



WESTPORT™

JOINT COMMITTEE PUBLIC MEETING
(Historic District Commission and Architectural Review Board)

TUESDAY, SEPTEMBER 3, 2024, 7:00 PM
MINUTES

Members Present:

Vesna Herman, ARB Vice Chair
Jon Halper, ARB Member
Jake Watkins, ARB Member

Scott Springer, HDC Vice Chair
Elayne Landau, HDC Member

Staff Present:

Donna Douglass, HDC Administrator

Notice is hereby given that the Joint Committee of the Historic District Commission and the Architectural Review Board held an electronic public meeting on **Tuesday, September 3, 2024**, at 7:00 PM for the following purpose:

1. To approve minutes from the July 23, 2024, meeting.
MOTION (made by Herman): To approve minutes from the July 3, 2024, meeting.
SECOND: Watkins
SEATED: Herman, Watkins
VOTE: Unanimously approved.
2. To review and comment on the proposed signage at **3 Elm Street** (Parcel ID# C10/157/000) submitted by Larry Bourque, ABC Sign Corp, for property owned by OLD HILL ELM LLC. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
MOTION (made by Watkins): To approve proposed signage at 3 Elm Street (Parcel ID# C10/157/000) as submitted.
SECOND: Halper
SEATED: Halper, Herman, Watkins, Landau, Springer
VOTE: Unanimously approved
3. To adjourn the meeting.
Meeting Adjourned at 7:04 PM

Scott Springer, HDC Vice Chair
Vesna Herman, ARB Vice Chair
September 4, 2024

Submission Date: October 3, 2024

Project Record Number:

Accela Record Number: VDO-24-00004

Address of proposed work: 33 Elm Street

Property PID#: C10157000

Zoning District: VORD

Owner: Old Hill Elm LLC

Phone:

Address:

E-mail:

Agent/Contractor (*if different*): Bryan Vasser

Phone: 203-612-0405

Address: 316 Boston Post Road, Milford

E-mail: bryan@archer-signs.com



Wednesday, May 11, 2022

Town of Westport
110 Myrtle Ave
Westport, CT 06880
Room 203

To whom it may concern,

Please let this letter serve as a project narrative for the Unsubscribed Signage. We plan to install (1) set of internally illuminated channel letters on the storefront elevation per the provided plans.

Sincerely,

Bryan Vasser

Bryan Vasser
Owner
Archer Signs

unsubscribed

Store #7308 – Westport, CT



50 Halstead Blvd.
Suite 17
Zellienople, PA 16063

Tel 724.452.8699
Fax 724.452.8629

www.signinnovation.com



John Koenig, Project Manager
Johnk@SignInnovation.com



- 1 Cover Page
- 2 Site Plan
- 3 Storefront Elevations
- 4 Storefront Sign Details



Unsubscribed
33 Elm St
Unit 2
Westport, CT 06880

Store # 7308



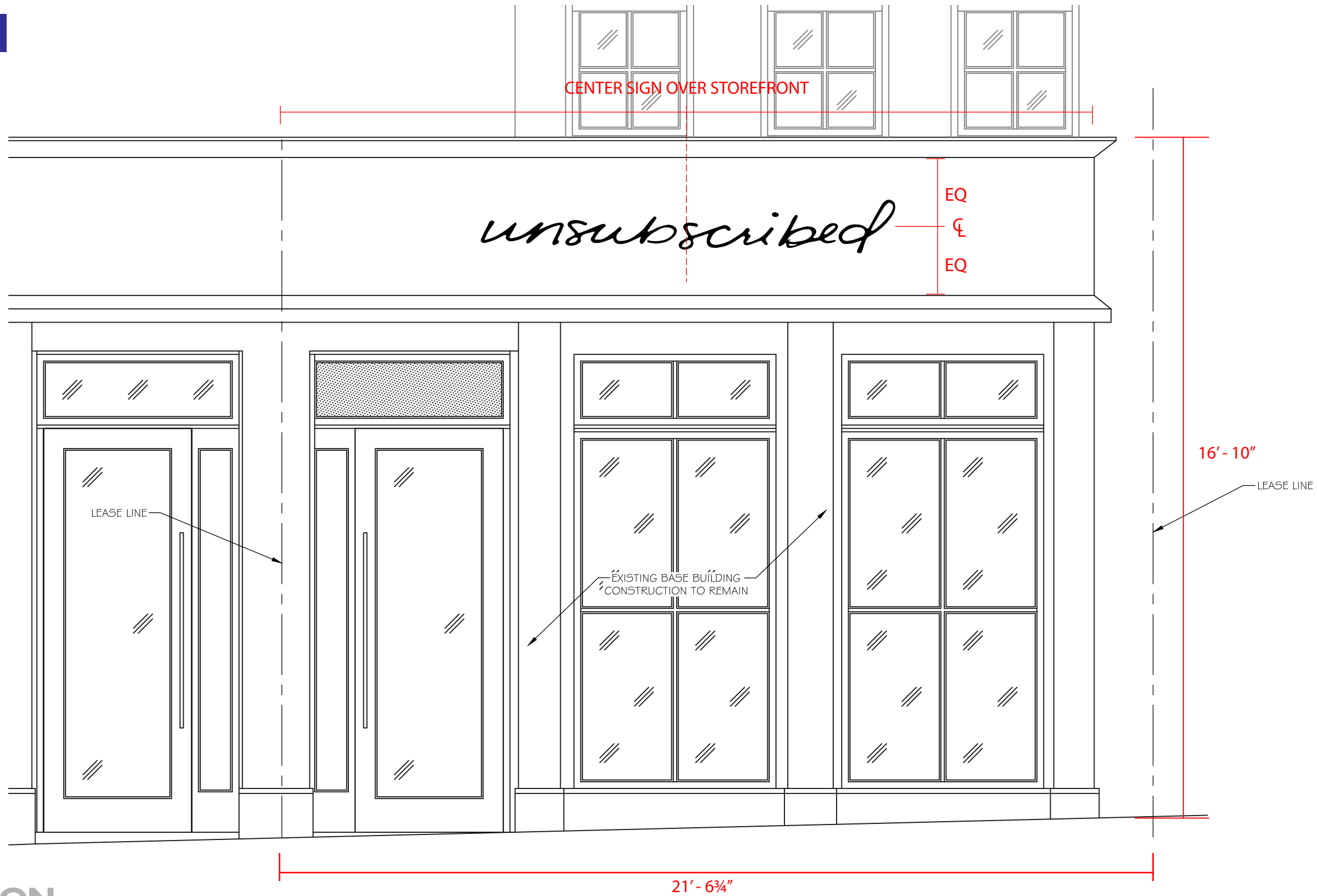
SIGN INNOVATION

50 Halstead Blvd.
Suite 17
Zellenople, PA 16063
Tel 724.452.8699
Fax 724.452.8629

John Koenig, Project Manager
Johnk@SignInnovation.com

- 1 Cover Page
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33 Elm St
Unit 2
Westport, CT 06880
Store # 7308



