

Submission Date: 6/17/24

Project Record Number: _____

Accela Record Number: ORB-24-00002

Address of proposed work: 535 Riverside Ave

Property PID#: C06057000 Zoning District: R02D2

Owner: 535 Riverside LLC Phone: _____

Address: 115 Carver Brook Rd Trumbull E-mail: _____

Agent/Contractor (if different): Rick Hoag Phone: 203-557-0803

rick@fwharch.com

Address: _____ E-mail: blake@fwharch.com

June 17, 2024

Architectural Review Board
Town of Westport

Re: 535 Riverside Ave, "The Bridge" Restaurant

Dear Board Members,

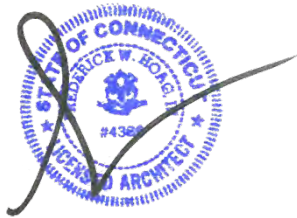
535 Riverside Ave is a lot located on the eastern side of Riverside Ave at the intersection with Bridge St. A new restaurant tenant, "The Bridge;" is renovating the former "Parker House" restaurant space, within a single-tenant building on the lot known as 541 Riverside Ave. Our application prepared on behalf of The Bridge is seeking approval from the Architectural Review Board for a new canopy over the entry.

The canopy will consist of a new, retractable, Corten Steel canopy supported by a new Warren Truss. The Canopy will be shaped as a parallelogram and the Warren Truss will be tied into the existing exterior wall and shall be painted to match the exterior trim color.

We look forward to reviewing this proposed work with you.

Sincerely,

Frederick William Hoag, Architect LLC





PETER DINARDO
E N T E R P R I S E S

June 17, 2024

Planning and Zoning
Building Department
Town of Westport
515 Post Road East
Westport CT 06880

RE: 541 Riverside Avenue, Westport

To Whom It May Concern,

As the owner of the above referenced property, I am aware and give authorization for the scope of work described within the drawings prepared by Frederick W. Hoag, Architect. Frederick William Hoag, Architect, is hereby authorized to file submissions and obtain permits as necessary by Planning and Zoning and the Building Department on behalf of 535 Riverside, LLC.

Sincerely,
535 Riverside, LLC
By Little Branch, Inc.
Its Manager

535 Riverside, LLC
Its President

THE BRIDGE

541 RIVERSIDE AVE

WESTPORT, CT 06880

INTERIOR RENOVATION TO FIT OUT NEW RESTAURANT

PROJECT DATA

PARCEL ID: #TAX ID	ZONE: RORD2	LOT AREA: 18,350 SQFT	AYB: 1875
HEIGHT: 2 STORIES / 22'-7"	SETBACKS: Front 30'-0", Rear 25'-0", Side 15'-0"	HEIGHT: NO CHANGE	SETBACKS: NO CHANGE
BUILDING USE: A-2	ZONING USE: RESTUARANT	BUILDING USE: A-2	ZONING USE: NO CHANGE
COVERAGE: 20%		COVERAGE: NO CHANGE	
First Floor: 1,267 SF		First Floor: NO CHANGE	
Second Floor: 544 SF		Second Floor: NO CHANGE	
Total: 1,811 SF		Total: NO CHANGE	

SHEET INDEX

VICINITY MAP

SITE MAP



PROJECT TEAM

ARCHITECT:
 FREDERICK WILLIAM HOAG ARCHITECT
 57 WILTON ROAD, 2ND FLOOR
 WESTPORT CT 06880
 OFFICE PHONE: 203.557.0803
 CONTACT: FREDERICK HOAG
 RICK@FWHARCH.COM

OWNER:
 535 RIVERSIDE LLC
 115 CANOE BROOK RD
 TRUMBULL, CT 06611
 CONTACT: PETER DINARDO
 PH: 203.333.0206
 peter@dinardoent.com

CIVIL:

STRUCTURAL:

MECHANICAL:

FOOD SERVICE:

LIST OF REVISIONS / ISSUES



N.T.S.

