

C E L L A R P L A N

SCALE: 1/8" = 1'-0"

XXXX  
A100.2

XXXX  
A100.1

XXXX  
A101.3

A  
100

DATE: SEPTEMBER 30, 2024

PROJECT: RENOVATIONS TO THE INN AT LONGSHORE  
260 COMPO ROAD SOUTH  
WESTPORT, CONNECTICUT 06880

AS NOTED  
PROJECT NO. 1212

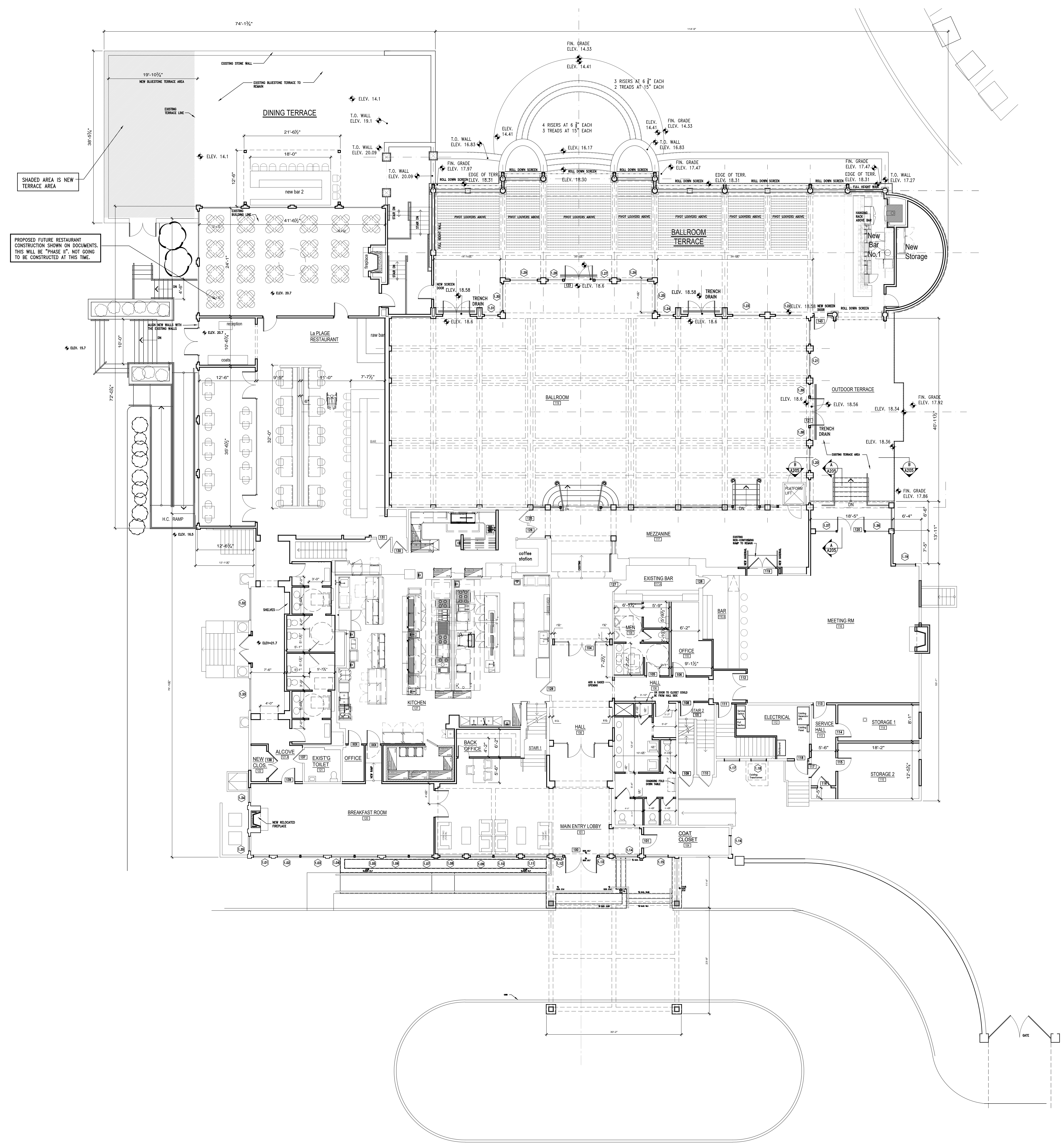
DATE: 07/18

BY: [REDACTED]  
SITE: [REDACTED]  
DESCRIPTION: [REDACTED]

THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN IS SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT FOR ANY OTHER PROJECT OR SITE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT TO THE CLIENT. THE ARCHITECT IS NOT A CONTRACTOR AND DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT TO THE CLIENT.

kenneth r. nadler consulting, llc, architects-planners-engineers  
100 STATE STREET, SUITE 200  
WESTPORT, CT 06880  
(914) 241-3520  
WWW.NADLERARCHITECT.COM

SUBMISSION RECORD



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

<b>FLOOR AREA (PROPOSED):</b>	
CELLAR	= 8,864 S.F.
FIRST FLOOR	= 17,716 S.F.
SECOND FLOOR	= 4,415 S.F.
THIRD FLOOR	= 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,253 S.F.</b>
<b>FLOOR AREA (EXISTING):</b>	
CELLAR	= 8,864 S.F.
FIRST FLOOR	= 17,565 S.F.
SECOND FLOOR	= 4,415 S.F.
THIRD FLOOR	= 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,102 S.F.</b>
<b>FLOOR AREA (EXIST'G) + (ADDED) = TOTAL</b>	
CELLAR	= 8,864 S.F. + 0 S.F. = 8,864 S.F.
FIRST FLOOR	= 17,565 S.F. + 151 S.F. = 17,716 S.F.
SECOND FLOOR	= 4,415 S.F. + 0 S.F. = 4,415 S.F.
THIRD FLOOR	= 3,258 S.F. + 0 S.F. = 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,102 S.F. + 151 S.F. = 34,253 S.F.</b>

**kenneth r. nadler consulting, llc.**  
 architects/planners  
 1000 Main Street, Westport, CT 06880  
 (914) 241-3620  
[www.nadlerarchitect.com](http://www.nadlerarchitect.com)

SUBMISSION RECORD

THE INFORMATION CONTAINED HEREIN IS SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KENNETH R. NADLER CONSULTING, LLC.