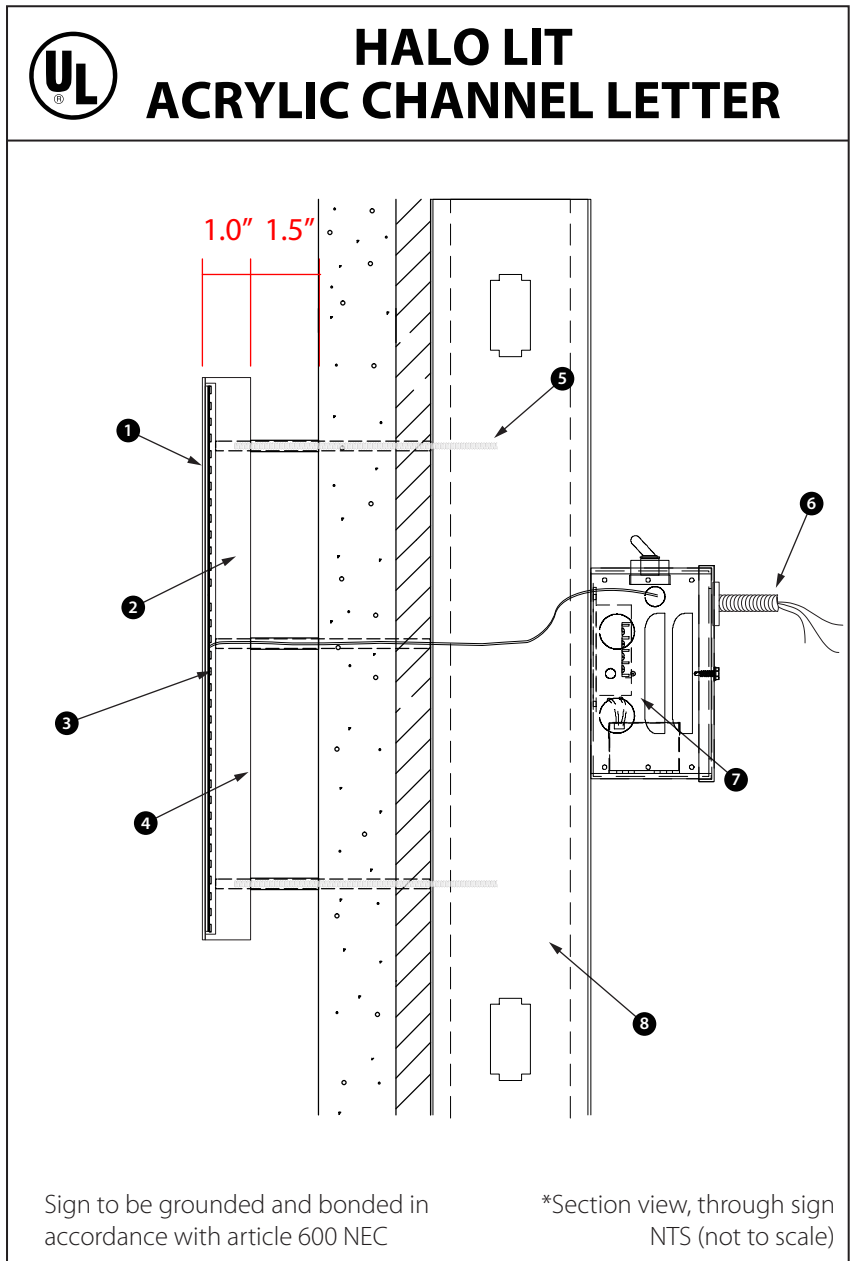
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33 Elm St
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Store # 7308

www.signinnovation.com



NUMBER KEY

- 1 .125" Aluminum Face
- 2 Painted Acrylic Returns
- 3 Low Volt 3000K Warm White LED's
- 4 Clear Acrylic Back
- 5 Through Bolts, 1.5" Long Spacers w/ Blocking as Required
- 6 Low Volt LED Transformer
- 7 Dedicated 120v Primary Electric to be Run by Others
- 8 Existing Wall

COLORS

- Painted Black Faces & Returns



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 Suite 17
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 Fax 724.452.8629

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 Johnk@SignInnovation.com

- 1 Cover Page
- 2 Site Plan
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- 4 Storefront Sign Details

Unsubscribed

33 Elm St
 Unit 2
 Westport, CT 06880

Store # 7308

www.signinnovation.com

Submission Date: October 17, 2024

Project Record Number:

Accela Record Number: VDO-24-00006

Address of proposed work: 12 Elm Street

Property PID#: C09140000

Zoning District: RORD2

Owner: Bedford Square Properties, LLC

Phone:

Address: 309 Greenwich Ave, Greenwich

E-mail:

Agent/Contractor (*if different*): Lorena Egan-Alvarado

Phone: 203-919-1239

Address:

E-mail:

Westport@coreburnpilates.com

Core Burn Pilates Westport is proposing to add signage to the facade and side of 12 Elm street. We are using the highest quality of materials and workmanship. Our sign is scaled to fit and will reflect to quality of our business. With premium materials, our designer will attach one to the front of the building and a blade sign around the corner. We have a gold "CB" logo (28 inches x 18 inches) that will stand out against the current facade with white "Core Burn Pilates" (173.48 inches x 13 inches). Custom painted flat cut plastic letters, 1/4 inch thick, mounted on building facade with 3/4 inch offset pads and silicon adhesive. A blade sign, custom made, (40 inches x 15 inches) black double sided aluminum with white letters and gold logo mounted to brick pillar with masonry anchors.



CORE BURN PILATES

CB CORE BURN PILATES
Join the Core Burn community by becoming a founding member of our new 50,000 sq ft location!
Sign up and take advantage of our pre-sale event happening now.
"20% off all packages!"
Email: westport@coreburnpilates.com
Phone: 203.919.1239
Scan the QR code to visit us online.
FEEL THE DIFFERENCE WITH CORE BURN PILATES!
CB



WHITE AND GOLDEN YELLOW CUSTOM PAINTED PLASTIC FLAT CUT LETTERS 1/4 INCH THICK MOUNTED ON BUILDING FACADE WITH 3/4 INCH OFFSET PADS & SILICONE ADHESIVE



SIDE VIEW OF FLAT CUT PLASTIC LETTERS PAD STUD MOUNTED TO METAL FACADE WITH 3/4 INCH OFFSET PADS & SILICONE ADHESIVE

CUSTOMER INFO:

DATE: 10/2024
JOB: CORE PILATES

LOCATION: 12 ELM STREET
 WESTPORT CT

JOB INFO:

QTY: 1 SIGN: CUSTOM PAINTED & INSTALLED GOLDEN YELLOW & WHITE FLAT CUT ACRYLIC LOGO AND LETTERS
MATERIALS: CUSTOM PAINTED FLAT CUT ACRYLIC LETTERS 13 INCH X 1/4 THICK LETTERS AND 1/4 INCH X 18 INCH X 28 INCH LOGO THREADED STUDS WITH 3/4 INCH OFFSET SPACER PAD MOUNTED WITH SILICONE CAULK
COLORS: GOLDEN YELLOW LOGO C 032 M 053 Y 099 K 000
 WHITE LETTERS
TYPE: GLACIAL INDIFFERENCE REGULAR

CUSTOMER APPROVAL:

