUCH ELEMENTS ARE TAKEN AT ROUGH FRAMING OR FACE OF MASONRY UNLESS OTHERWISE NOTED ON PLANS.
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- ANY DIMENSIONAL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW AND FREE FROM DEFECTS. ANY SUBSTITUTIONS OR CHANGES TO THE SPECIFIED MATERIALS OR FINISHES MUST BE SUBMITTED TO ARCHITECT IN WRITING FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY RELATED OR CORRELATED WORK.
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- WINDOWS AND DOORS: ALL WINDOWS AND DOORS SHALL BE INSTALLED PLUMB, LEVEL, AND SECURE, AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FLASHING SHALL BE PROVIDED AS REQUIRED TO PREVENT WATER INFILTRATION.



1
A-104 LEVEL 4.0 ROOF PLAN
SCALE: 1/4" = 1'-0"

RA-2401 2024-10-20
ISSUED FOR PERMIT

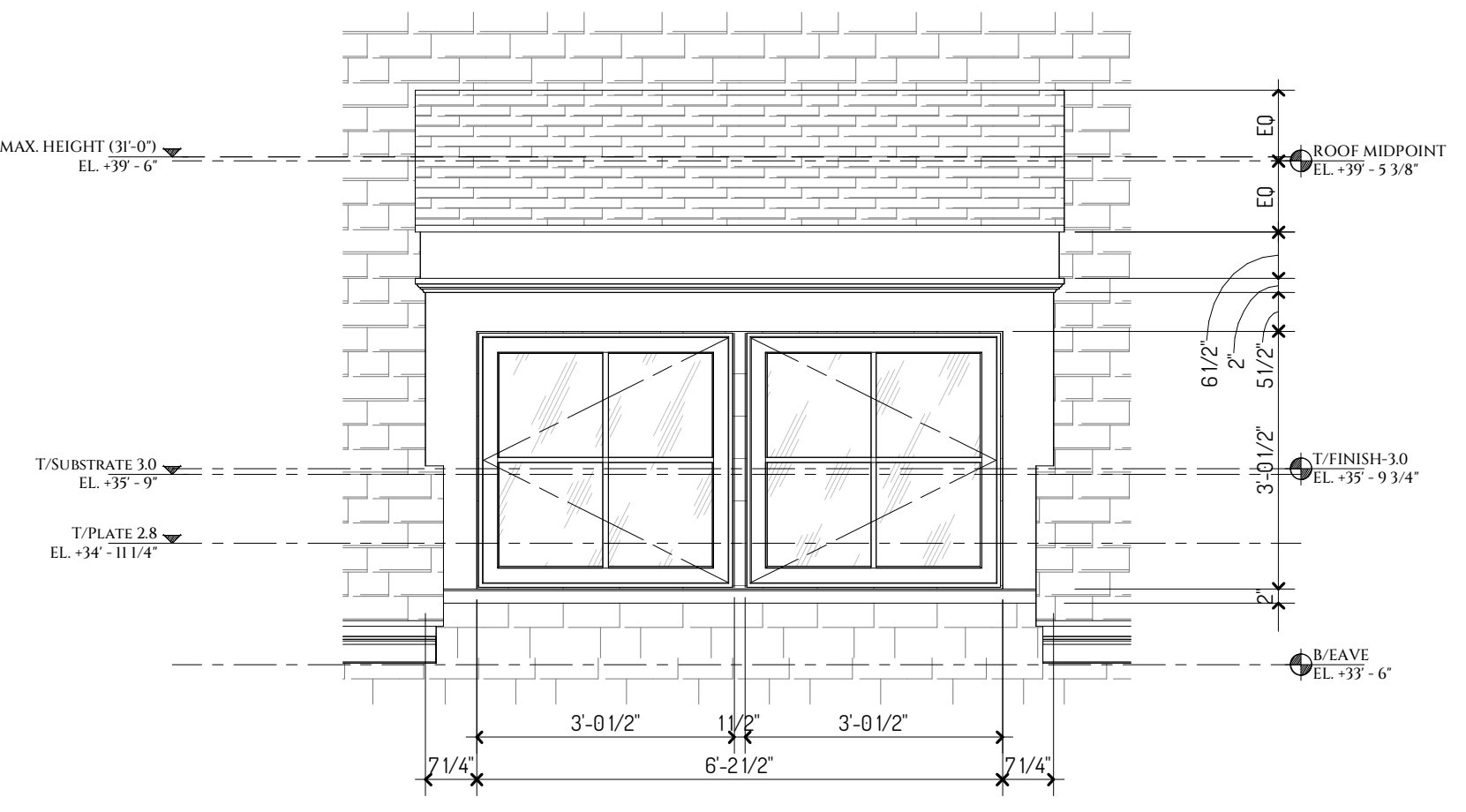
ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

ROOF LEVEL FLOOR
PLAN

A-104



1 FRONT (WEST / STREET) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT DORMER ELEVATION - CALLOUT
SCALE: 1/2" = 1'-0"



2 FRONT ENTRY ELEVATION - CALLOUT
SCALE: 1/2" = 1'-0"

GENERAL NOTES

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8. THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR ANY PURPOSE RELATED TO THE FABRICATION, CONSTRUCTION OR INSTALLATION OF ANY PORTION OF THIS PROJECT.
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ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