NO.	DATE	BY	REV.	DESCRIPTION

<b>SCALE:</b>	AS NOTED	DATE:	12/21	DRAWN BY:	EJZ/AB	CHECKED BY:		DATE:	
---------------	----------	-------	-------	-----------	--------	-------------	--	-------	--

<b>PROJECT:</b>	RENOVATIONS TO THE INN AT LONGSHORE, 260 COMPO ROAD SOUTH, WESTPORT, CONNECTICUT 06880
-----------------	--

<b>PROJECT NO.:</b>	1212
---------------------	------

<b>PROJECT NO.:</b>	1212
---------------------	------

<b>PROJECT NO.:</b>	1212
---------------------	------

REVISED AND RESUBMITTED TO ARB  
DATE: SEPTEMBER 12, 2024

DATE: 10-14-2024

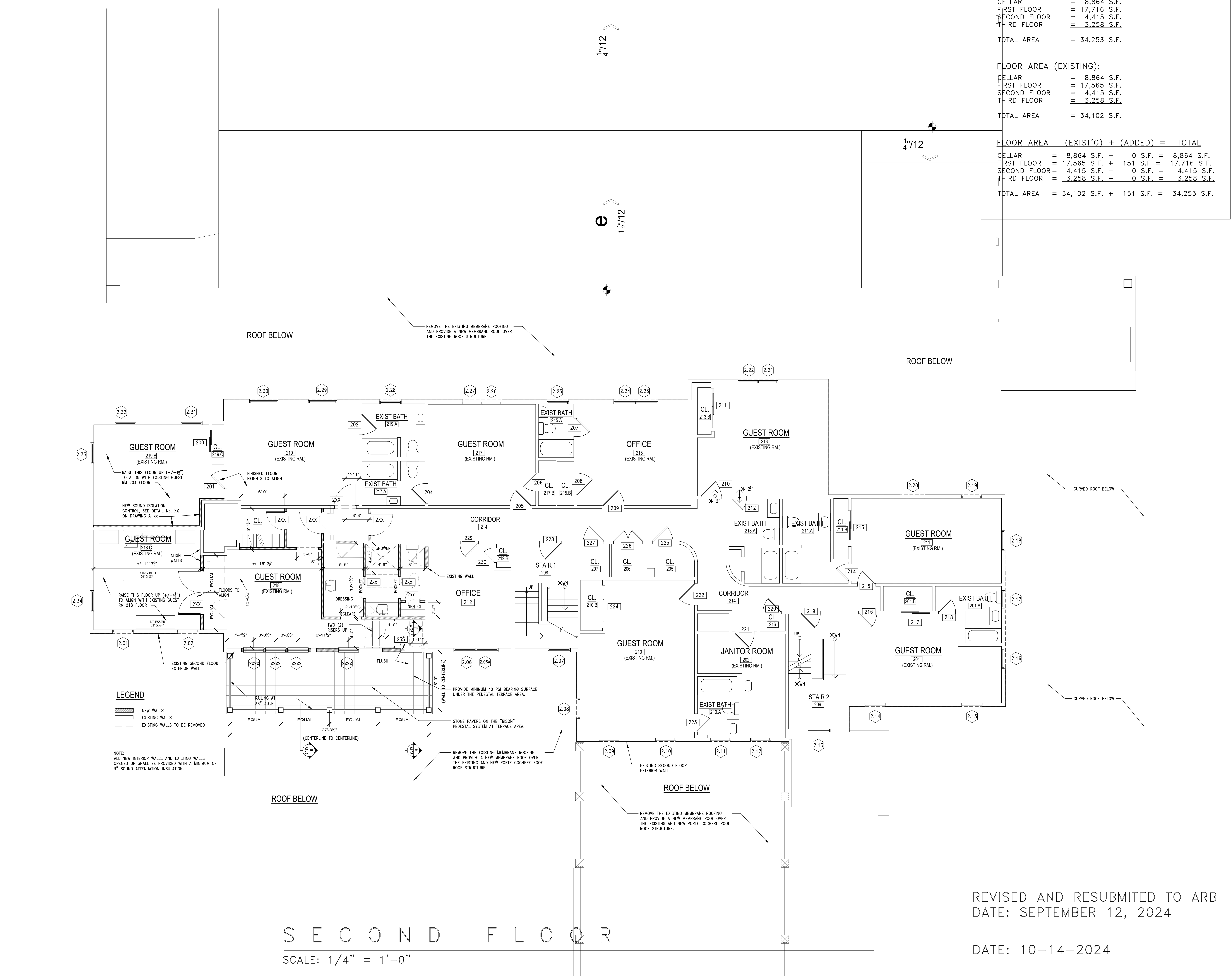
FLOOR AREA (PROPOSED):	
CELLAR	= 8,864 S.F.
FIRST FLOOR	= 17,716 S.F.
SECOND FLOOR	= 4,415 S.F.
THIRD FLOOR	= 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,253 S.F.</b>

FLOOR AREA (EXISTING):	
CELLAR	= 8,864 S.F.
FIRST FLOOR	= 17,565 S.F.
SECOND FLOOR	= 4,415 S.F.
THIRD FLOOR	= 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,102 S.F.</b>

FLOOR AREA (EXIST'G) + (ADDED) = TOTAL	
CELLAR	= 8,864 S.F. + 0 S.F. = 8,864 S.F.
FIRST FLOOR	= 17,565 S.F. + 151 S.F. = 17,716 S.F.
SECOND FLOOR	= 4,415 S.F. + 0 S.F. = 4,415 S.F.
THIRD FLOOR	= 3,258 S.F. + 0 S.F. = 3,258 S.F.
<b>TOTAL AREA</b>	<b>= 34,102 S.F. + 151 S.F. = 34,253 S.F.</b>