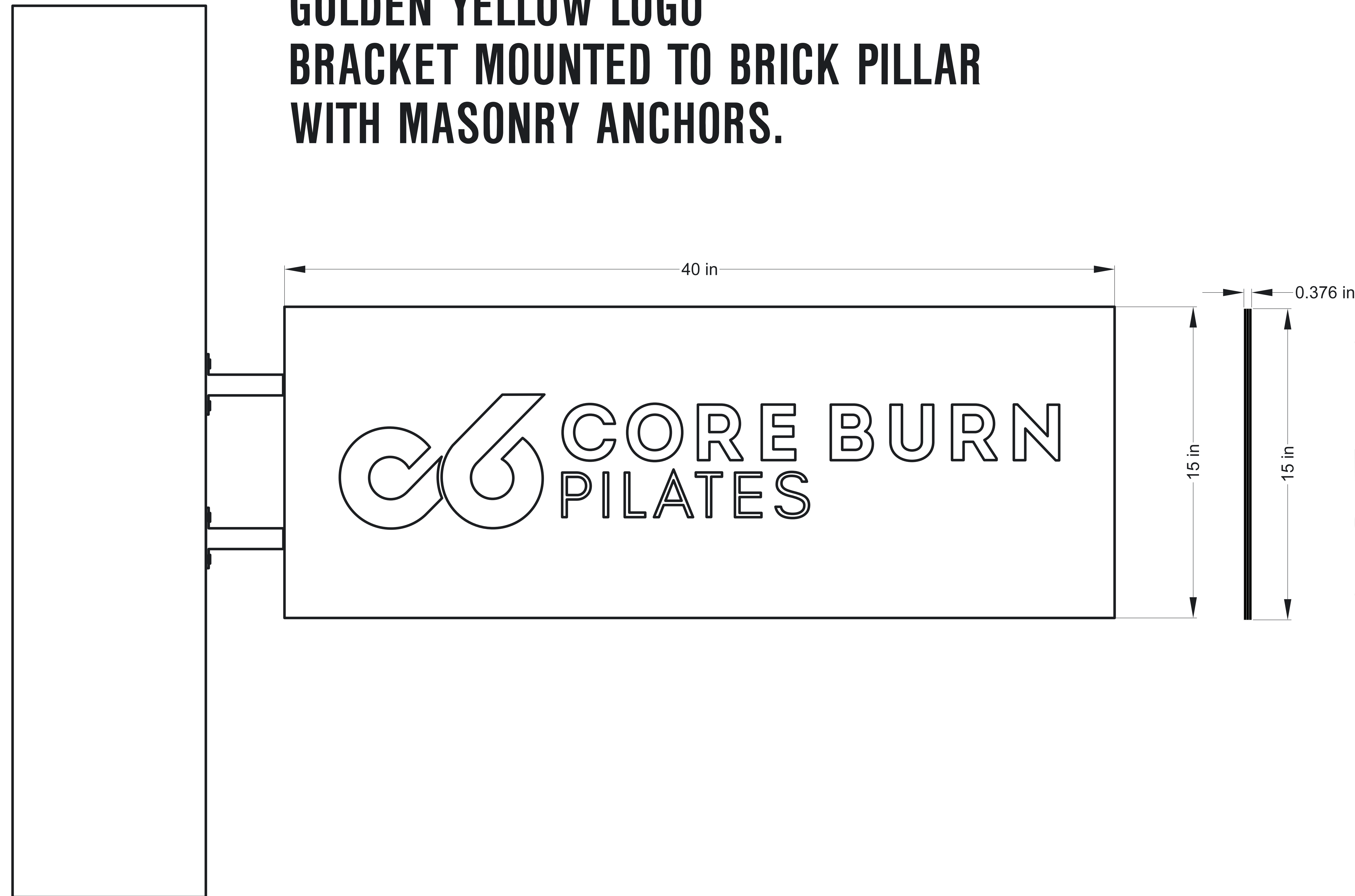
I propose to furnish all labor and materials necessary to create & if stated install said art work as per sample drawing. Work will be scheduled as soon as your down payment is received. Outside work dates are approximate due to variable weather conditions affecting the work schedule.

DAN MENTA LLC.

 GRAFX.COM
917-681-5267
 dm@danmentacom

CUSTOMER SIGNATURE **DATE**
 A 50% DEPOSIT IS REQUIRED TO SCHEDULE WORK!
 UNLESS STATED OTHERWISE

**CUSTOM 40 INCH X 15 INCH BLACK DOUBLE SIDED ALUMINUM
BLADE SIGN WITH WHITE LETTERS AND
GOLDEN YELLOW LOGO
BRACKET MOUNTED TO BRICK PILLAR
WITH MASONRY ANCHORS.**



**SIDE VIEW OF FLAT CUT .375 INCH
ALUMINUM DOUBLE SIDED SIGN
BLACK WITH DIGITAL PRINTED
GOLDEN YELLOW LOGO
& WHITE LETTERS**

DAN MENTA LLC.
menta
GRAFX.COM
917-681-5267
dm@danmentacom

CUSTOMER INFO:

DATE: 10/2024
JOB: CORE PILATES

LOCATION: 12 ELM STREET
WESTPORT CT

JOB INFO:

QTY: CUSTOM 40 INCH X 15 INCH BLACK DOUBLE SIDED ALUMINUM
BLADE SIGN WITH WHITE LETTERS AND
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CUSTOMER SIGNATURE

DATE

A 50% DEPOSIT IS REQUIRED TO SCHEDULE WORK!
UNLESS STATED OTHERWISE



CORE BURN PILATES



CB CORE BURN PILATES
Join the Core Burn community by becoming a founding member of our new Westport location!
Sign up and take advantage of our pre-sale event happening now.
20% off all packages
Email: westport@coreburnpilates.com
Phone: 203 918 1239
Scan the QR code to visit us online



FEEL THE DIFFERENCE WITH CORE BURN PILATES



Let's Enjoy a Healthier Life

Submission Date: October 21, 2024

Project Record Number:

Accela Record Number: VDO-24-00005

Address of proposed work: 31 Church Lane

Property PID#: C09140000

Zoning District: _____

Owner: Bedford Square Properties, LLC

Phone:

Address:

E-mail:

Agent/Contractor (*if different*): Jeremy Waycott, Arnco Sign Co Phone:203-238-1224

Address:

E-mail: arncojer@aol.com

Re Van Leeuwen Ice Cream, 31 Church St.

We propose installing a non-illuminated set of black aluminum pin letters over the entrance. Letters will be spaced off the wall 1" and the overall size 1'5 -1/4" x 4' - 2". The V is 9-7/8" and the I is 2' - 3/8".

PROJECT SCHEDULE

SIGN TYPE/ DESCRIPTION:	QTY.:	PG.
A PIN-MOUNT NON-ILLUM. DIMN. LOGO.	ONE (1)	4
H. FLOOR STANDING SIGN HOLDER.	ONE (1)	6

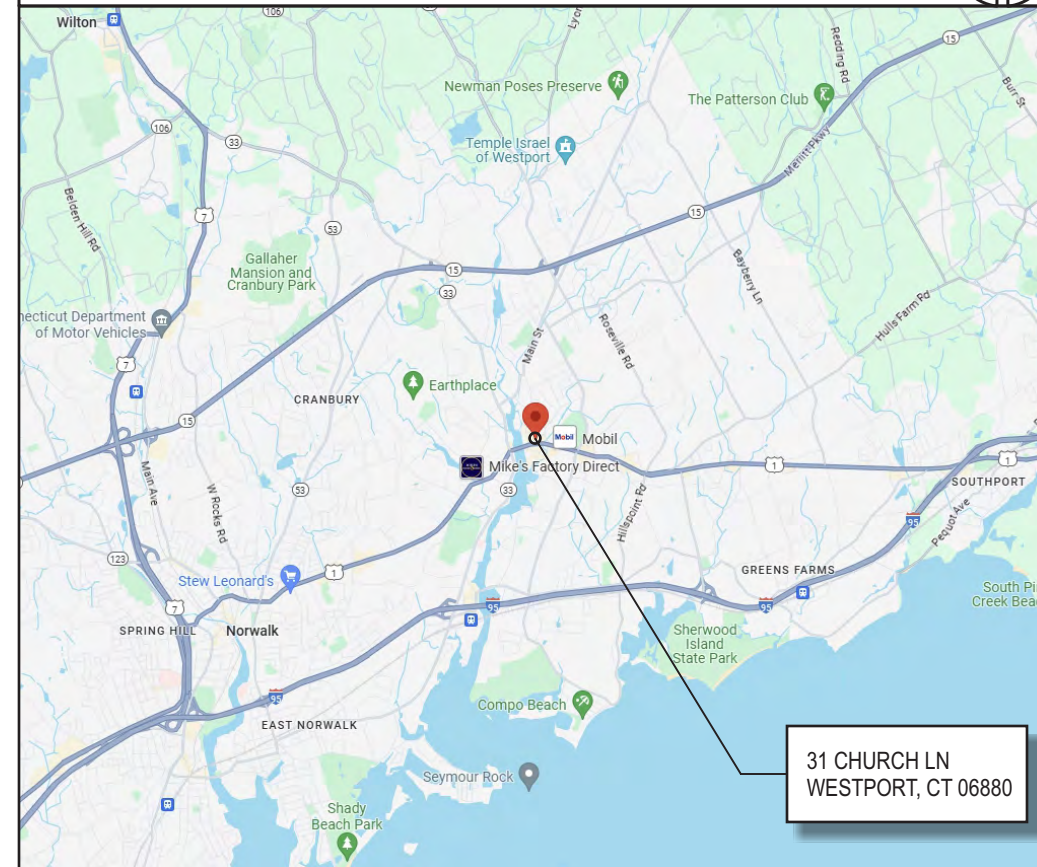
PROJECT:

VanLeeuwen

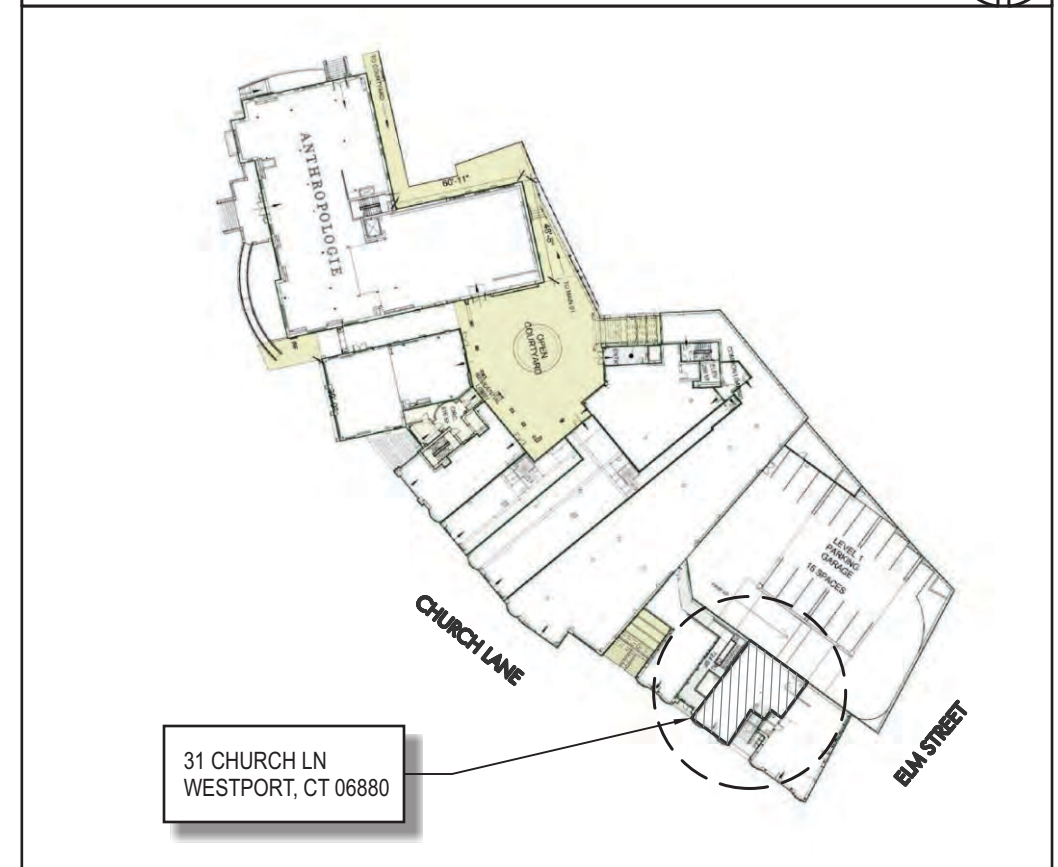
ICE CREAM & MILKSHAKES

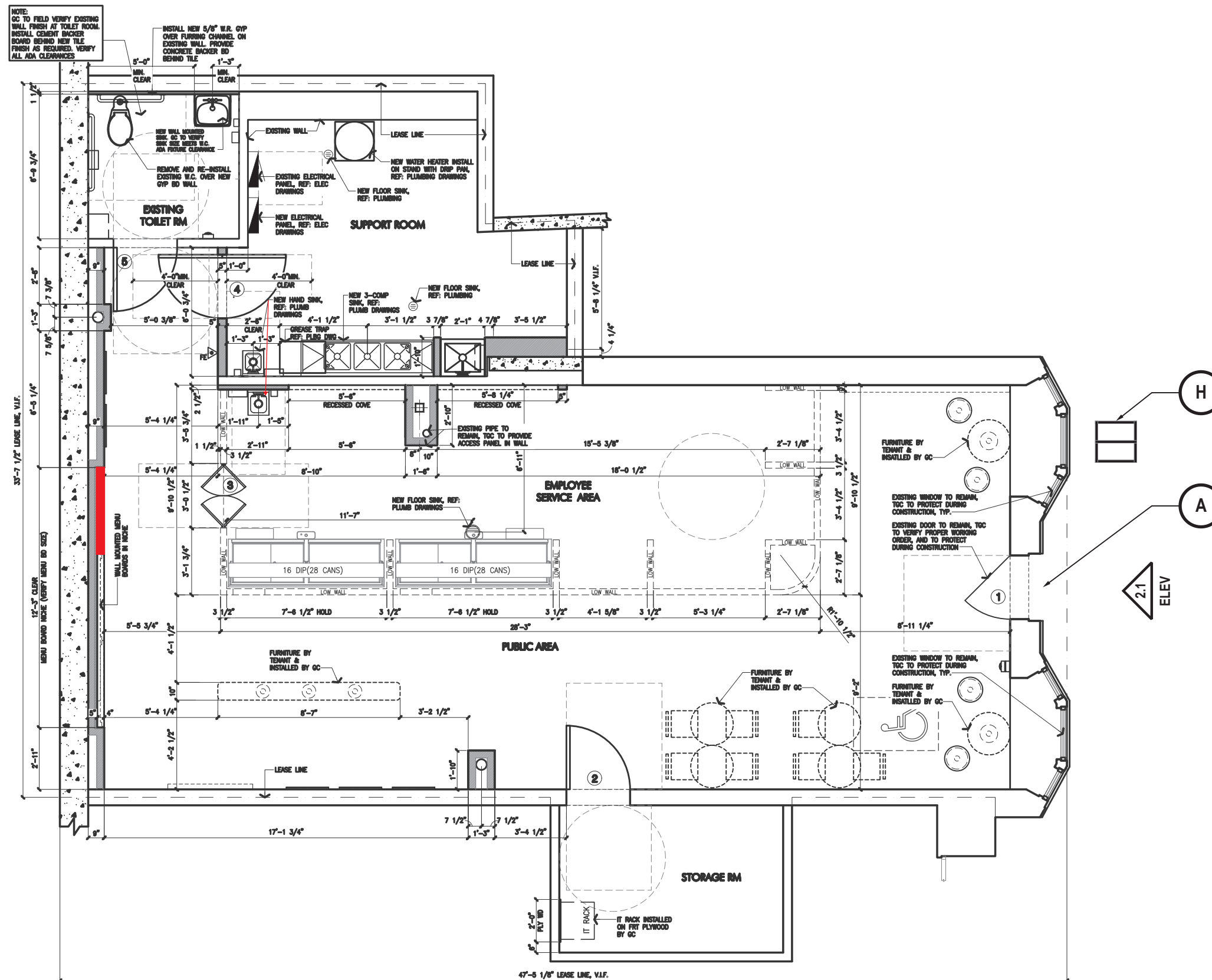
BEDFORD
31 CHURCH LN
WESTPORT, CT 06880

AREA MAP

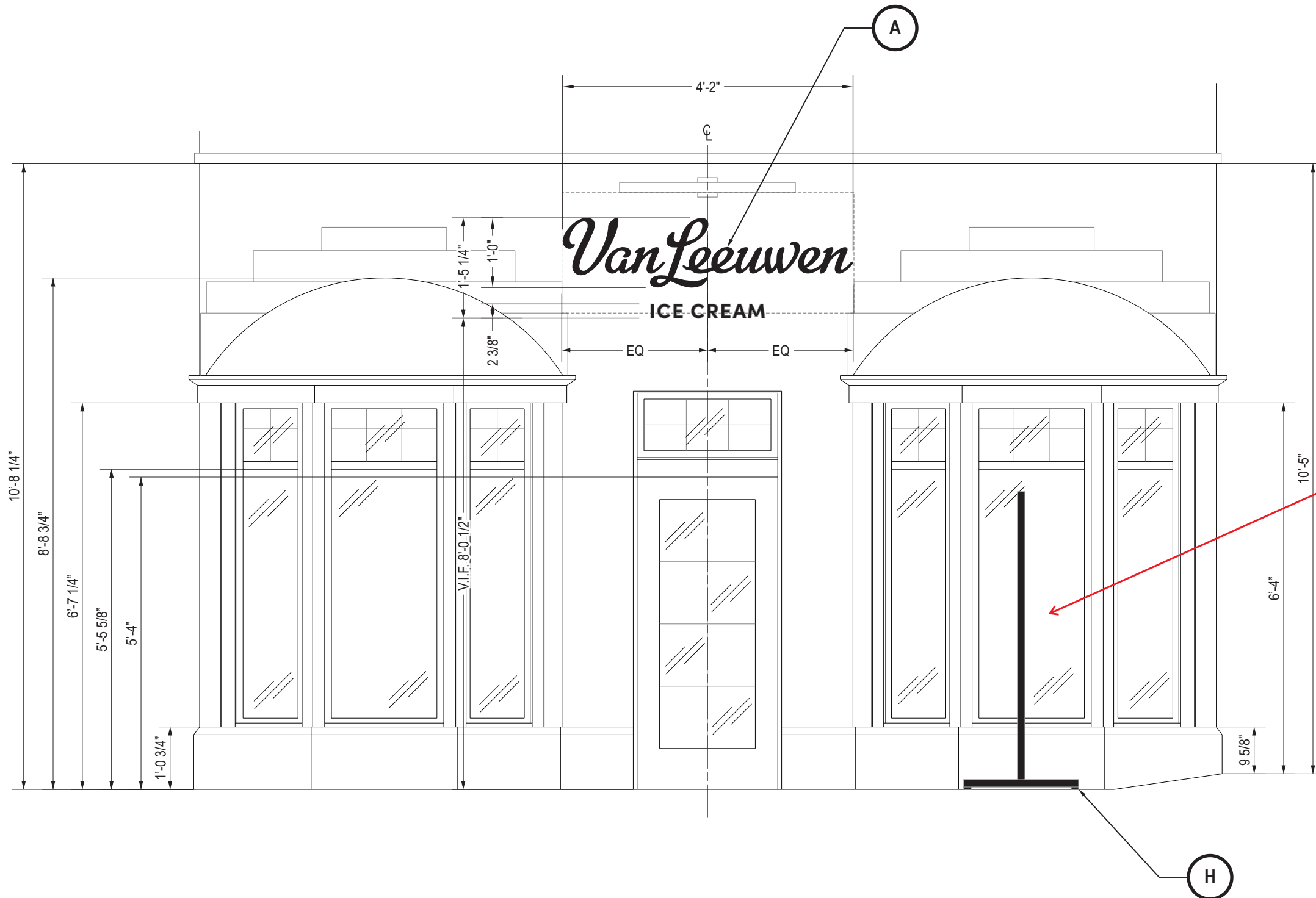


VICINITY MAP





LEAD NO. 220869-R8	SM/PM ZF/SS	REVIEW	SHEET NO. 2 of 6
DATE 6/15/2024	ARTIST JS	SEG. NO.	



33-5.3
 One Free Standing Portable Sign per tenant shall be permitted onsite in all non-residence districts subject to the following:
 a. Signs cannot be permanently installed in the ground.
 b. Signs must be self-supporting/portable or hung on the façade of the tenant's building. Signs cannot be attached to an immovable object such as a structure, light pole, a utility pole or a fence in accordance with Section 33-3.12 except as allowed by this section on the façade of a building.
 c. Free standing portable signs shall be no larger than 24 inches wide by 40 inches high in size per side as measured from the ground including any borders or supports. A sign that hangs on the façade of a building shall be no larger than 24 inches wide by 36 inches high, may only be one sided and hung flush to the building. Signs hung on the façade of a building must not be more than 7 feet above the ground as measured to the top of the sign.
 d. Signs may only be displayed during the hours that the business is open. Signs must be removed when the business is not open.
 e. The sign must be a framed chalk board or eraser board and all of the wording on the sign must be hand drawn.