BUILDING
ELEVATIONS

A-201

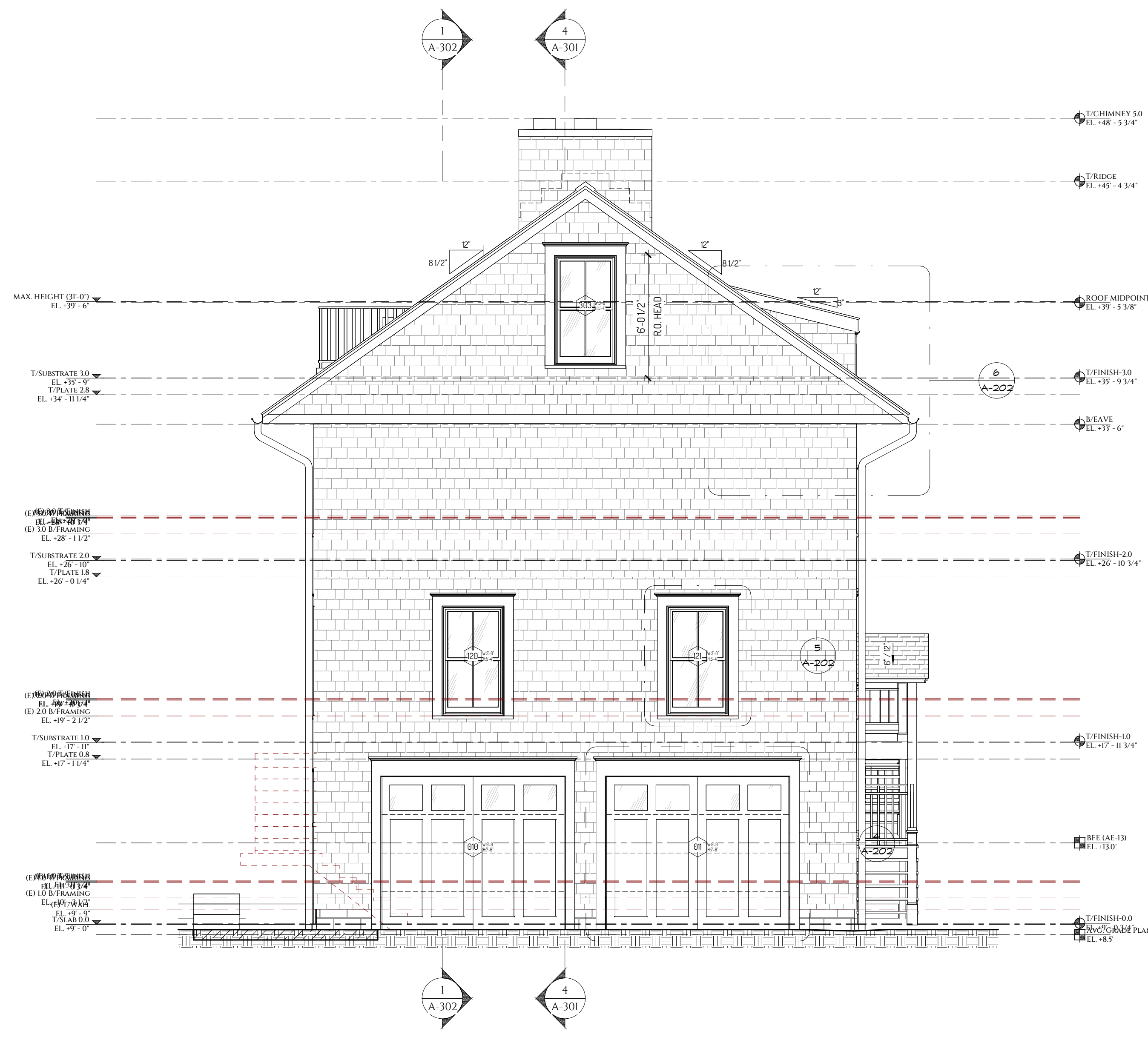


GENERAL NOTES

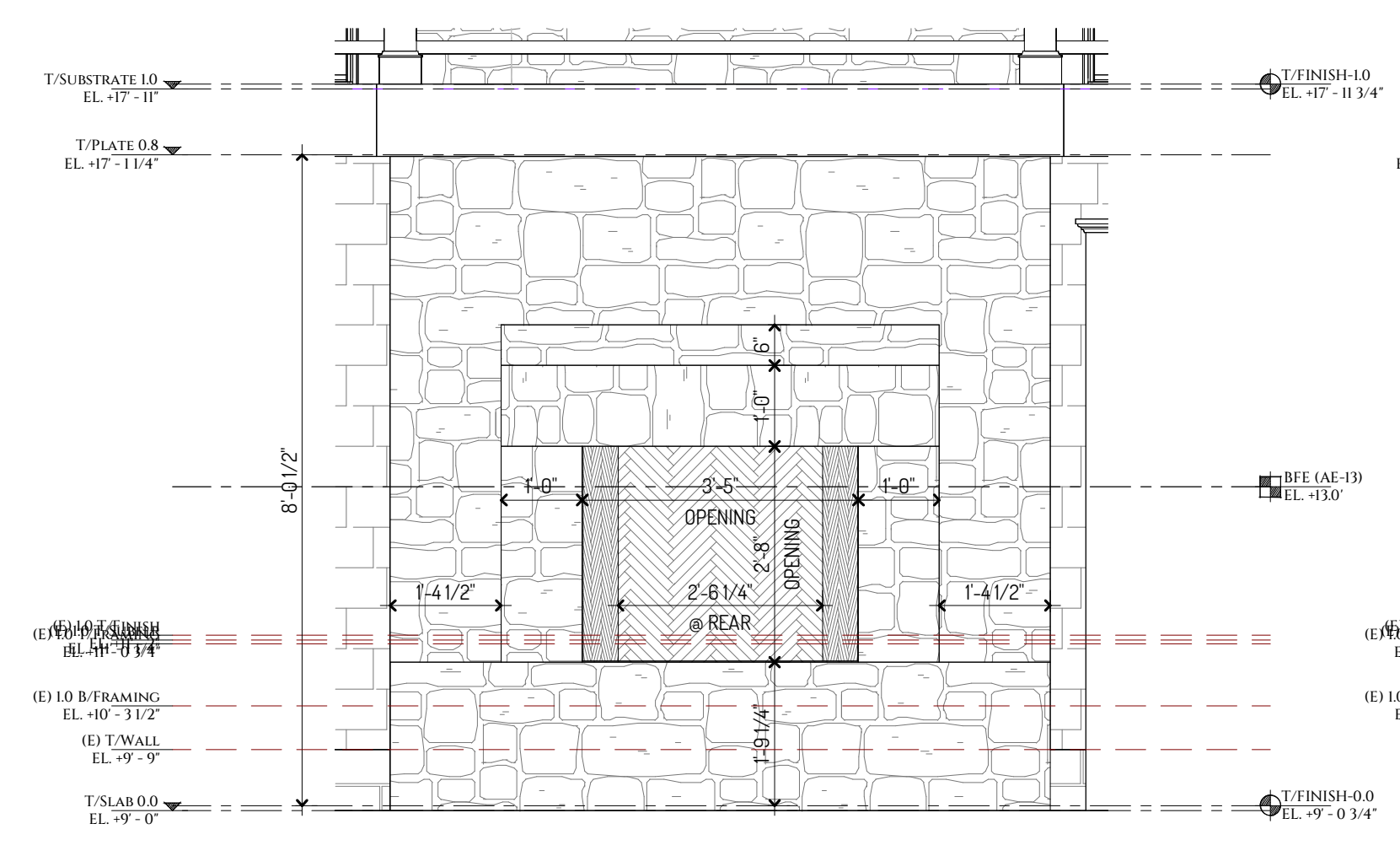
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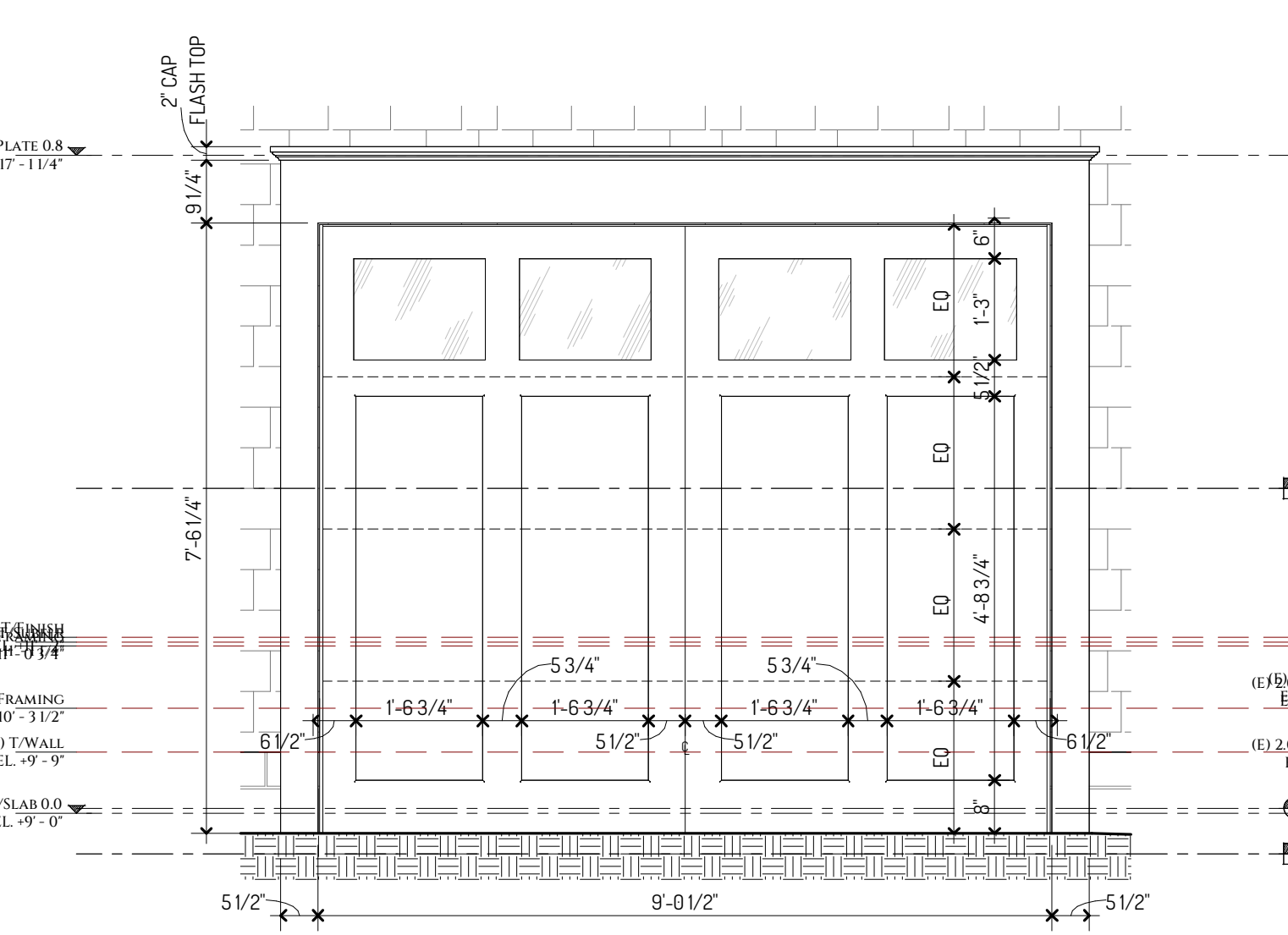
1 RIGHT (SOUTH / POOL) BUILDING ELEVATION
A-202 SCALE: 1/4" = 1'-0"