		REVISIONS	
#	DESCRIPTION		DATE
	DATE OF ISSUE		6/17/24

Project # **240607**
 Project Name:
541 RIVERSIDE
WESTPORT, CT

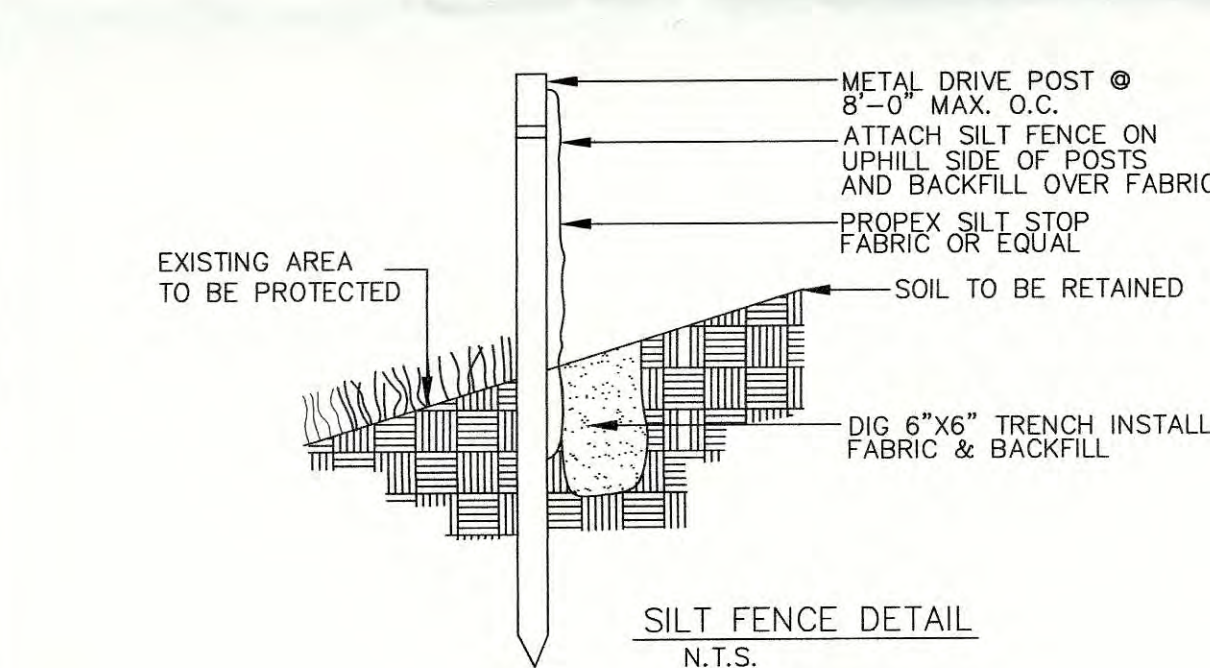