 f. Signs must be located on the property where the business is located. The name of the establishment must appear on or be affixed to the sign.
 g. Signs may not be located in parking spaces. Signs must not interfere with pedestrian traffic or block sight lines for drivers pursuant to §33-3.5 & §33-3.6.
 h. Signs may not be internally or externally lit or have any moving parts.
 A Zoning Permit shall be obtained annually for such signs and they must have affixed to them a sticker or tag issued by the P&Z Department

1. The property is located within the Village District Overlay (VDO)
 a. This means all signage needs to be approved by the Joint Committee prior to receiving a zoning permit
 i. Please reach out to Donna Douglass for details on how to apply

2. The property is located in the RORD2 zoning district
 a. This zone is only allowed one (1), six (6) square foot wall sign per tenant (see below for regulation)
 i. You have proposed 3 wall signs and a blade sign totaling 14.24sf

3. The blade sign will not be permitted as it is over a public sidewalk (see below for regulation)

4. It appears that you are also showing a 16sf vinyl sign
 a. I am assuming this is going to be on your door
 i. It cannot block more than 25% of the door

5. It also looks like you wish to have a free-standing portable sidewalk (sandwich sign)
 a. This sign must conform to the 33-5.3 standards listed below.

LEAD NO.	SM/PM	REVIEW	SHEET NO.
220869-R8	ZF/SS		3 of 6
DATE	ARTIST	SEG. NO.	
6/15/2024	JS		

PIN-MOUNT NON-ILLUM. DIMN. LOGO

SCALE: 3"=1'-0"

QTY.: ONE (1)