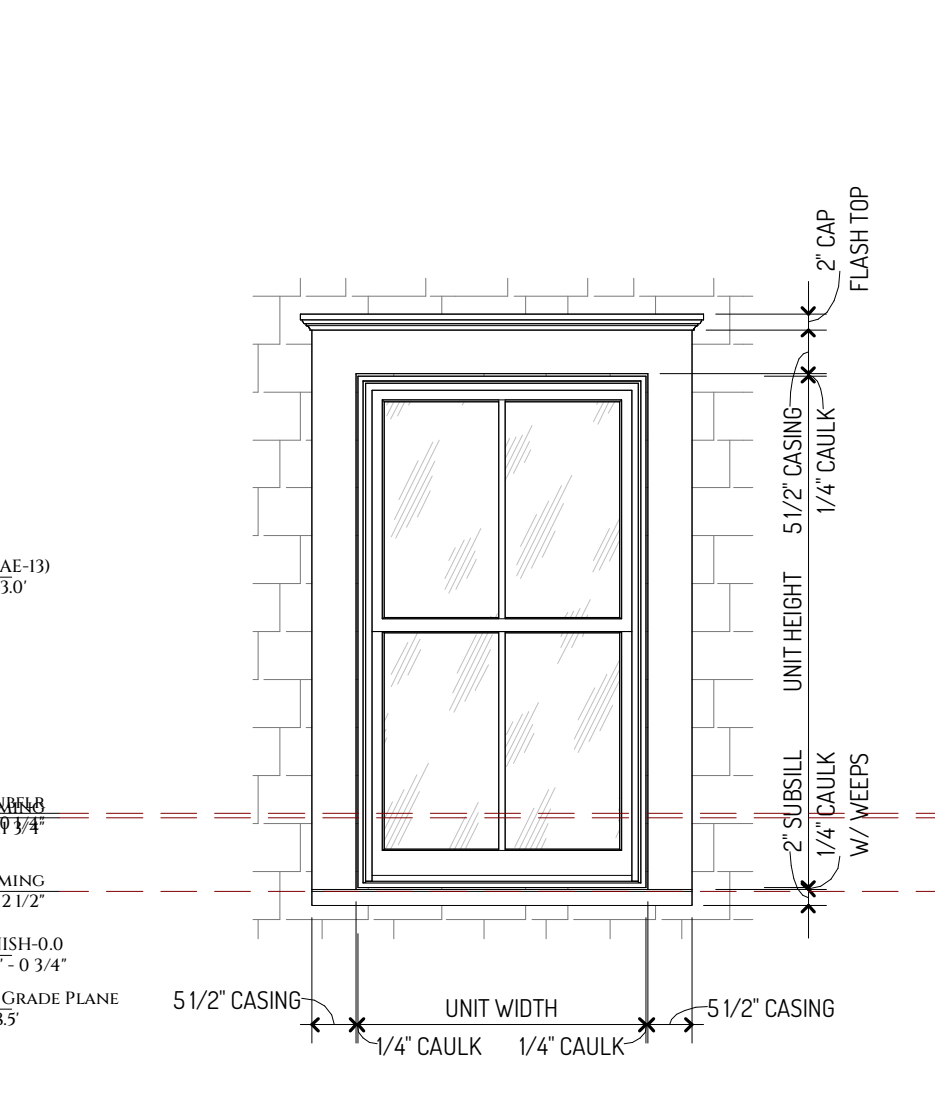
2 LEFT (NORTH / DRIVEWAY) BUILDING ELEVATION
A-202 SCALE: 1/4" = 1'-0"