**SECOND FLOOR**  
 SCALE: 1/4" = 1'-0"

REVISED AND RESUBMITTED TO ARB  
 DATE: SEPTEMBER 12, 2024

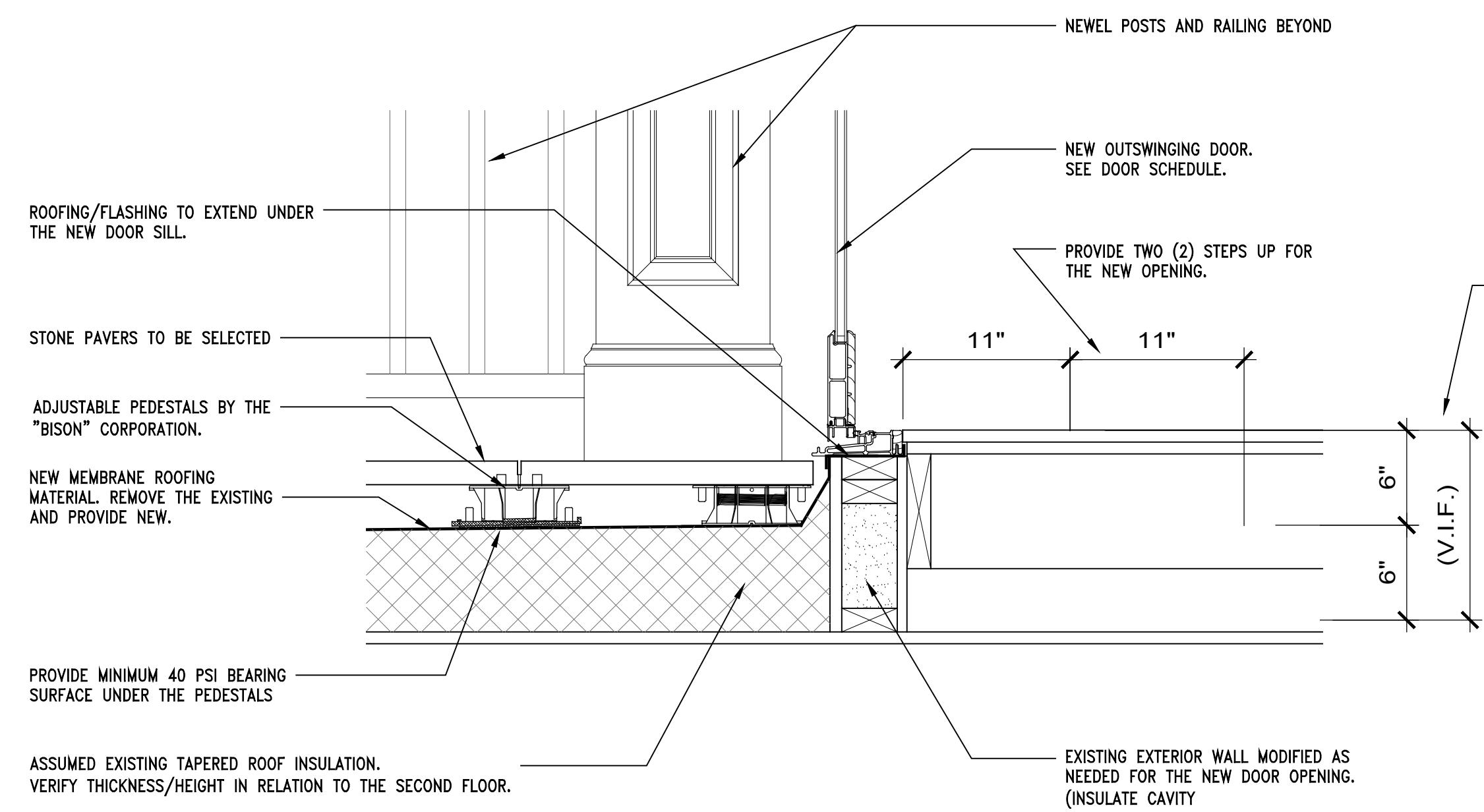
DATE: 10-14-2024

For information only. This information contains no specific recommendations or instructions. It is not intended to be used for any other purpose other than for the project described herein. The user assumes all liability for any use of this information. © Kenneth R. Nadler Architects, LLC. All rights reserved. No other reproduction or distribution is permitted without the express written consent of the architect.