COVER SHEET



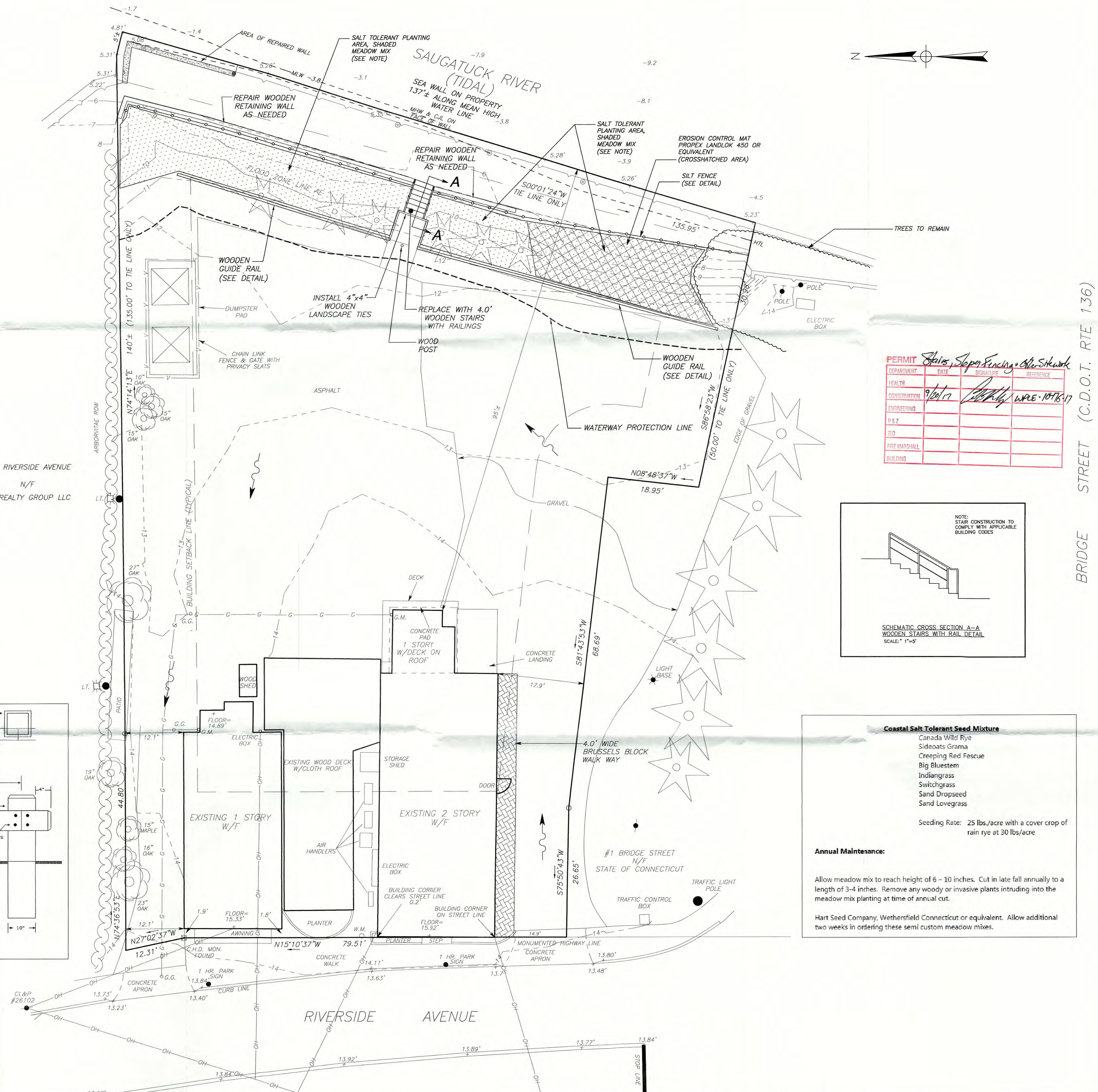
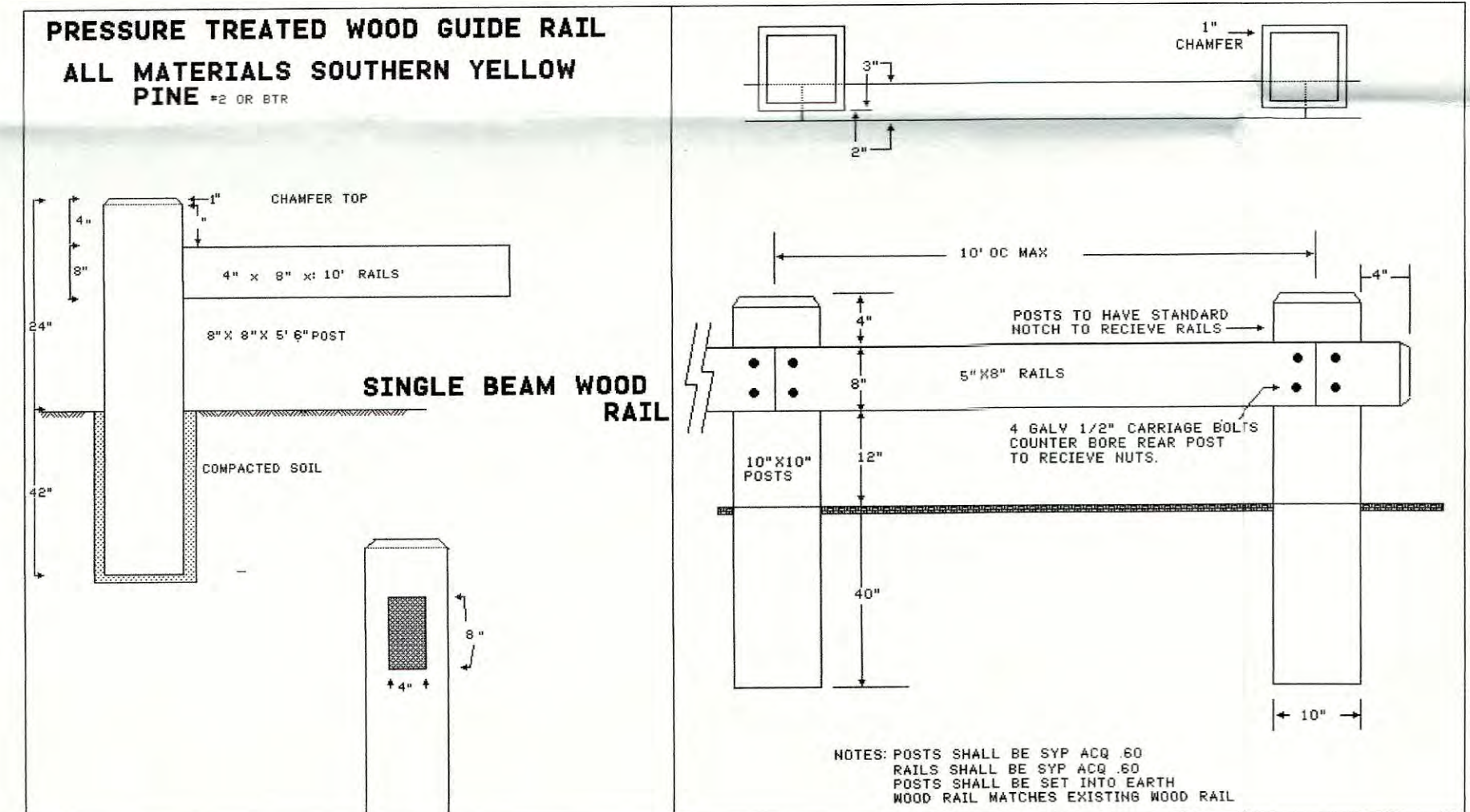
FREDERICK WILLIAM HOAG
 ARCHITECT