AREA: 17.25' x 50" = 5.989' \square

A



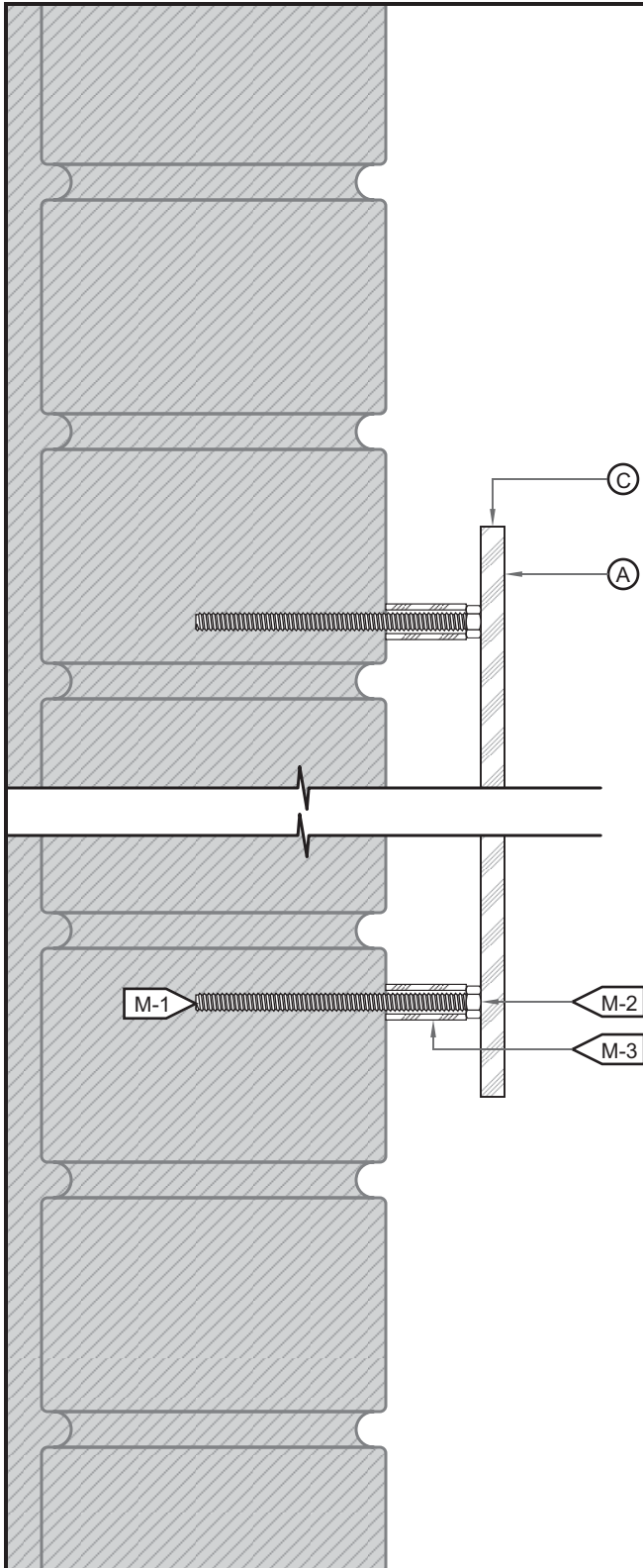
FINISH SCHEDULE



TYP. PIN-MOUNTED DIMENSIONAL TYPE SECTION DETAIL

SCALE: N.T.S. A-1

EXTERIOR/ OUTDOORS



(A) FACE	
MATERIAL:	1/4" ALUM. PLATE.
COLOR/ FINISH:	BLACK/ SATIN.
(C) RETURN	
DEPTH:	1/4" DEEP O.A.
COLOR/ FINISH:	BLACK/ SATIN.
(M) MOUNTING	
M-1:	SEE INSTALL NOTE. SUPPLY PAPER PATTERN.
M-2:	2" L x 10-24 THREADED STUD, FROM LETTER & INTO PRE-DRILLED HOLE w/ SEALANT/ ADHESIVE.
M-3:	1" L x Ø1/4~3/8" RIGID SPACER.
SPACER FINISH:	FINISH TO MATCH WALL.

- INSTALL
1. CUSTOMER G.C. TO PROVIDE ADEQUATE WOOD OR MTL. BLOCKING IN CORRELATION W/ FACADE FRAMING AS REQUIRED.
 2. INSTALLER IS TO V.I.F. & PROVIDE THE PROPER NON-CORROSIVE MOUNTING HARDWARE TO ENSURE SAFE INSTALLATION.
 3. ALL EXTERIOR FACADE PENETRATIONS TO BE WATERTIGHT.
 4. INSTALLATION TO MEET CURRENT N.E.C., U.L. & LOCAL CODES. LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) (1) OF THE NATION ELECTRICAL CODE

FLOOR STANDING SIGN HOLDER

SCALE: 1"=1'-0"

QTY.: ONE (1)

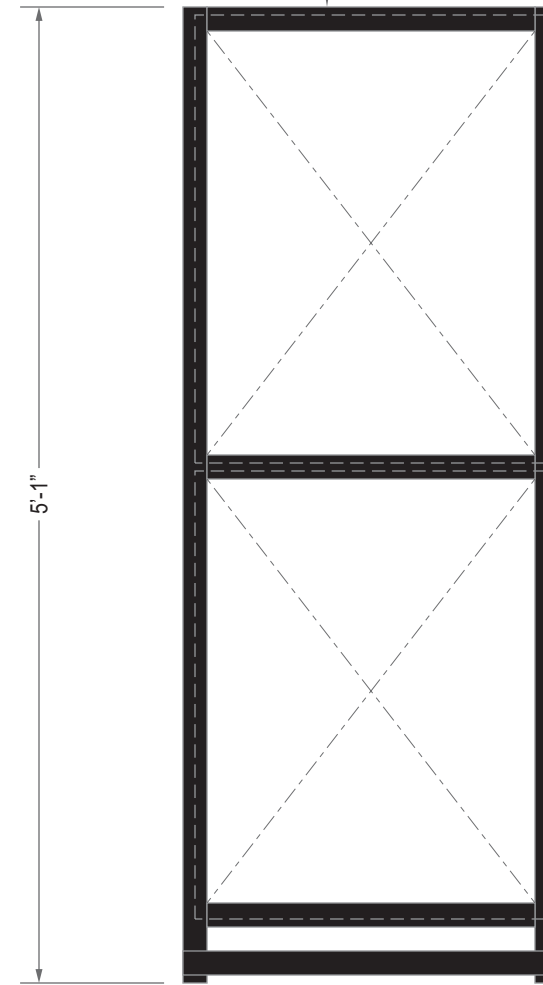
AREA: VERIFY ∅



ULINE FLOOR STANDING
SIGN HOLDER - DOUBLE TIER
H-7869BL 22"x28" 61" H.



TYP. END



TYP. SIDE

Submission Date: 10/22/24

Project Record Number:

Accela Record Number: VDO 00007

Address of proposed work: 27 Main Street

Property PID#: C09136000

Zoning District: BCD

Owner: Pajis Assoc LLC and Winwest Main LLC

Phone:

Address: 10 Rye Ridge Plaza Ste 200, Rye Brook, NY

E-mail:

Agent/Contractor (*if different*): Jeremy Waycott, Arnco Sign Co Phone: 203-238-1224

Address:

E-mail: arncojer@aol.com

Re J.Crew 27 Main st

We propose installing two non-illuminated pin letters over the front and rear entrances. Letters are 16" x 6'-4-7/8" 8.54sq ft each. 3/4" thick routed acrylic letters painted black. Install window vinyl in window 5" x 2' .83 sq ft

STOREFRONT PHOTO RENDERING



A JC16FCO
Qty - 2

B JC5V
Qty - 1



Ruggles
SIGN

93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



J.CREW

STORE 516
SPACE

WESTPORT VILLAGE SQUARE
27 MAIN STREET
WESTPORT, CT 06880

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!



Submittal Date: 09/10/24
Acct Rep: Jon Hudspeth
Designer: Derek Couch

REVISIONS

r1: <u>10/22/24</u>	r7: _____
r2: _____	r8: _____
r3: _____	r9: _____
r4: _____	r10: _____
r5: _____	r11: _____
r6: _____	r12: _____