Rev	By	Date	Description

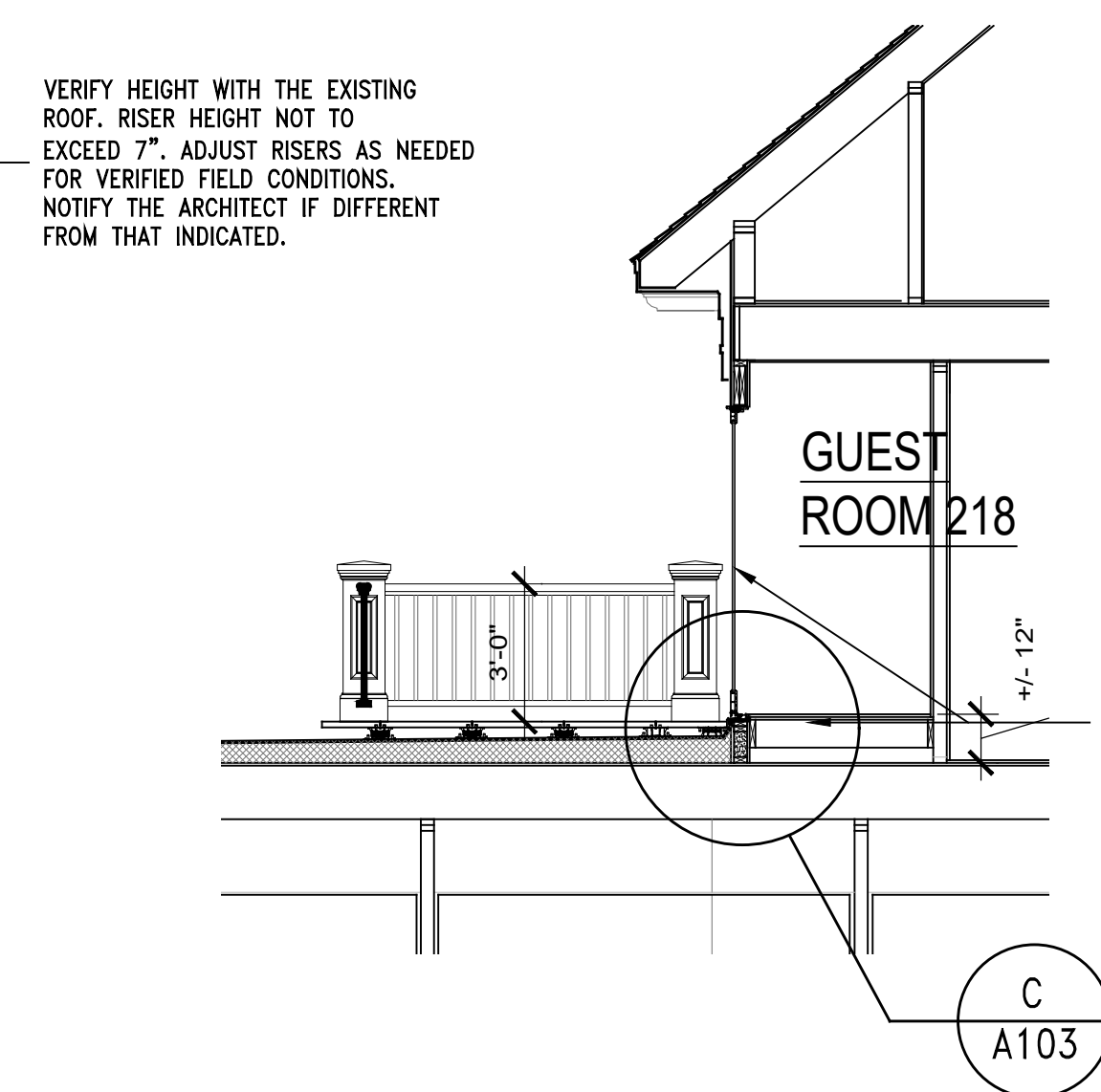
AS NOTED	DATE	BY	DESCRIPTION

PROJECT: **RENOVATIONS TO THE INN AT LONGSHORE**  
 260 COMPO ROAD SOUTH  
 WESTPORT, CONNECTICUT 06880

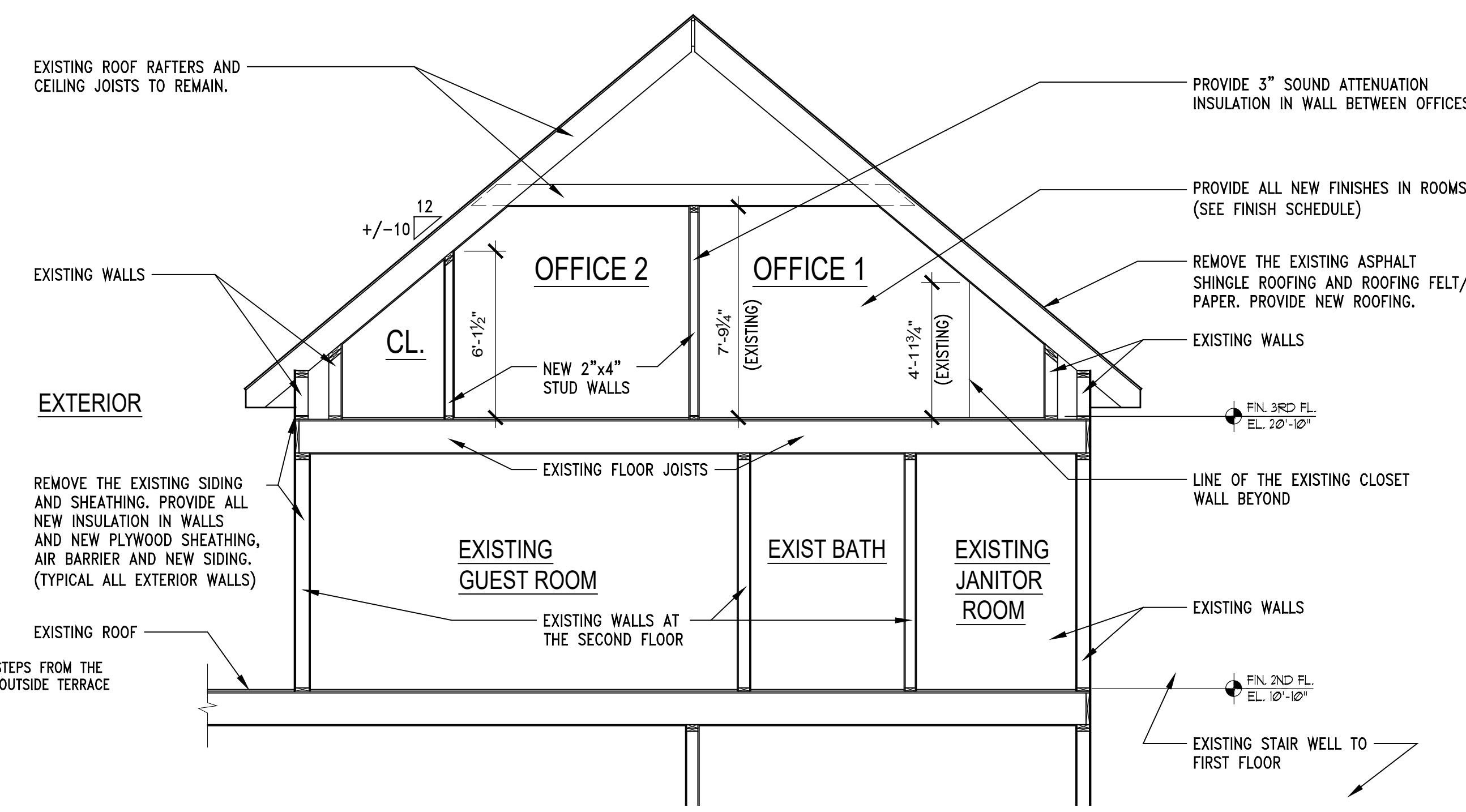


NOTE:  
PEDESTAL / PAVES INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH "BISON INNOVATIVE PRODUCT" SPECIFICATIONS.