57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P:203.557.0803

- NOTES:
- REFERENCE IS MADE TO THE FOLLOWING MAP ENTITLED: "AS-BUILT PLOT PLAN TOPOGRAPHIC SURVEY" 535-541 RIVERSIDE AVENUE WESTPORT, CT BY: LEWIS ASSOCIATES SCALE: 1"=10' DATED: 10-16-2015
 - REFERENCE IS MADE TO THE FOLLOWING DRAWINGS ENTITLED: WALL REPAIR DINARDO 535-541 RIVERSIDE AVENUE FAIRFIELD COUNTY FAIRFIELD, CONNECTICUT, SHEETS 1 THROUGH 8, PERMIT #201101259-TS DATED: 9/15/15 BY: WALDO & ASSOC. LLC.
 - ELEVATIONS DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 AND WAS OBTAINED UTILIZING GUIDANCE POSITION SYSTEM (G.P.S.). THE GEIOD USED IS GEIOD2-12a. ELEVATIONS WERE DETERMINED FROM GPS OBSERVATIONS MADE ON 12/2/2014, IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEY IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
 - PARCEL LIES PARTIALLY IN THE FLOOD ZONE AE WITH A BASE FLOOD ELEVATION OF 10 FEET PER FLOOD INSURANCE RATE MAP OF TOWN OF WESTPORT, FAIRFIELD COUNTY, CONNECTICUT MAP NUMBER 09001C05516 REVISED JULY 8, 2013.
 - PROPERTY SUBJECT TO THE FOLLOWING:
 - CONDITIONS CONTAINED IN A NOTICE OF ZONING APPROVAL DATED JUNE 22, 1990 RECORDED IN VOLUME 1061 AT PAGE 197.
 - CONDITIONS CONTAINED IN A NOTICE OF ZONING APPROVAL DATED OCTOBER 4, 1991 RECORDED IN VOLUME 1124 AT PAGE 161 AND VOLUME 1125 AT PAGE 254.
 - CONDITIONS CONTAINED IN A NOTICE OF ZONING APPROVAL DATED AUGUST 6, 1992 RECORDED IN VOLUME 1175 AT PAGE 110.
 - CONDITIONS CONTAINED IN A NOTICE OF ZONING APPROVAL DATED MAY 29, 2008 RECORDED IN VOLUME 2913 AT PAGE 71.
 - MUNICIPAL ZONE DESIGNATION IS RESTRICTED OFFICE-RETAIL DISTRICT (RORD) #2. BUILDING SETBACKS:
 - FRONT - 30'
 - SIDE - 15'
 - REAR - 25'

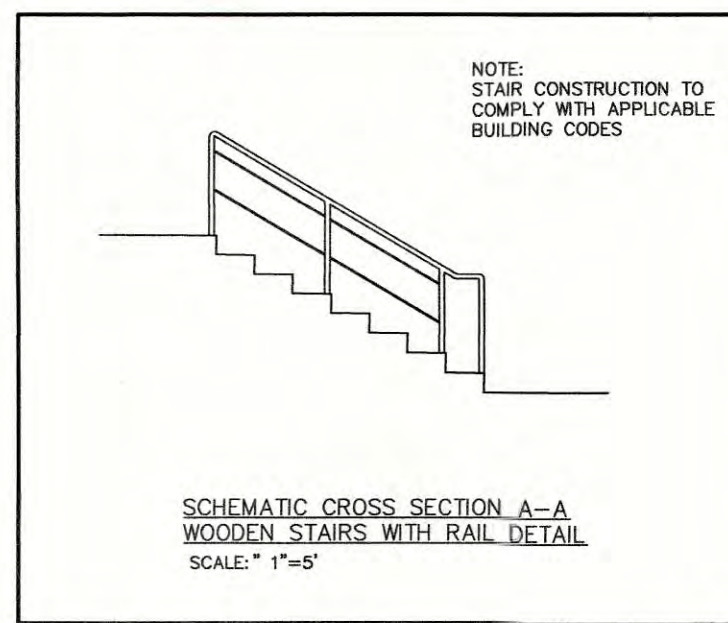


#521 RIVERSIDE AVENUE
 N/F
 SRC REALTY GROUP LLC



PERMIT *Stairs, Silt Fencing, etc.*

DEPARTMENT	DATE	SIGNATURE	REFERENCE
HEALTH			
CONSERVATION	9/20/17	<i>[Signature]</i>	WPE-10476-17
ENGINEERING			
P&Z			
ZED			
FIRE MARSHALL			
BUILDING			



Coastal Salt Tolerant Seed Mixture

- Canada Wild Rye
- Sideoats Grama
- Creeping Red Fescue
- Big Bluestem
- Indiangrass
- Switchgrass
- Sand Dropseed
- Sand Lovegrass

Seeding Rate: 25 lbs./acre with a cover crop of rain rye at 30 lbs./acre

Annual Maintenance:

Allow meadow mix to reach height of 6 - 10 inches. Cut in late fall annually to a length of 3-4 inches. Remove any woody or invasive plants intruding into the meadow mix planting at time of annual cut.

Hart Seed Company, Wethersfield Connecticut or equivalent. Allow additional two weeks in ordering these semi custom meadow mixes.