STOREFRONT PHOTO RENDERING



93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



J.CREW

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SPACE

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27 MAIN STREET
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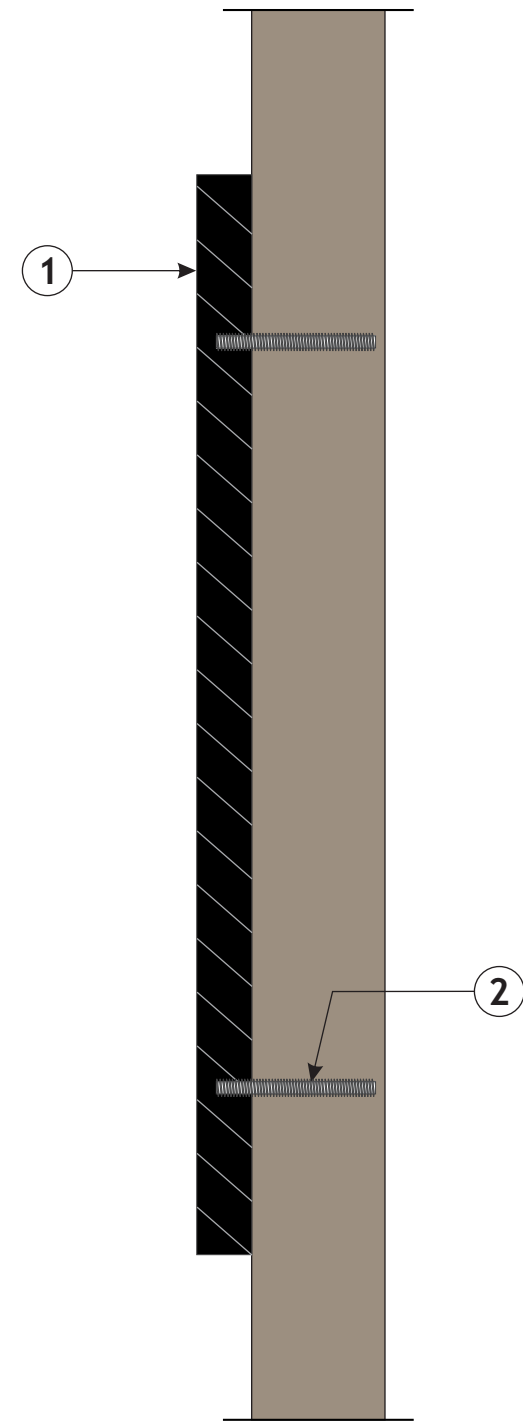
A JC16FCO
Qty - 2

B JC5V
Qty - 1

A FLAT CUT OUT LETTERS - ELEVATION QTY : 2
 Scale: 1" = 1' - 0"



B FLAT CUT OUT LETTERS - SECTION



SIGN - DETAILS

- 1 3/4" THICK, ROUTED ACRYLIC LETTERS PAINTED MATTHEWS MATTE BLACK
- 2 LETTERS MOUNT FLUSH WITH THREADED STUDS AND SILICONE



93 Industry Drive
 PO Box 349
 Versailles, KY 40383
 859.879.1199



J.CREW

STORE 516
 SPACE

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 27 MAIN STREET
 WESTPORT, CT 06880

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r4: _____	r10: _____
r5: _____	r11: _____
r6: _____	r12: _____

B REVERSE CUT VINYL - ELEVATION QTY : 1
Scale: 3" = 1' - 0"



SIGN - DETAILS

- 1 REVERSE CUT, OPAQUE MATTE BLACK VINYL APPLIED TO INSIDE SURFACE OF GLASS



93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



J.CREW

STORE 516
SPACE

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27 MAIN STREET
WESTPORT, CT 06880

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r3: _____	r9: _____
r4: _____	r10: _____
r5: _____	r11: _____
r6: _____	r12: _____

HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: Stacey Vairo, National Register and State Register Coordinator,
Connecticut Commission on Culture & Tourism, One Constitution Plaza, 2nd Floor, Hartford, CT 06103

* Note: Please attach any additional or expanded information on a separate sheet.

GENERAL INFORMATION

Building Name (Common) _____
 Building Name (Historic) Belden Block
 Street Address or Location 27 Main Street
 Town/City Westport Village _____ County Fairfield
 Owner(s) Pajis Associates LLC and Winwest Main LLC Public Private

PROPERTY INFORMATION

Present Use: Commercial
 Historic Use: _____
 Accessibility to public: Exterior visible from public road? Yes No
 Interior accessible? Yes No If yes, explain _____
 Style of building Italianate Date of Construction 1875

Material(s) (Indicate use or location when appropriate):

- Clapboard Asbestos Siding Brick Wood Shingle Asphalt Siding
 Fieldstone Board & Batten Stucco Cobblestone Aluminum Siding
 Concrete (Type _____) Cut Stone (Type _____) Other Vert. wood board

Structural System

- Wood Frame Post & Beam Balloon Load bearing masonry Structural iron or steel
 Other _____

Roof (Type)

- Gable Flat Mansard Monitor Sawtooth
 Gambrel Shed Hip Round Other _____

(Material)

- Wood Shingle Roll Asphalt Tin Slate Asphalt Shingle
 Built up Tile Other Not visible

Number of Stories: 3 Approximate Dimensions _____

Structural Condition: Excellent Good Fair Deteriorated

Exterior Condition: Excellent Good Fair Deteriorated

Location Integrity: On original site Moved When? _____

Alterations? Yes No If yes, explain: Attached storefront

FOR OFFICE USE: Town # _____ Site # _____ UTM _____

District: S NR If NR, Specify: Actual Potential

PROPERTY INFORMATION (CONT'D)

Related outbuildings or landscape features:

- Barn Shed Garage Carriage House Shop Garden
- Other landscape features or buildings: _____

Surrounding Environment:

- Open land Woodland Residential Commercial Industrial Rural
- High building density Scattered buildings visible from site

• Interrelationship of building and surroundings:

See Continuation Sheet

• Other notable features of building or site (*Interior and/or Exterior*)

See Continuation Sheet

Architect _____ Builder _____

• Historical or Architectural importance:

See Continuation Sheet

• Sources:

See Continuation Sheet

Photographer PAL Inc. _____ Date 10/6/2011 _____

View _____ Negative on File _____

Name _____ Date 10/6/2011 _____

Organization PAL Inc. _____

Address 210 Lonsdale Avenue, Pawtucket, RI 02860 _____

• Subsequent field evaluations:

Threats to the building or site:

- None known Highways Vandalism Developers Renewal Private
- Deterioration Zoning Other _____ Explanation _____

STATE OF CONNECTICUT

**COMMISSION ON CULTURE & TOURISM
STATE HISTORIC PRESERVATION OFFICE**

One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM

For Buildings and Structures

CONTINUATION SHEET

Item Number: _____ Date: October 2011

PAL, Pawtucket, RI 02860

27 Main Street, Westport, CT

Interrelationship of building and surroundings:

The building is located in the center of a commercial block on the west side of Main Street. It is set close to the road and faces east. The brick sidewalk extends across the west (facade) elevation and has scattered planter boxes that each contain a single deciduous tree. A large paved parking lot is located south of the building.

Other notable features of building or site (*Interior and/or Exterior*):

The Belden Block is a three-story, five-bay wide, Italianate style building. It has a flat roof with a bracketed cornice. A denticulated cornice runs directly beneath the upper cornice. The walls are clad with flush vertical boards on the east (facade) elevation, vinyl on the north and south elevations, and stucco on the west elevation. A cornice extends across the facade and west elevation between the first and second stories. The storefronts on the facade and west elevations are similar with pilasters dividing the bays, full-height plate glass windows, and centered entrances with glazed double-doors surrounded by plate glass windows. Windows consist primarily of one-over-one, double-hung sash with window hoods on the facade. The original plan of the building appears to be intact, but the exterior cladding, windows and doors have been replaced. Windows on the original second story may have been removed when the storefront was altered.

Historical or Architectural importance:

The building was constructed in 1875 for Henry Belden and was historically known as the Belden Block. A bird's eye image of Westport depicts the building with four stories. The upper three floors originally contained a total of six apartments and the first floor functioned as commercial space. By the mid 1940s, the ground floor was occupied by the Westport Hardware Co. A decade later, the building contained Westport Food Center Inc., which remained in the space through the early 1980s. The 1988 inventory form describes the building as containing Gridstedes Bros. grocers. Due to a lack of documentation, ownership, and occupancy information in the nineteenth century is unknown. Between 1933 and at least 1945 the building was occupied by Westport Hardware Co. Westport Food Center Inc. moved in by 1950 and remained through 1985. Pajis Associates LLC and Winwest Main LLC purchased the property from Street Retail Incorporated in 2002. It is currently occupied by the Pottery Barn.