**C SECTION**  
A103 SCALE: 1 1/2" = 1'-0"



**B SECTION**  
A103 SCALE: 1/4" = 1'-0"



**A SECTION THRU OFFICES**  
A103 SCALE: 1/4" = 1'-0"

**FLOOR AREA (PROPOSED):**

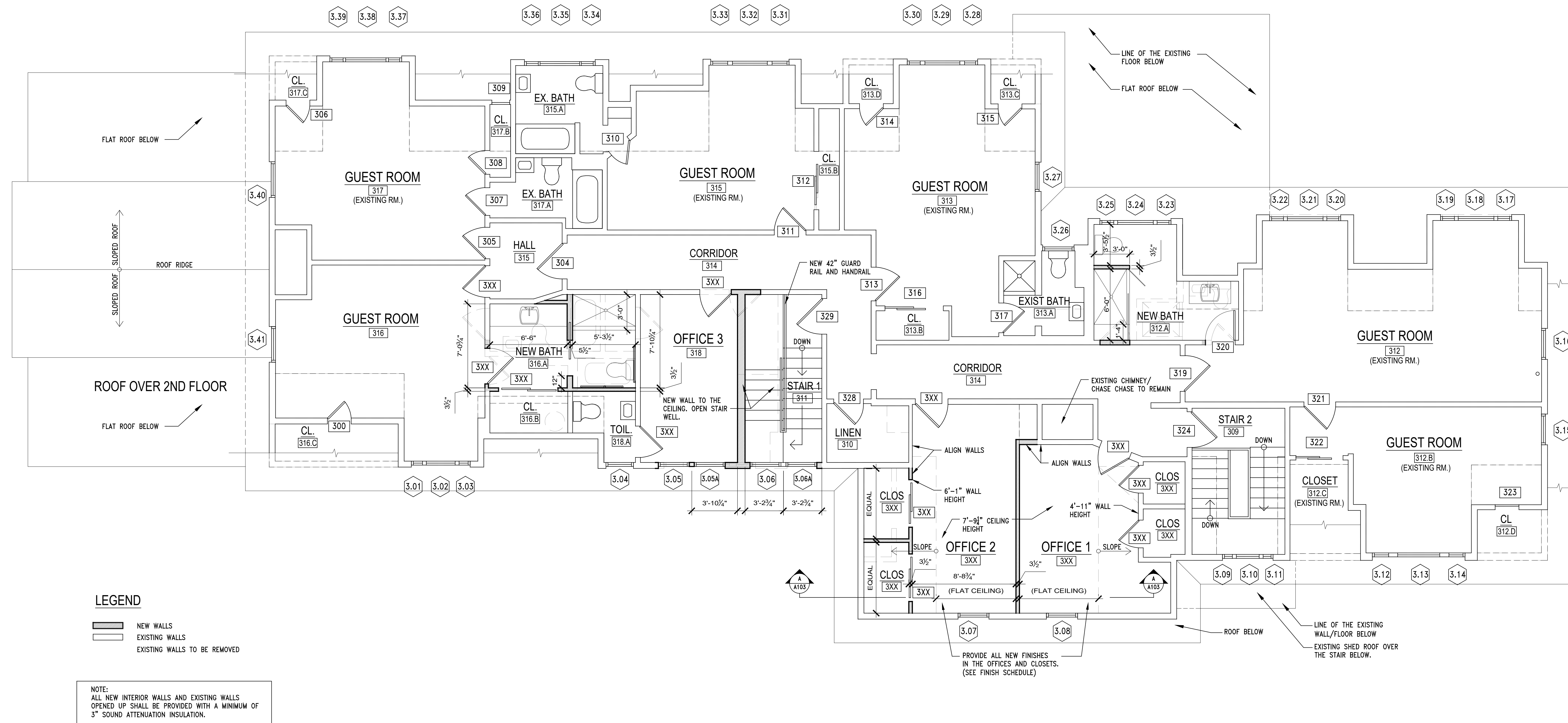
CELLAR	=	8,864 S.F.
FIRST FLOOR	=	17,716 S.F.
SECOND FLOOR	=	4,415 S.F.
THIRD FLOOR	=	3,258 S.F.
<b>TOTAL AREA</b>	=	<b>34,253 S.F.</b>

**FLOOR AREA (EXISTING):**

CELLAR	=	8,864 S.F.
FIRST FLOOR	=	17,565 S.F.
SECOND FLOOR	=	4,415 S.F.
THIRD FLOOR	=	3,258 S.F.
<b>TOTAL AREA</b>	=	<b>34,102 S.F.</b>

**FLOOR AREA (EXIST'G) + (ADDED) = TOTAL**

CELLAR	=	8,864 S.F. + 0 S.F. =	8,864 S.F.
FIRST FLOOR	=	17,565 S.F. + 151 S.F. =	17,716 S.F.
SECOND FLOOR	=	4,415 S.F. + 0 S.F. =	4,415 S.F.
THIRD FLOOR	=	3,258 S.F. + 0 S.F. =	3,258 S.F.
<b>TOTAL AREA</b>	=	<b>34,102 S.F. + 151 S.F. =</b>	<b>34,253 S.F.</b>



**THIRD FLOOR**

SCALE: 1/4" = 1'-0"

F.A.R.=3,799 S.F.

REVISED AND RESUBMITTED TO ARB  
DATE: SEPTEMBER 12, 2024

DATE: 10-14-2024

**kenneth r. nadler consulting, llc.**  
architects/planners  
1000 Main Street, Suite 100  
Westport, CT 06880  
(914) 241-5620  
www.nadlerarchitect.com

SUBMISSION RECORD

This document and the information contained herein is specifically intended for the project and location noted on the title block only. It is not to be used for any other project, other than that specifically identified on the title block. The user of this document is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this document is also responsible for obtaining all necessary approvals from the appropriate authorities. The user of this document is also responsible for obtaining all necessary approvals from the appropriate authorities.

© 2024. All Rights Reserved. May 29, 2024. © 2024. All Rights Reserved. May 29, 2024.