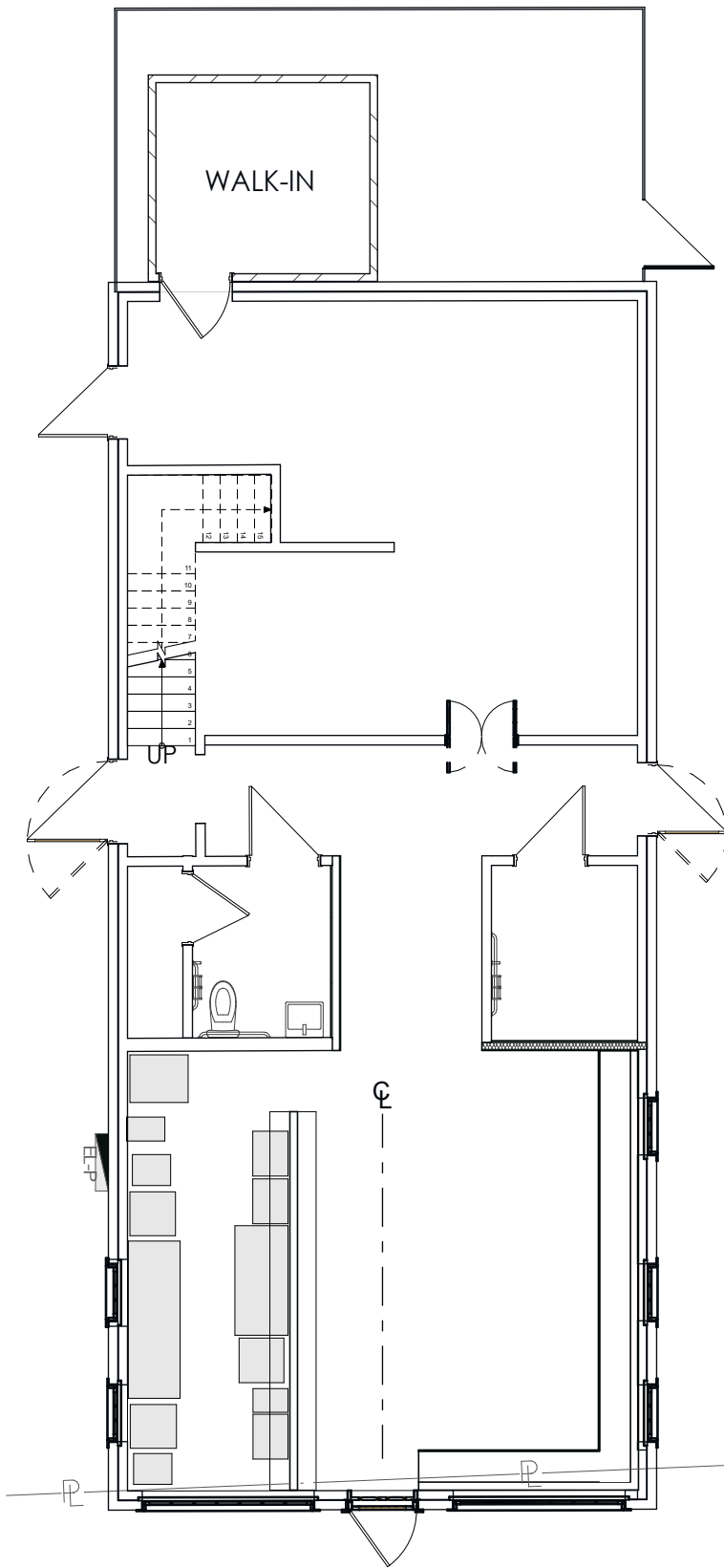
SITE PLAN - PROPERTY OF 535 RIVERSIDE, LLC - RIVERFRONT IMPROVEMENTS

535-541 RIVERSIDE AVENUE WESTPORT, CONNECTICUT

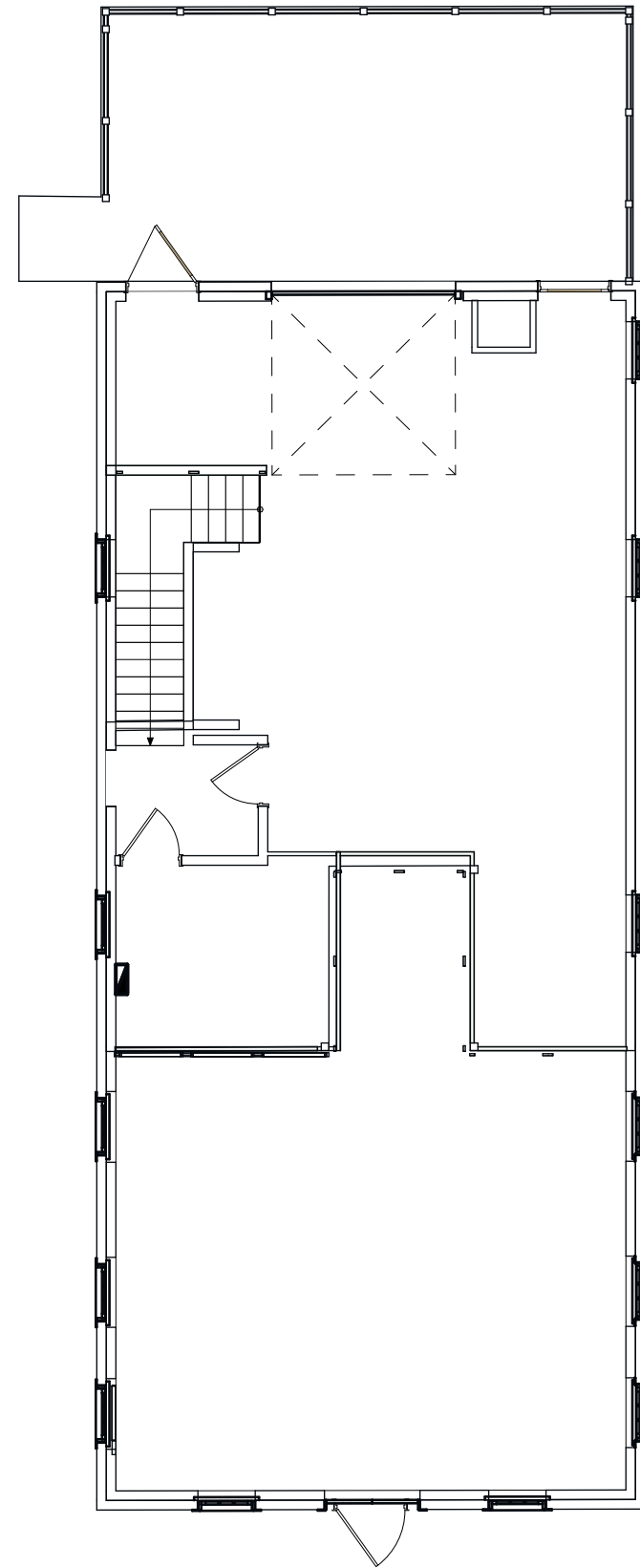
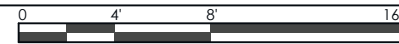
WALDO & ASSOCIATES LLC