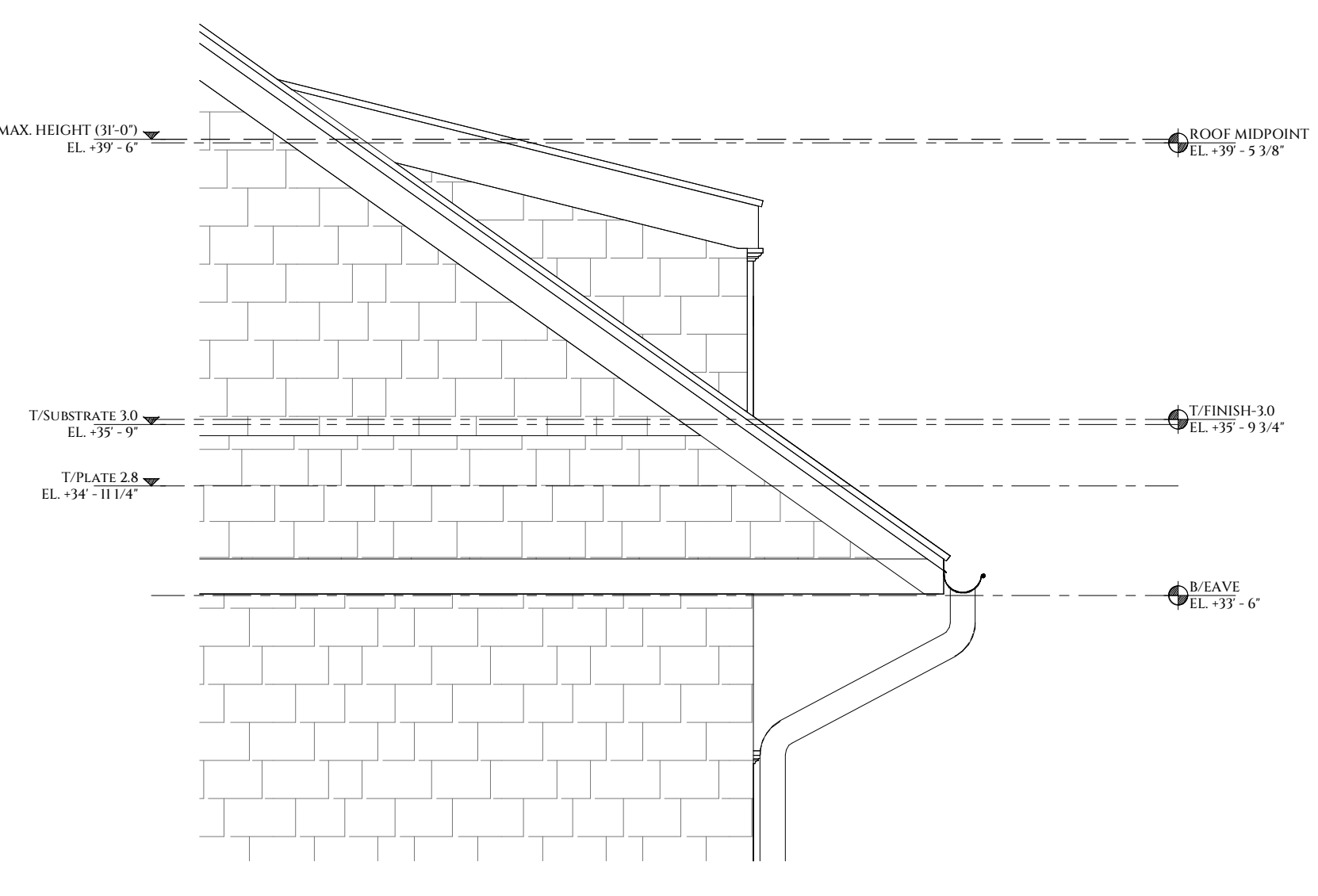
3 COVERED TERRACE FIREPLACE - CALLOUT
A-202 SCALE: 1/2" = 1'-0"



4 TYP. GARAGE DOOR ELEVATION
A-202 SCALE: 1/2" = 1'-0"



5 TYP. WINDOW ELEV.
A-202 SCALE: 1/2" = 1'-0"



6 DORMER SIDE ELEVATION - CALLOUT
A-202 SCALE: 1/2" = 1'-0"

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ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

BUILDING
ELEVATIONS

A-202



1 REAR (EAST / WATERFRONT) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



2 ROOF BALCONY REAR ELEVATION - CALLOUT
SCALE: 1/2" = 1'-0"

GENERAL NOTES

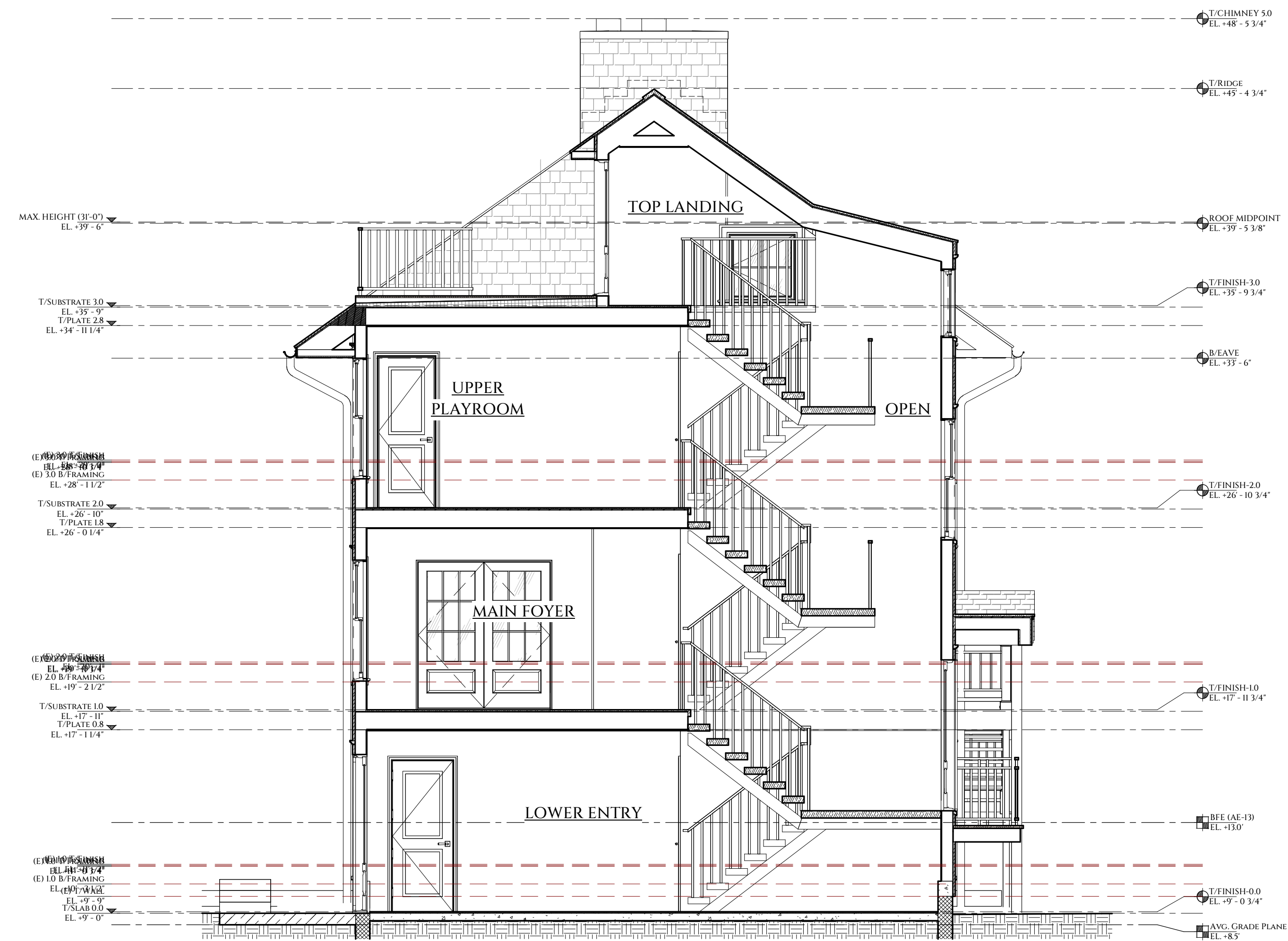
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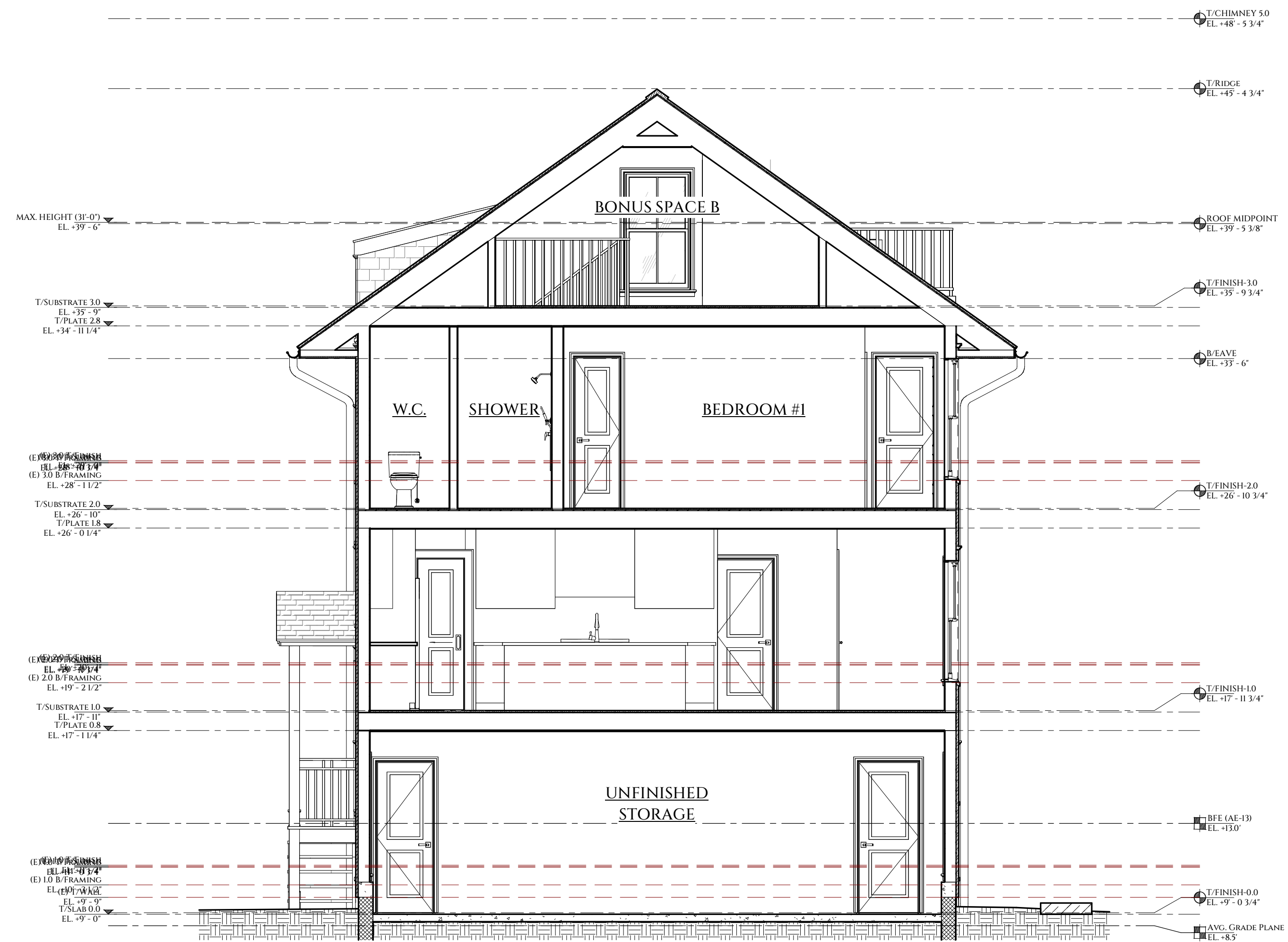
ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