Sources:

Beers, J.H. & Co. Atlas of the County of Fairfield. 1867; Hopkins, G.M. Atlas of the County of Fairfield. 1879; McWeeney, L., B. Salvo. HRI. Hartford: CT Historical Commission, 1983; Sanborn Fire Insurance Maps. 1891-1940; Westport Directory (W.D.). Loveland, CO: US West Marketing Resources, 1991; W.D. Chicago, IL: Johnson Publishing Co., 1985; W.D. Providence, RI: C. DeWitt White Co., 1917-1918; W.D. New Haven: The Price & Lee Co., 1923-1974.

FOR OFFICE USE ONLY

TOWN NO.: _____ SITE NO.: _____

UTM: 18/____/____/____/____/____

QUAD: _____

DISTRICT: _____

NR: Actual
Potential

STATE OF CONNECTICUT

**COMMISSION ON CULTURE & TOURISM
STATE HISTORIC PRESERVATION OFFICE**
One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM
For Buildings and Structures

CONTINUATION SHEET

Item Number: _____ Date: October 2011
PAL, Pawtucket, RI 02860

27 Main Street, Westport, CT

PHOTOGRAPHS



View of the east elevation.



View of the west elevation.

FOR OFFICE USE ONLY

TOWN NO.: _____ SITE NO.: _____
UTM: 18/_____/_____/_____/_____/_____
QUAD: _____
DISTRICT: _____ NR: Actual
Potential

STATE OF CONNECTICUT

CONNECTICUT HISTORICAL COMMISSION
59 South Prospect Street, Hartford, CT 06106

HISTORIC RESOURCES INVENTORY FORM
For Buildings and Structures

CONTINUATION SHEET

Item number: _____

PAL, Pawtucket, RI 02860
June 2000

Address: 27 Main Street
Name: House/Westport Food Centre
NR District:
Local District:
Neg No.: 31:17
HRS ID No.: 0504



Village District Overlay (VDO) Zone Westport Center §36;

The purpose of this Village District Overlay (VDO) is to protect the distinctive character, landscape, and historic structures and development pattern within this Village District while encouraging a mixed use, walkable district that is attractive to residents, employees, and visitors. New construction or substantial rehabilitation in the Village District should be compatible with the existing character of the district and reinforce both the existing development patterns and connections to the Saugatuck River. (See copy of Westport Regulations §36-2)

**JOINT COMMITTEE
Village District Overlay (VDO) Zone / Westport Center
REVIEW and RECOMMENDATION**

Property Address: 155 Post Rd E. 2nd floor Date: 10/23/24
Owner of Record: X Peter Gray Phone: 203 550 5950
Owner's Address: X 20 summer st suits Stamford Email: peter@pyramidregroup.com
Applicant's Name (if different): MARTY SIGNS Phone: 203 500 0213
Applicant's Address: 2219 PARK AV. BGPT. Email: marty signs @optonline.net

X [Signature]
Property Owner's Signature

Legal Representative's Signature (As authorized by owner)

If the applicant is unable to obtain property owner's signature, please submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

Required Review and Approvals for Properties Located in the VDO Zone:

- Certificate of Appropriateness (if property is located within a local historic district or designated a local historic property)
- Joint Committee Review and Recommendation of proposed design plans
- Compliance Alternative for Joint Committee Review (if applicant requests consideration of an alternative approach that satisfies the intent of the design principles but is not in compliance with design standards)
- Site Plan Approval by the Planning and Zoning Commission

Each application must be accompanied by:

- Completed application form.
- Narrative including description of the project, construction details, proposed materials and how the improvements are consistent with the style or how the improvements vary, a rationale of why the variation should be, approved under Sec 36-2.2.
- Historic Resources Inventory Form if applicable (Available from HDC Office).
- Site plan.
- Scaled building plans, including existing conditions plans and proposed plans.
- Photos showing the original historic building (if applicable), include photos of the buildings to either side of the proposed project and the view from across the street. A contrasting demonstration of the existing building in current streetscape and the proposed building within context of its surroundings
- Other materials deemed appropriate by applicant to enable the Joint Committee to evaluate the design.

One copy of the above required application and materials should be sent to the HDC office, Room 108 and digital copy emailed to the HDC Administrator, Donna Douglass, at ddouglass@westportct.gov. Hearings are typically held on the first Tuesday of each month at 7:00PM. The deadline for applications is 2 weeks prior to the next regularly scheduled meeting.

Joint Committee Recommendation to Planning and Zoning Commission:

Signature: _____ Date: _____

If you have any questions about the procedures contact Donna Douglass at ddouglass@westportct.gov or 203-341-1184.

247-889-0731

155 Post Rd E.



TYPE: 2nd floor
Window sign

SIZE 42" x 18"

TOTAL SF 5.

Colors BK/WT.

18"

RECEIVED

OCT 04 2024

WESTPORT P. & Z. C.

155

BUILDING

15

nente Trattoria

Final
Trc

HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: National Register and State Register Coordinator,
State Historic Preservation Office, Department of Economic and Community Development,
450 Columbus Blvd., Suite 5, Hartford CT 06103

* Note: Please attach any additional or expanded information on a separate sheet.

GENERAL INFORMATION

Building Name (Common) _____

Building Name (Historic) _____

Street Address or Location 155 Post Road East

Town/City Westport Village _____ County Fairfield

Owner(s) 155 Post Road East LLC Public Private

PROPERTY INFORMATION

Present Use: Commercial

Historic Use: Commercial

Accessibility to public: Exterior visible from public road? Yes No

Interior accessible? Yes No If yes, explain _____

Style of building Contemporary Date of Construction c. 1930

Material(s) (Indicate use or location when appropriate):

- | | | | | |
|--|---|--|---------------------------------------|--|
| <input type="checkbox"/> Clapboard | <input type="checkbox"/> Asbestos Siding | <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Wood Shingle | <input type="checkbox"/> Asphalt Siding |
| <input type="checkbox"/> Fieldstone | <input type="checkbox"/> Board & Batten | <input type="checkbox"/> Stucco | <input type="checkbox"/> Cobblestone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Concrete (Type _____) | <input type="checkbox"/> Cut Stone (Type _____) | <input checked="" type="checkbox"/> Other <u>Masonry</u> | | |

Structural System

- Wood Frame Post & Beam Balloon Load bearing masonry Structural iron or steel
 Other _____

Roof (Type)

- Gable Flat Mansard Monitor Sawtooth
 Gambrel Shed Hip Round Other _____

(Material)

- Wood Shingle Roll Asphalt Tin Slate Asphalt Shingle
 Built up Tile Other T&G/Rubber

Number of Stories: 2 Approximate Dimensions 64 x 134

Structural Condition: Excellent Good Fair Deteriorated

Exterior Condition: Excellent Good Fair Deteriorated

Location Integrity: On original site Moved When? _____

Alterations? Yes No If yes, explain: _____

FOR OFFICE USE: Town # _____ Site # _____ UTM _____

District: S NR If NR, Specify: Actual Potential

HISTORIC RESOURCE INVENTORY – BUILDINGS AND STRUCTURES

CONTINUATION SHEET

155 Post Road East, Westport, CT

Architectural Description

The Contemporary-style building at 155 Post Road East is a two story, brick commercial block with a flat roof built in c. 1930. The stair tower to the building is found on the eastern corner of the façade. It has a large window on the second story and a single door on the bottom story. The roof is lined by a narrow band of coping topping a wide, flat entablature in the brick. Narrow pilasters topped by narrow brick capitals define the ends of the building and the stair tower. The second story contains seven pairs of windows with fixed sash on hoppers set on narrow brick sills. Three separate storefronts are found along the first story, each with a central entrance flanked by full-height plate glass windows.



View North