PROFESSIONAL ENGINEERS & LAND SURVEYORS
 89 State St., Guilford, Conn. 06437 Phone 203 453 4386

Date	8/3/17	Scale	1"=10'	Checked	RES
Revised	8/3/17	Removed Reference to Retaining Wall Repair		Drawn	WJK
	8/23/17	Added Erosion Control Mat			
	9/14/17	Added Notes - Rev. Guide Rail			
		Notes - Rev. Guide Rail			
		Notes - Rev. Guide Rail			
		Notes - Rev. Guide Rail			
Job #	4111	File Bk #			



1 EXISTING | FIRST FLOOR
SCALE: 1/8" = 1'-0"



2 EXISTING | SECOND FLOOR
SCALE: 1/8" = 1'-0"



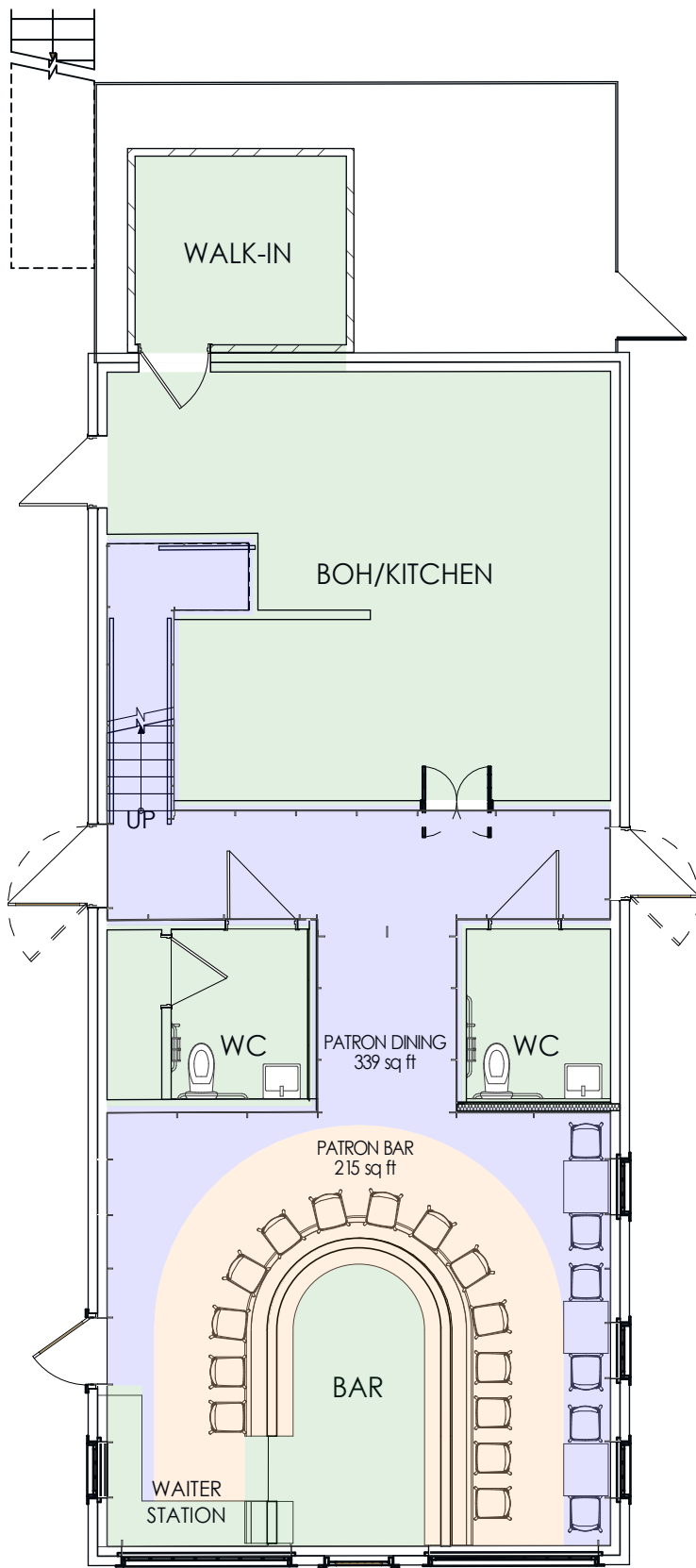
LEGEND		
[Solid Line]	EXISTING	
[Dashed Line]	DEMO	
[Red Hatched Area]	DEMO FINISH / CLADDING	
		R E V I S I O N S
#	DESCRIPTION	DATE
DATE OF ISSUE		6/17/24

Project # 240607
Project Name:
**541 RIVERSIDE
WESTPORT, CT**

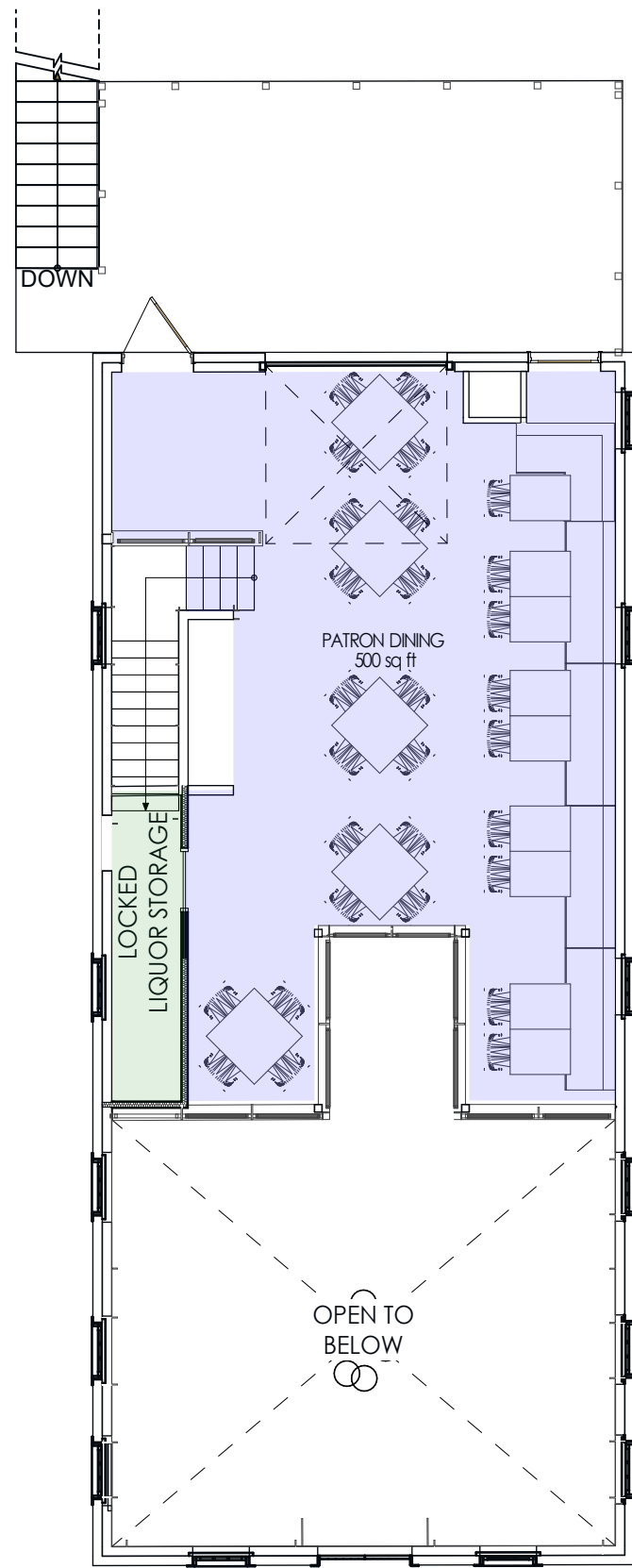


FREDERICKWILLIAMHOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
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P:203.557.0803



1 PROPOSED | FIRST FLOOR
SCALE: 1/8" = 1'-0"



2 PROPOSED | SECOND FLOOR
SCALE: 1/8" = 1'-0"

PATRON DINING AREA: 839 SQFT
PATRON BAR AREA: 215 SQFT

$215 \text{ SQFT} / 839 \text{ SQFT} = 25.6\% < 50\%$

§34-5:
Patron bar area of restaurants, private clubs, taverns & cafes – gross patron floor area including Patron bar area includes the barroom area, all areas designated as cocktail lounges and areas devoted mainly to alcohol consumption, except within the BCD and BCD/H. This provision shall only apply when the patron bar area exceeds 50% of the total patron area.