BUILDING
ELEVATIONS

A-203



1 BUILDING SECTION C
1/4" = 1'-0"



2 BUILDING SECTION E
1/4" = 1'-0"



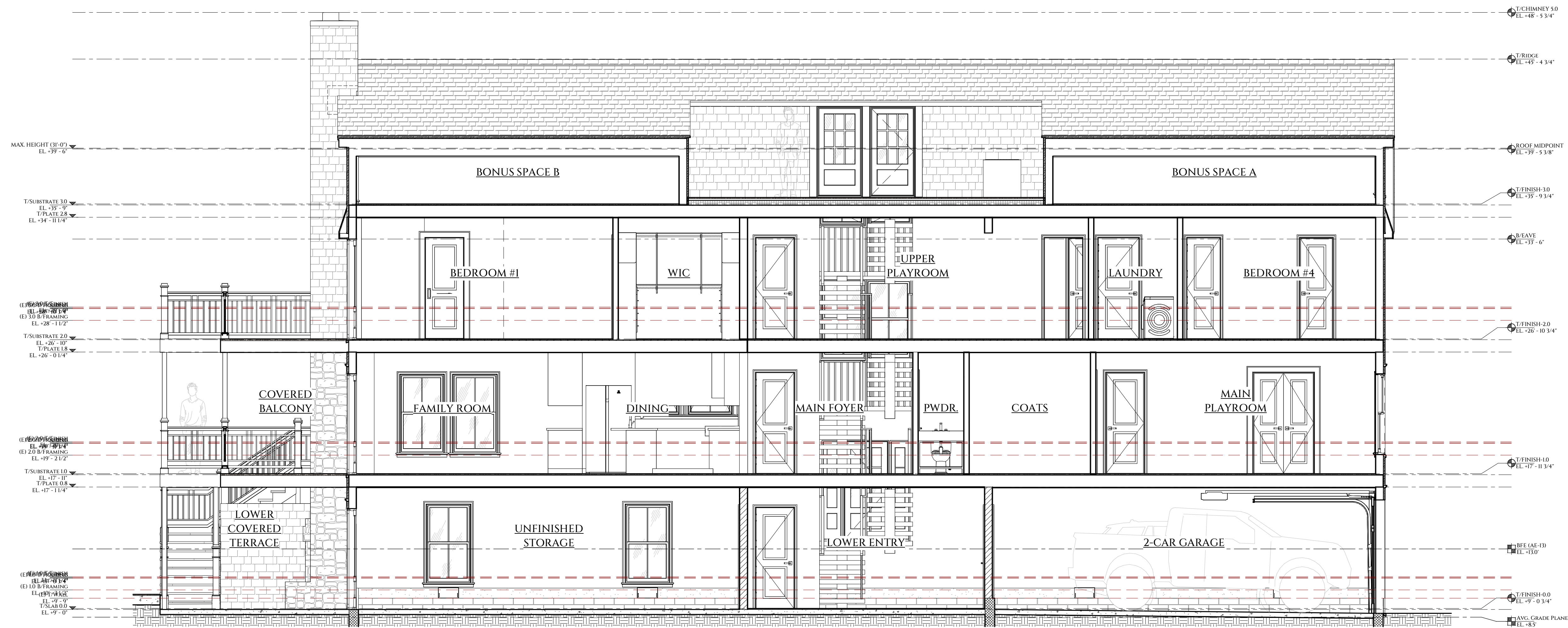
4 BUILDING SECTION I
1/4" = 1'-0"

RA-2401 2024-10-20
ISSUED FOR PERMIT

ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

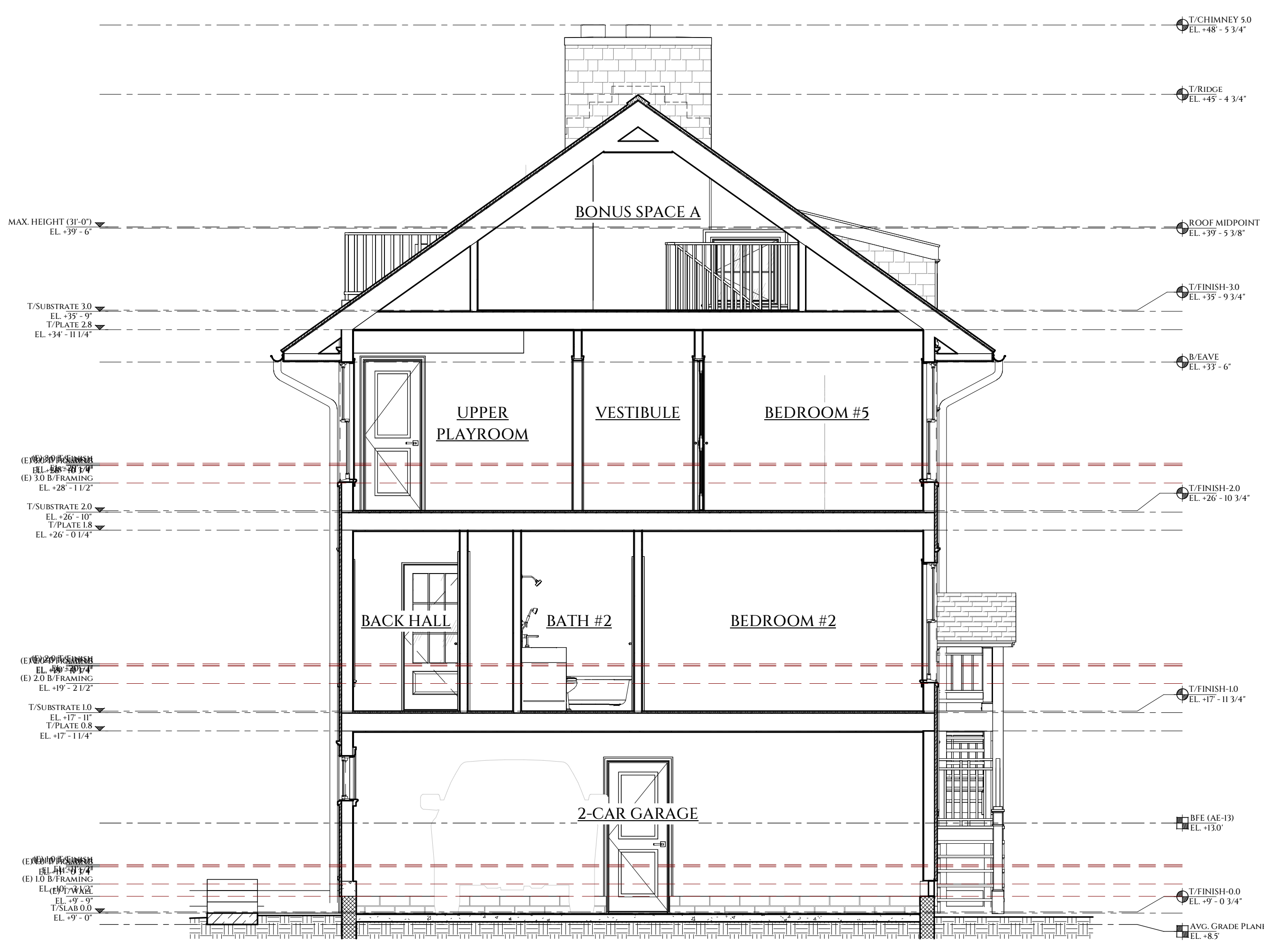
BUILDING SECTIONS

A-301

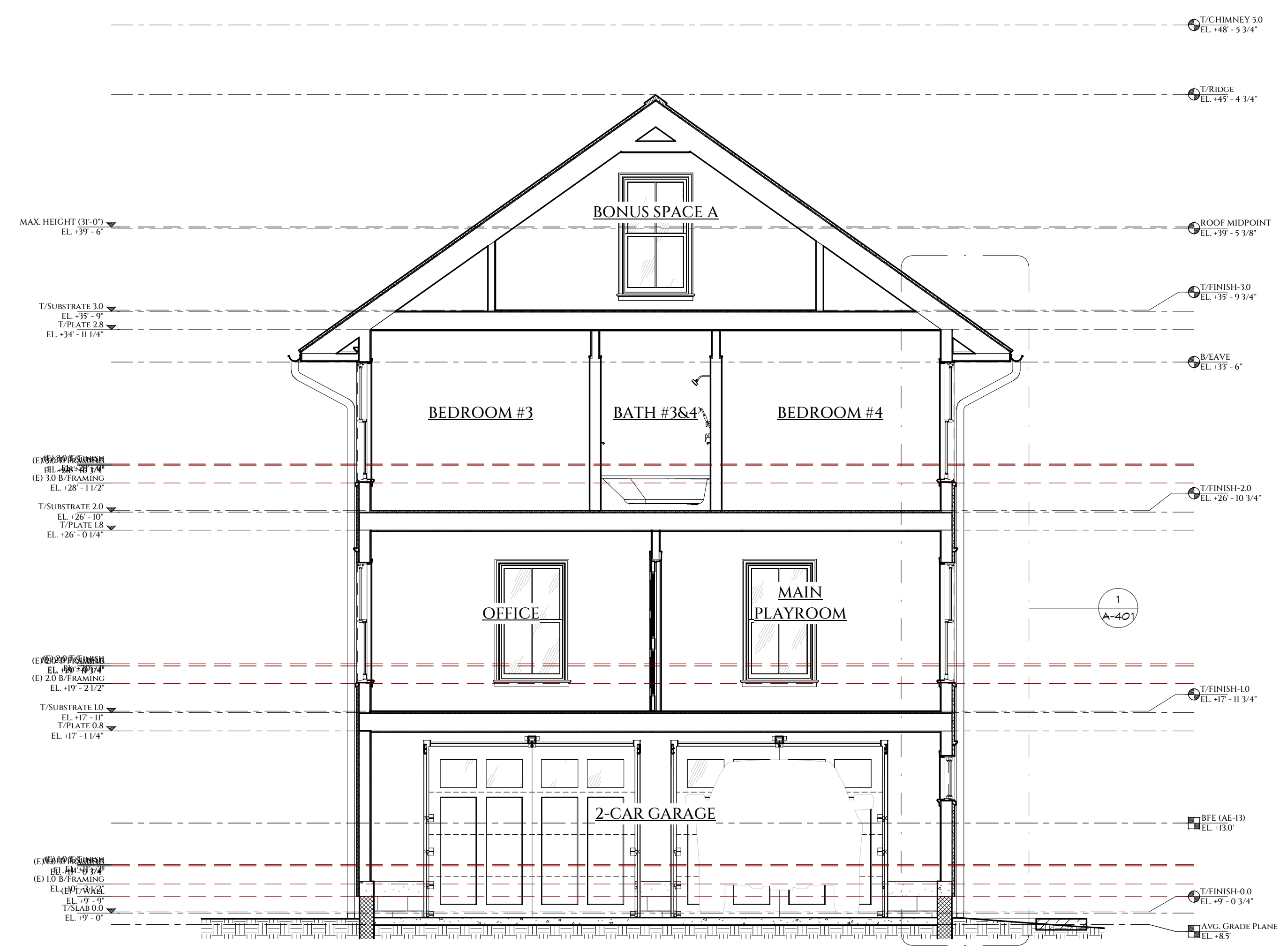


① BUILDING SECTION 2
1/4" = 1'-0"

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② BUILDING SECTION B
1/4" = 1'-0"



③ BUILDING SECTION A
1/4" = 1'-0"

RA-2401 2024-10-20
ISSUED FOR PERMIT

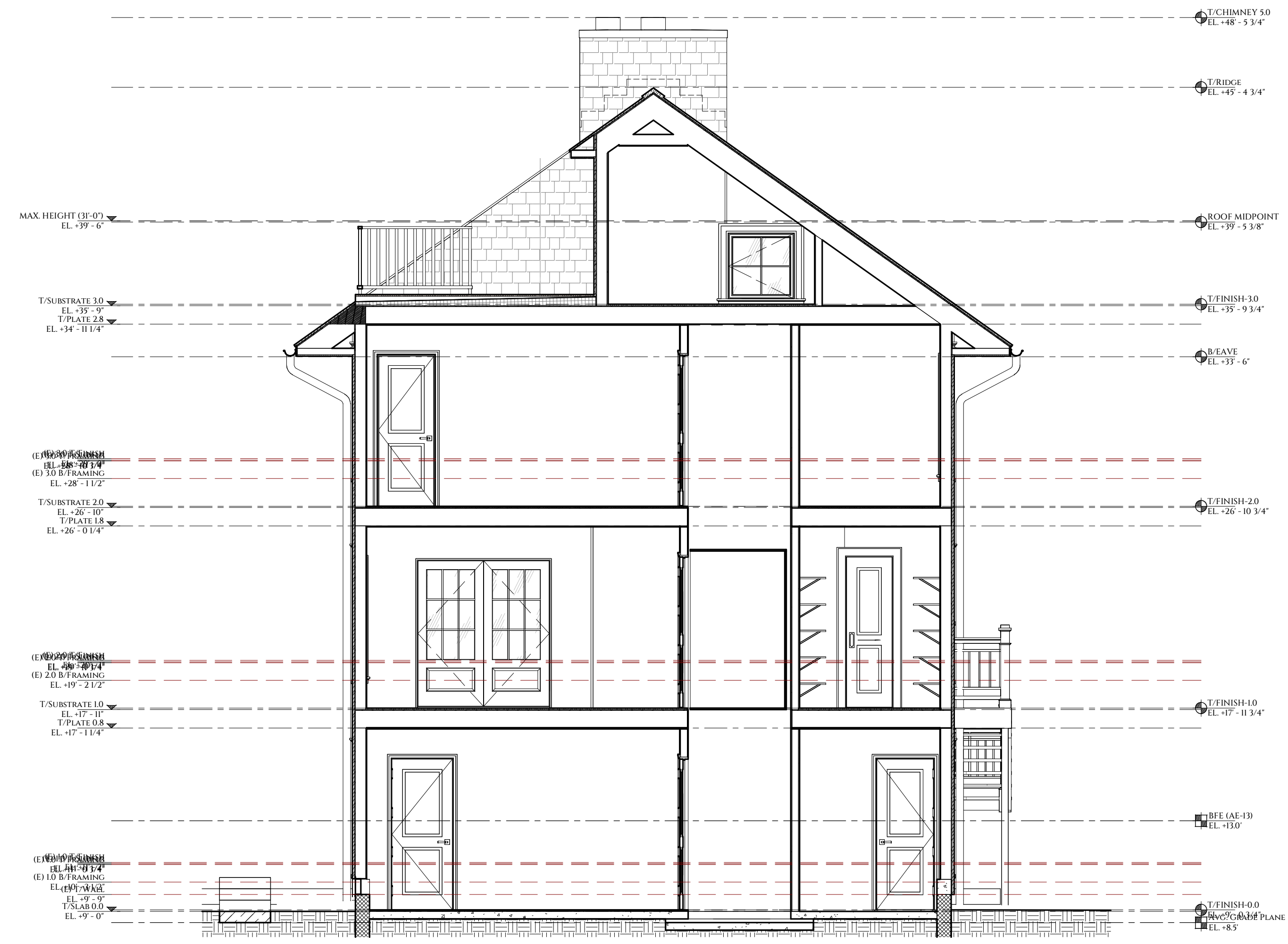
ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

BUILDING SECTIONS

A-302



② BUILDING SECTION F
1/4" = 1'-0"



① BUILDING SECTION D
1/4" = 1'-0"

RA-2401 2024-10-20
ISSUED FOR PERMIT

ANDY FRANK
SINGLE-FAMILY RESIDENCE
7 DUCK POND, WESTPORT, CT

BUILDING SECTIONS

A-303



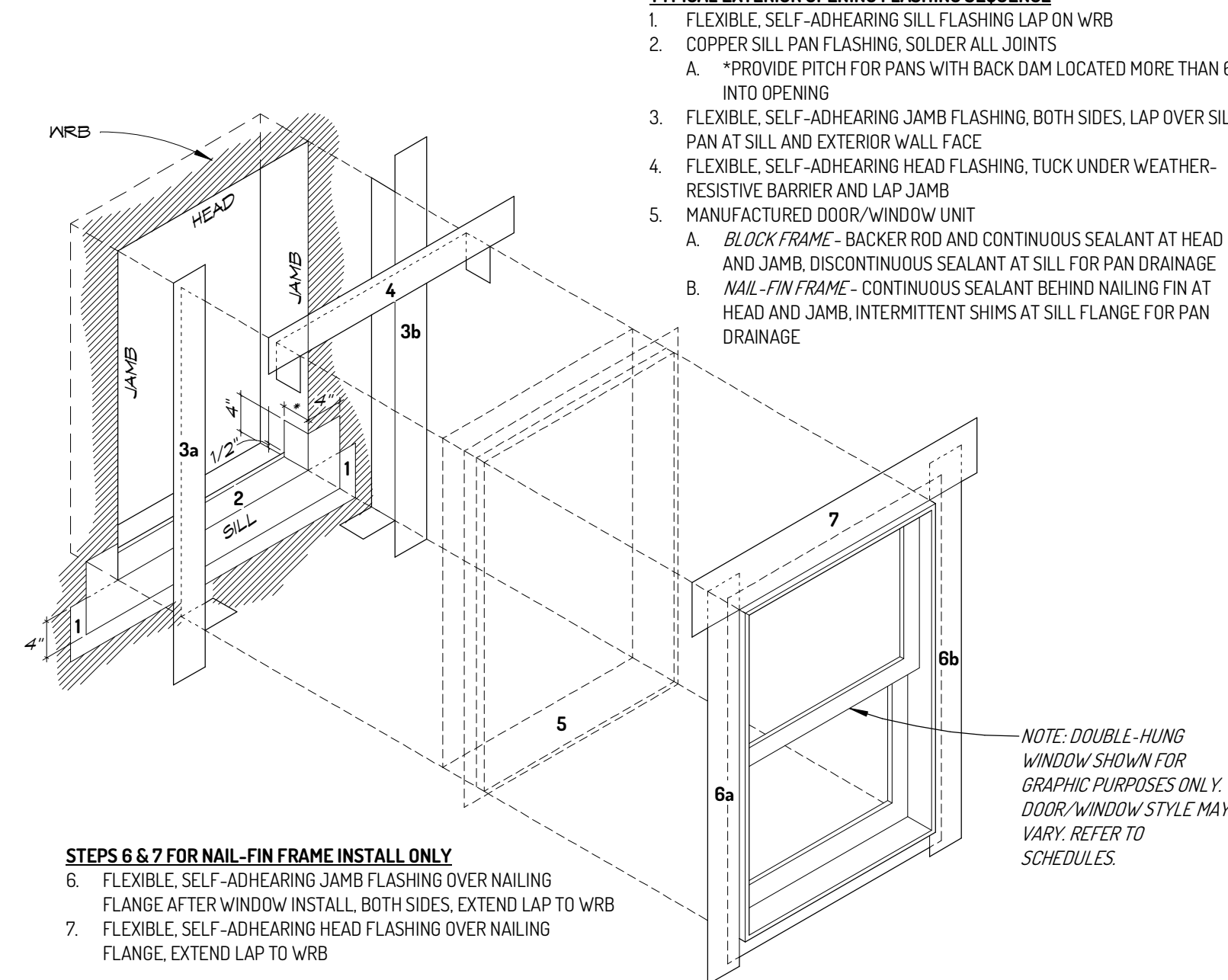
INTERIOR DOOR SCHEDULE

MARK	TYPE	Family	Width	Height	Thickness	Manufacturer	Comments
001	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	ELEV. DOOR INTERLOCK
002	2-8 x 6-8	SINGLE INTERIOR SWING DOOR	2'-8"	6'-8"	1 3/4"	TRUSTILE	FIRE-RATED AT GARAGE ENTRY
003	2-8 x 6-8	SINGLE INTERIOR SWING DOOR	2'-8"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
004	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
020	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
027	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
028	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
029	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
030	2-8 x 6-8	SINGLE INTERIOR SWING DOOR	2'-8"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
101	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	ELEV. DOOR INTERLOCK
102	2-0 x 6-8	SINGLE INTERIOR POCKET DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	POCKET
103	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
104	(2) 2-0 x 6-8	DOUBLE INTERIOR SWING DOOR	4'-0"	6'-8"	1 3/4"	TRUSTILE	DUMMY, BALL CATCH
105	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
106	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
107	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
108	(2) 1-10 x 6-8	DOUBLE INTERIOR SWING DOOR	3'-8"	6'-8"	1 3/4"	TRUSTILE	DUMMY, BALL CATCH
109	(2) 2-0 x 6-8	DOUBLE INTERIOR SWING DOOR	4'-0"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
110	(2) 1-10 x 6-8	DOUBLE INTERIOR SWING DOOR	3'-8"	6'-8"	1 3/4"	TRUSTILE	DUMMY, BALL CATCH
201	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	ELEV. DOOR INTERLOCK
205	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
206	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
207	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
208	2-6 x 6-8	SINGLE INTERIOR POCKET DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
209	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
213	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
214	2-2 x 6-8	SINGLE INTERIOR SWING DOOR	2'-2"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
215	2-6 x 6-8	SINGLE INTERIOR SWING DOOR	2'-6"	6'-8"	1 3/4"	TRUSTILE	PRIVACY
216	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PASSAGE
217	2-0 x 6-8	SINGLE INTERIOR SWING DOOR	2'-0"	6'-8"	1 3/4"	TRUSTILE	PASSAGE

EXTERIOR DOOR & WINDOW SCHEDULE

Mark	Type	Family	Width	Height	Rough Width	Rough Height	Manufacturer	Comments
001A	1-4 x 6-8	SINGLE INSWING FRENCH W/ LOW PANEL SIDELITE	1'-4"	6'-8"	1'-5"	6'-8 1/2"	T.B.D.	TEMPERED
001B	3-0 x 6-8	SINGLE INSWING FRENCH W/ LOW PANEL	3'-0"	6'-8"	3'-1"	6'-8 1/2"	T.B.D.	TEMPERED, ENTRY LOCKSET
001C	1-4 x 6-8	SINGLE INSWING FRENCH W/ LOW PANEL SIDELITE	1'-4"	6'-8"	1'-5"	6'-8 1/2"	T.B.D.	TEMPERED
002	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
003	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
004	3-0 x 6-8 w SCREEN	SINGLE INSWING FRENCH W/ LOW PANEL	3'-0"	6'-8"	3'-1"	6'-8 1/2"	T.B.D.	TEMPERED, SCREEN DOOR
005	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
006	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
007	6-0 x 7-0	DOUBLE INSWING FRENCH W/ LOW PANEL	6'-0"	7'-0"	6'-1"	7'-1 1/2"	T.B.D.	TEMPERED, SCREEN DOOR
008	3-0 x 2-0	CLAD AWNING, OPERABLE CRANK	3'-0"	2'-0"	3'-1"	2'-0 1/2"	T.B.D.	
009	3-0 x 2-0	CLAD AWNING, OPERABLE CRANK	3'-0"	2'-0"	3'-1"	2'-0 1/2"	T.B.D.	
010	9-0 x 7-6	MOTORIZED OVERHEAD GARAGE DOOR	9'-0"	7'-6"			T.B.D.	TEMPERED
011	9-0 x 7-6	MOTORIZED OVERHEAD GARAGE DOOR	9'-0"	7'-6"			T.B.D.	TEMPERED
101	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
102	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
103	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS
104	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
105	3-0 x 2-9	CLAD AWNING, OPERABLE CRANK	3'-0"	2'-9"	3'-1"	2'-9 1/2"	T.B.D.	
106	3-0 x 2-9	CLAD AWNING, OPERABLE CRANK	3'-0"	2'-9"	3'-1"	2'-9 1/2"	T.B.D.	
107	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
108	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
109	6-0 x 6-8	DOUBLE INSWING FRENCH W/ LOW PANEL	6'-0"	6'-8"	6'-1"	6'-9 1/2"	T.B.D.	TEMPERED, SCREEN DOOR
110	6-0 x 6-8	DOUBLE INSWING FRENCH W/ LOW PANEL	6'-0"	6'-8"	6'-1"	6'-9 1/2"	T.B.D.	TEMPERED, SCREEN DOOR
111	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
112	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
113	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
114	6-0 x 5-4	DOUBLE-HUNG FIXED PICTURE WINDOW	6'-0"	5'-4"	6'-1"	5'-4 1/2"	T.B.D.	
115	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
116	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
117	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
118	6-0 x 5-4	DOUBLE-HUNG FIXED PICTURE WINDOW	6'-0"	5'-4"	6'-1"	5'-4 1/2"	T.B.D.	
119	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
120	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
121	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS
201	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS
202	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
203	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS
204	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
205	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
206	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
207	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
208	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
209	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	TEMPERED
210	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	TEMPERED
212	6-0 x 6-8	DOUBLE INSWING FRENCH W/ LOW PANEL	6'-0"	6'-8"	6'-1"	6'-9 1/2"	T.B.D.	EGRESS, TEMPERED
213	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
214	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
215	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
216	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
217	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
218	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
219	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS
220	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	
301	3-0 x 6-0 Fixed	SINGLE INSWING FRENCH W/ LOW PANEL	3'-0"	6'-0"	3'-1"	6'-0 1/2"	T.B.D.	TEMPERED
302	3-0 x 6-0	SINGLE INSWING FRENCH W/ LOW PANEL	3'-0"	6'-0"	3'-1"	6'-0 1/2"	T.B.D.	TEMPERED
303	3-0 x 5-4 (E)	DOUBLE-HUNG OPERABLE WINDOW	3'-0"	5'-4"	3'-1"	5'-4 1/2"	T.B.D.	EGRESS, TEMPERED, WOOD
304	3-0 x 3-0	CLAD CASEMENT, OPERABLE, CRANK	3'-0"	3'-0"	3'-1"	3'-0 1/2"	T.B.D.	
305	3-0 x 3-0	CLAD CASEMENT, OPERABLE, CRANK	3'-0"	3'-0"	3'-1"	3'-0 1/2"	T.B.D.	
306	3-0 x 3-0	CLAD CASEMENT, OPERABLE, CRANK	3'-0"	3'-0"	3'-1"	3'-0 1/2"	T.B.D.	EGRESS, TEMPERED, WOOD
307	3-0 x 3-0	CLAD CASEMENT, OPERABLE, CRANK	3'-0"	3'-0"	3'-1"	3'-0 1/2"	T.B.D.	TEMPERED, WOOD

TYPICAL EXTERIOR OPENING FLASHING SEQUENCE



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