DATE: 10-14-2024

BY: [Signature]

REV: [Signature]

SCALE: 1/4" = 1'-0"

PROJECT NO: 2121

PROJECT: RENOVATIONS TO THE INN AT LONGSHORE

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

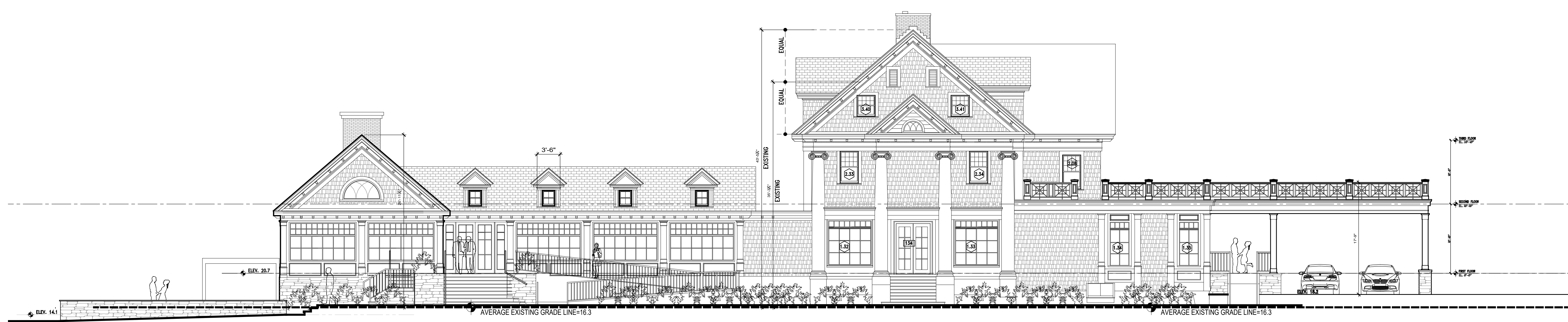
PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

PROJECT: 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880

**A 103**

This document and the information contained herein is specifically intended for the project and location noted on this title block and is not to be used for any other project, other than that for which it was prepared. The information herein may be used by the recipient for informational purposes only and shall not constitute an offer of any professional services. No other person(s) shall sign and/or seal this document for any other project. Kenneth R. Nadler Consulting, LLC, Architects-Planners.



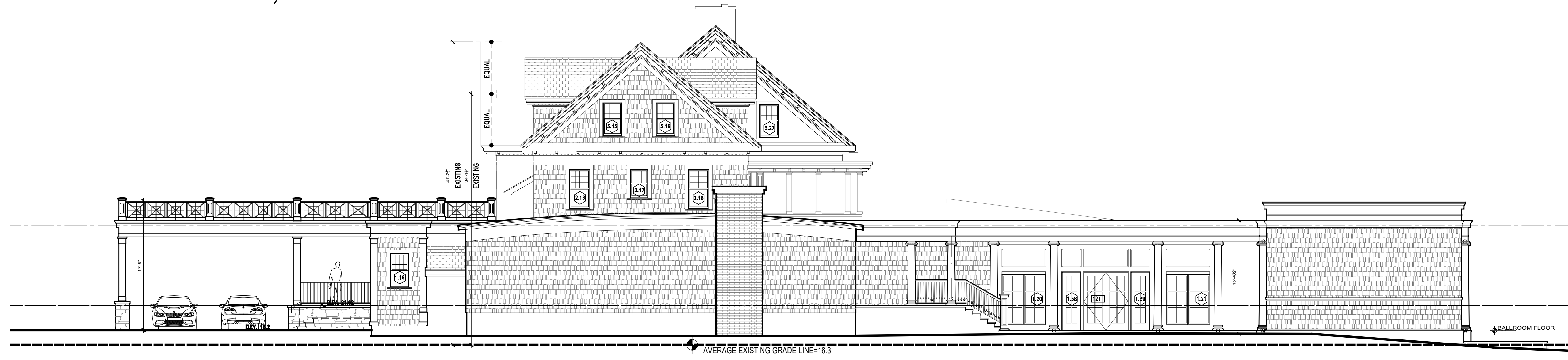
LEFT (EAST) ELEVATION

SCALE: 1/8" = 1'-0"



REAR (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



FRONT (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"

**MATERIALS:**  
 ROOFING: ASPHALT SHINGLES, CERTAINTED GRAND MANOR  
 COLOR: GEORGIAN BRICK—GRAND MANOR  
 SIDING: JAMES HARDIE "HARDIBOARD" HARDI SHINGLES  
 +/-7 INCH TO WEATHER (MATCH EXISTING)  
 PAINTED WHITE  
 WINDOWS: MARVIN OR EQUAL (PAINTED WHITE)  
 SIGNAGE: EXISTING SIGNAGE TO REMAIN

AS NOTED  
 PROJECT NO. 1212

DATE: 07/18  
 DRAWN BY: E7/AR  
 CHECKED BY: [blank]

REVISIONS TO:  
 THE INN AT LONGSHORE  
 260 COMPO ROAD SOUTH  
 WESTPORT, CONNECTICUT 06880

PROJECT NO. 1212  
 DATE: 07/18  
 DRAWN BY: E7/AR  
 CHECKED BY: [blank]



**MATERIALS:**  
 ROOFING: ASPHALT SHINGLES, CERTANTEED GRAND MANOR  
 COLOR: GEORGIAN BRICK—GRAND MANOR  
 SIDING: JAMES HARDIE "HARDIBOARD" HARDI SHINGLES  
 +/- 7 INCH TO WEATHER (MATCH EXISTING)  
 PAINTED WHITE  
 WINDOWS: MARVIN OR EQUAL (PAINTED WHITE)  
 SIGNAGE: EXISTING SIGNAGE TO REMAIN

kenneth r. nadler consulting, llc.  
 architects/planners  
 260 Compo Road South  
 Westport, Connecticut 06880  
 (914) 241-5620  
 www.kennethnadler.com

REAR (SOUTH) ELEVATION  
 SCALE: 1/4" = 1'-0"



EXISTING BRICK CHIMNEY TO REMAIN. THE CONTRACTOR SHALL HAVE THE CHIMNEY INSPECTED, INCLUDING MORTAR JOINTS AND THE FLUE, BY A QUALIFIED CHIMNEY INSPECTOR. UPON COMPLETION THE CHIMNEY SHALL BE CLEANED AND RE-FLASHED TO THE NEW ROOF.

EXISTING DORMER. PROVIDE ALL NEW FINISH MATERIALS. MATCH ALL EXISTING DETAILS.