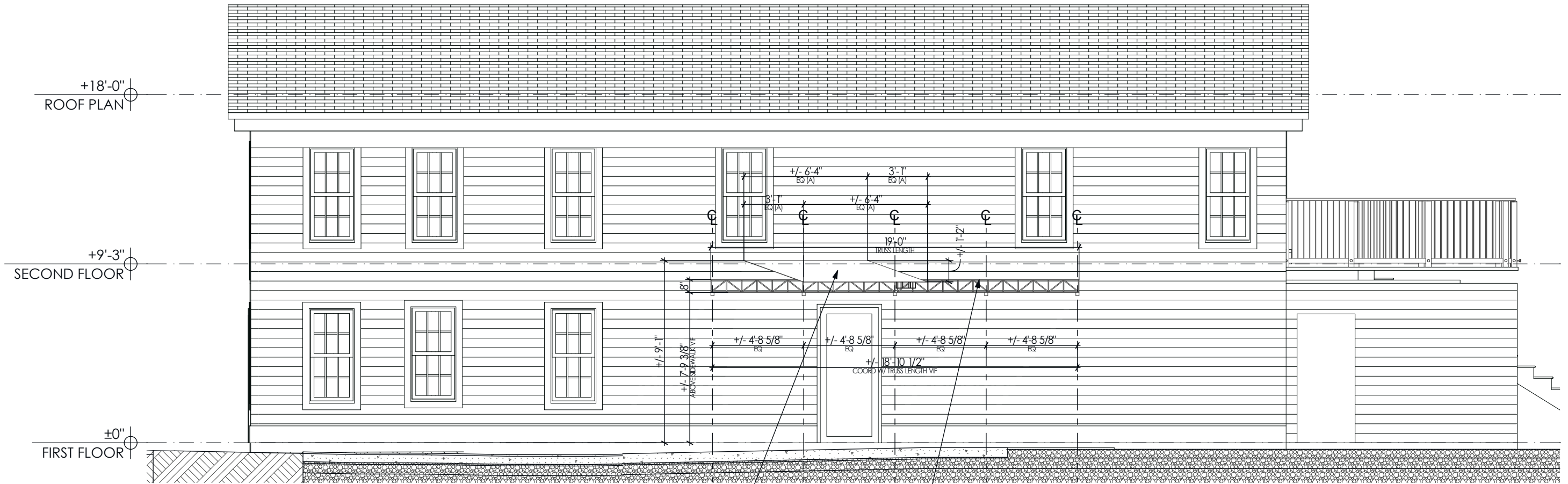
COVERAGE	EXISTING	PROPOSED	
LOT AREA	18,350 SQFT		
ALLOWABLE LOT AREA	15,030 SQFT		
EXISTING BUILDING COVERAGE	2,976 SQFT	NO CHANGE TO EXISTING	
COVERAGE %	20%	NO CHANGE	
PARKING	EXISTING	PROPOSED	PARKING RATIO
PATRON AREA	954 SQFT	1,054 SQFT	1/ 50
NON PATRON AREA	857 SQFT	757 SQFT	1/ 500
TOTAL AREA	1,811 SQFT	1,811 SQFT	
*OUTDOOR DINING AREA	340 SQFT	NA	1/ 50
**TOTAL BUILDING PARKING LOAD	27.59	22.59	
PARKING FOR OTHER USES ON LOT	4	NO CHANGE	
TOTAL PARKING LOAD	32	27	

*PER §34-5 NO PARKING REQUIRED FOR OUTDOOR DINING AREAS
**PROPOSED PARKING LOAD REDUCED BY 5

LEGEND

- NON PATRON
- PATRON DINING
- PATRON BAR



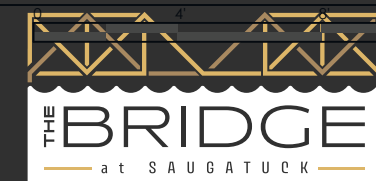


(N) HINGED CORTEN STL CANOPY W/ 3 1/4" IN 12" PITCH. CANOPY SHAPED AS PARALLELOGRAM AS SHOWN. CANOPY SUPPORTED BY (N) WARREN TRUSS & TIED INTO (E) EXT WALL W/ STL ANGLE @ U.S. CONCEALED BEYOND (E) EXT SIDING

The Bridge
Logo Concepts
Option 6
Date: 4.3.24
Designer: casey@blue262.com

(N) +/- 19'-0" STL WARREN TRUSS WELDED TO & SUPPORTED BY 2" HORIZ SQ STL TUBES ALL PAIRS TIED TO MATCH EXT TRIM COLOR (COORD W/ INT DESIGNER & OWNER). STL TUBE LENGTH = 4'-2". TRUSS +/- 3'-8" FROM F.O. EXT WALL. STL TUBES WELDED TO CONT STL PLATE, CONCEALED BY EXT SIDING. PLATE TIED INTO (N) BLOCKING @ (E) WALL FRAMING W/ EQ LAG SCREWS AS REQ

1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



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1 EXISTING ENTRY

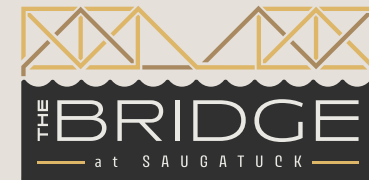


2 RIVERSIDE AVE FACADE AND ADJACENT BUILDING



3 EXISTING ENTRY ALTERNATE ANGLE

The Bridge
 Logo Concept
 262
 Option 6
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1 CANOPY VIEW 1
NOT TO SCALE



2 CANOPY VIEW 2
NOT TO SCALE



3 CANOPY VIEW 3
NOT TO SCALE

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Date: 4.3.24
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