EXISTING DORMERS. PROVIDE ALL NEW FINISH MATERIALS. MATCH ALL EXISTING DETAILS. (SEE NOTE BELOW)

PROVIDE ALL NEW WINDOWS. (SEE PLANS AND SCHEDULES). ALL EXISTING WINDOW OPENINGS TO REMAIN MUST BE FIELD VERIFIED.

REMOVE THE EXISTING ASPHALT SHINGLE ROOFING (INCLUDING DRIP EDGES, ANY FELT UNDERLAYMENTS) AND PROVIDE NEW UNDERLAYMENT, DRIP EDGES AND SHINGLES. THE CONTRACTOR, AFTER REMOVAL OF MATERIALS, SHALL THOROUGHLY INSPECT THE WOOD FRAMING/SHEATHING BELOW. ALL DAMAGED OR ANY ROTTEN MATERIALS MUST BE REPLACED. REVIEW ANY ROOFING ADDITIONAL CODES WITH THE OWNERS AND THE ARCHITECT. NEW ROOFING SHALL BE PROVIDED ON THE ENTIRE EXISTING BUILDING.

RE-FLASH ALL ROOF TO WALL INTERSECTIONS

NEW BRACKETS, TRIM, ETC. TO MATCH THE EXISTING.

ALL EXISTING SIDING, TRIM, FASCIA AND SOFFIT MATERIAL SHALL BE REMOVED AND BE REPLACED. THE CONTRACTOR SHALL CREATE "MOCK-UPS" OF EXISTING DETAILS (INCLUDING THE BRACKETS) FOR FUTURE REFERENCE. "MOCK-UPS" SHALL REMAIN ON SITE, SO THAT ALL PARTIES INVOLVED, CAN SEE THEM AT ALL TIMES. NEW MATERIALS AND DETAILS SHALL MATCH THAT REMOVED.

FRONT (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

REVISED AND RESUBMITTED TO ARB  
 DATE: SEPTEMBER 12, 2024

Per Agreement with the Information contained herein is specifically intended for the use and location noted on this drawing. No other use, reproduction, or distribution is permitted without the prior written consent of Kenneth R. Nadler Consulting, LLC. The user of this drawing shall assume all liability for any errors or omissions.

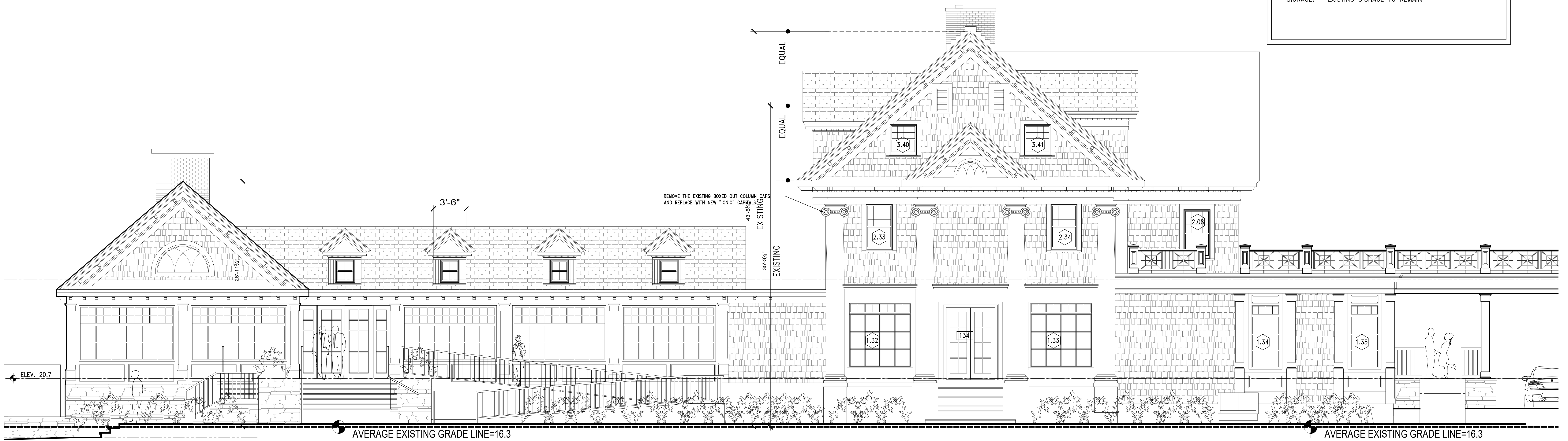
Project No.	2121
Project Name	RENOVATIONS TO THE INN AT LONGSHORE 260 COMPO ROAD SOUTH WESTPORT, CONNECTICUT 06880
Drawn by	EZ/AB
Checked by	
Date	
Scale	
Sheet No.	A 201



R I G H T ( W E S T ) E L E V A T I O N

SCALE: 1/4" = 1'-0"

**MATERIALS:**  
 ROOFING: ASPHALT SHINGLES, CERTAINTEED GRAND MANOR  
 COLOR: GEORGIAN BRICK-GRAND MANOR  
 SIDING: JAMES HARDIE "HARDIBOARD" HARDI SHINGLES  
 + 7-7" INCH TO WEATHER (MATCH EXISTING)  
 PAINTED WHITE  
 WINDOWS: MARVIN OR EQUAL (PAINTED WHITE)  
 SIGNAGE: EXISTING SIGNAGE TO REMAIN



L E F T ( E A S T ) E L E V A T I O N

SCALE: 1/4" = 1'-0"

Date	By	Rev.	Description

For information only. This information is not intended to be used for any other purpose other than the project for which it was prepared. It is the responsibility of the user to verify the accuracy of the information and to ensure that it is used in accordance with the intended purpose. © 2024 Kenneth R. Nadler Consulting, LLC. All rights reserved.

Date	By	Rev.	Description

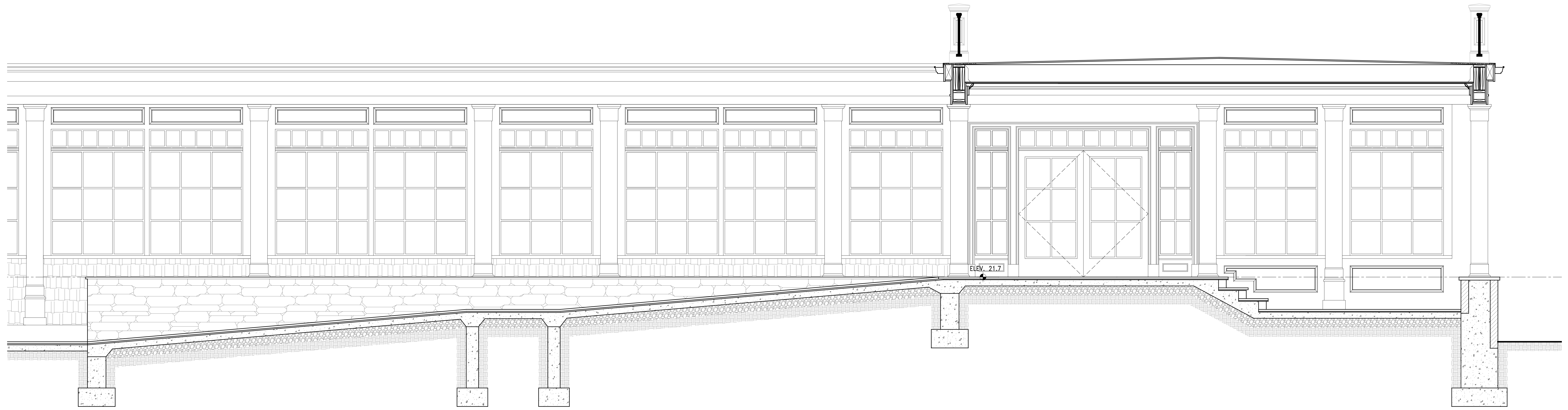
Date	By	Rev.	Description

Date	By	Rev.	Description

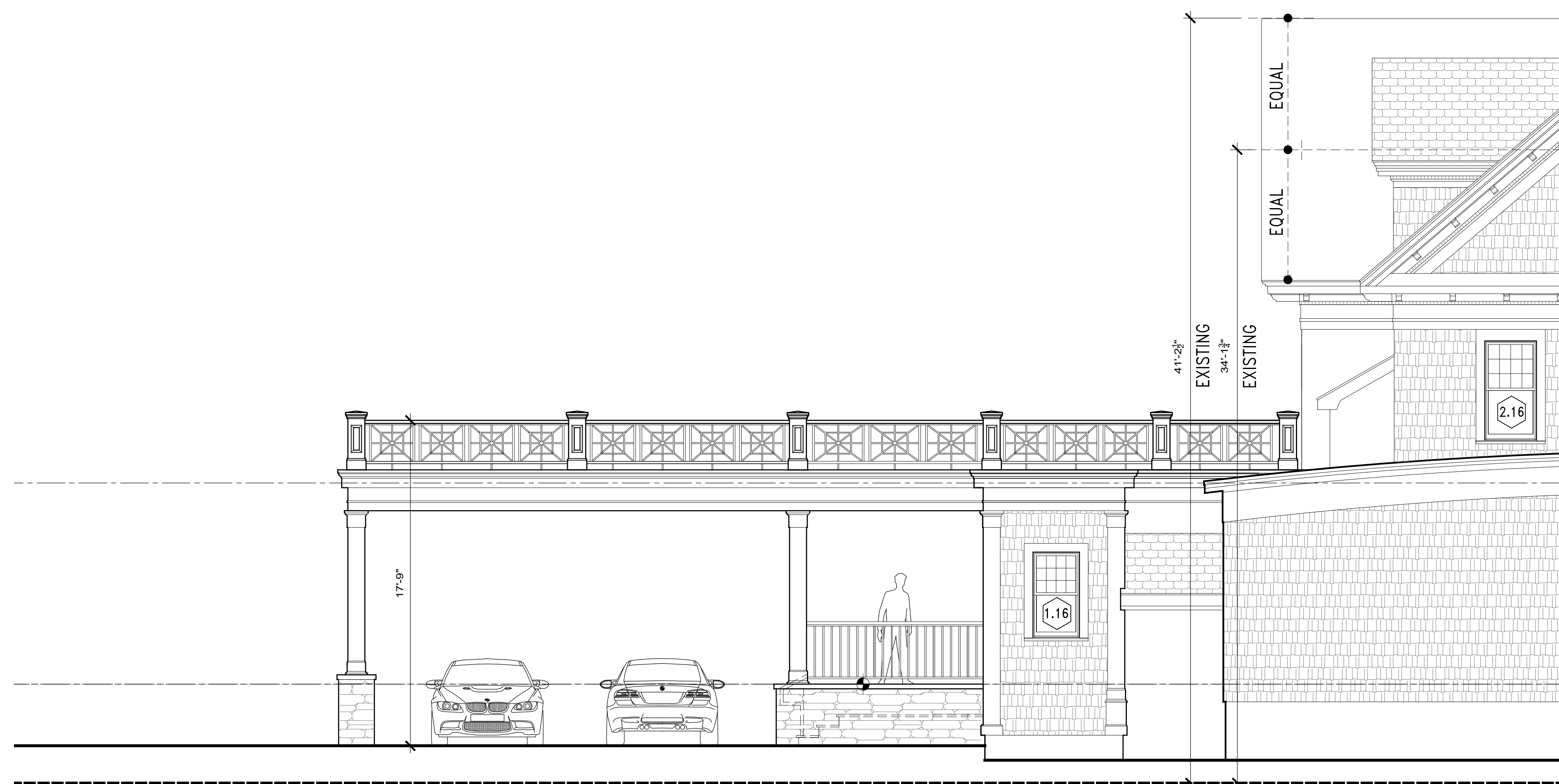
Date	By	Rev.	Description

Date	By	Rev.	Description

Date	By	Rev.	Description



**A** ENTRY SECTION  
 A203 SCALE: 1/2" = 1'-0"



RIGHT SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"

P O R T E C O C H E R E

REVISED AND RESUBMITTED TO ARB  
 DATE: SEPTEMBER 12, 2024

SUBMISSION RECORD	
NO.	DESCRIPTION

This document and the information contained herein is specifically for the use of the recipient and is not to be used for any other purpose without the written consent of Kenneth R. Nadler Consulting, LLC. Architects-Planners. No other person(s) shall use or copy any part of this document for any other purpose without the written consent of Kenneth R. Nadler Consulting, LLC. Architects-Planners.

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION