



# FRONT ROYAL II

## TM VAVRA ASSOCIATES, P.C.

### GENERAL REQUIREMENTS:

CONTRACTOR IS RESPONSIBLE TO VERIFY PLAN, EXISTING DIMENSIONS AND CONDITIONS OF THIS PROPOSED DESIGN. DISCREPANCIES SHALL BE PROVIDED TO THE BUILDER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH THE 2018 IRC WITH VRC AMENDMENTS. ITEMS NOT ADDRESSED HEREIN ARE SUBJECT TO 2018 IRC AND VRC. IT IS ASSUMED THAT THE CONTRACTOR/BUILDER IS VERSED IN THE AFOREMENTIONED CODES AND THAT ALL CONSTRUCTION PRACTICES WILL BE EXECUTED IN A MANNER CONSISTENT WITH THESE STANDARDS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, MATERIALS AND METHODS, ENSURING THAT PROJECT COORDINATION IS IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

### STRUCTURAL SPECIFICATIONS:

THE CONDITIONS AND ASSUMPTIONS STATED IN THESE SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR CONFORMANCE TO ALL CODES AND CONDITIONS. IN THE EVENT OF ANY DISCREPANCY BETWEEN THESE SPECIFICATIONS AND CODES AND CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE BUILDER IN WRITING OF THE DISCREPANCY AND ALTERNATE PRESCRIPTIVE MEASURES OR ENGINEERED SOLUTIONS SHALL BE APPLIED TO ENSURE STRUCTURAL ADEQUACY.

WHERE A CONFLICT BETWEEN THESE DRAWINGS EXISTS WITH AFOREMENTIONED CODE OR DESIGN PRINCIPALS, THE MORE STRINGENT REQUIREMENT SHALL BE FOLLOWED.

DESIGN CRITERIA	
GROUND SNOW LOAD	25
EXPOSURE CATEGORY (WALL BRACING)	B
SEISMIC DESIGN CATEGORY	B
WEATHERING PROBABILITY	SEVERE
FROST DEPTH	JURISDICTIONAL
UNDERLAYMENT REQUIRED	YES

LIVE LOADING	
LIVING AREAS	40
SLEEPING AREAS	30
ATTICS WITH STORAGE	20
HABITABLE ATTICS	30
BALCONIES AND DECKS	40
PASSENGER VEHICLE GARAGES	50
STAIRS	40

SOILS SHALL PROVIDE AN ASSUMED 1500 LBS. ALLOWABLE BEARING. THE WATER TABLE (SEASONAL OR OTHERWISE) SHALL NOT EXTEND TO WITHIN 2' OF THE BOTTOM OF CONCRETE SLABS, FOOTINGS AND WALLS.

FOOTINGS MUST EXTEND TO FROST DEPTH DESIGNATED BY THE AUTHORITY HAVING JURISDICTION.

FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS.

BACKFILL FOR SLABS MUST BE IN ACCORDANCE WITH IRC R506.

CONCRETE COMPRESSIVE STRENGTH	
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE WALLS NOT EXPOSED TO WEATHER	2500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GROUND (NOT GARAGES)	2500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER	3500 PSI
PORCHES, CARPORT SLABS, STEPS EXPOSED TO WEATHER AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER.	3500 PSI

ALL STRUCTURAL WALL SHEATHING SHALL BE 1/2" O.S.B AND FASTENED IN ACCORDANCE WITH TABLE 602.10.4.

STRUCTURAL FLOOR SHEATHING SHALL BE MINIMUM 3/4" O.S.B TONGUE AND GROOVE OR BLOCKED AT ALL EDGES. FASTEN WITH 8D COMMON NAILS FASTENED 6" AT EDGES 12" AT INTERMEDIATE SUPPORT.

### WOOD:

ALL SOLID SAWN HEADERS, BEAMS AND GIRDERS SHALL BE MINIMUM SYP #2. APPLY WET FACTOR FOR WEATHER EXPOSED MEMBERS.

WOOD TRUSSES SHALL BE DESIGNED, INSTALLED AND MANUFACTURED IN ACCORDANCE WITH ANSI TR1.1. MANUFACTURER SHALL PROVIDE SEALED TRUSS DRAWINGS FOR REVIEW AND INSPECTION.

ALL WOODEN MEMBERS SHALL BE PROTECTED FROM DECAY AND TERMITES INFESTATION IN ACCORDANCE WITH R317 AND R318 OF THE IRC.

PROVIDE A CONTINUOUS DOUBLE TOP PLATE ACROSS ALL BEARING STUD WALLS.

MINIMUM COLUMN SUPPORT UNDER ANY BEAM OR HEADER UNLESS OTHERWISE NOTED IS A SINGLE 2X4 SFF #2. HEADERS MUST HAVE A MINIMUM OF 1 JACK STUD AND 1 KING STUD.

FOUNDATION ANCHORAGE SHALL BE IN ACCORDANCE WITH R403.1.6.

ALL POSTS SHOWN ON FLOOR OR FRAMING PLAN SHALL TERMINATE TO FOOTINGS AT GROUND OR TRANSFERRED TO A BEAM BELOW.

ALL STRUCTURAL COMPOSITE LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND MUST BE ACCOMPANIED BY BOTH A LAYOUT AND BEAM SHEETS PRODUCED BY THE DESIGNER.

BORING AND NOTCHING LIMITS SHALL EXCEED NEITHER MANUFACTURER'S SPECS FOR STRUCTURAL COMPOSITE NOR IRC LIMITS FOR SOLID SAWN LUMBER.

ALL WALLS TO BE ASSEMBLED IN ACCORDANCE WITH FLOOR PLAN AND FRAMING PLANS REFERENCED HERE.

### MASONRY:

MORTAR USED SHALL BE TYPE "S". ANY ADDITIVES SHALL BE PROPORTIONED IN ACCORDANCE WITH ASTM C-210.

BRICK VENEER SHALL BE ATTACHED TO FRAMING WITH MINIMUM 22 GAUGE GALVANIZED CORRUGATED STEEL TIES 1/8" WIDE 24" O.C VERTICALLY AND 32" O.C HORIZONTALLY.

KEEP HOLES SHALL BE WITHIN THE FIRST COURSE ABOVE GRADE AND WITHIN THE FIRST COURSE ABOVE STEEL LINTELS. KEEP HOLES SHALL BE NO LESS THAN 3/16" DIAMETER AND NO MORE THAN 53" O.C.

VENEER FLASHING SHALL BE IN ACCORDANCE WITH IRC R703.1.5

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER			
ANGLE SIZE	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE
3X3 3/4	6'	4'-6"	3'
4X3 3/4	8'	6'	4'-6"
5X3 3/4 X 3/8	10'	8'	6'
6X3 3/4 X 3/8	14'	9'-6"	7'
2-6X3 3/4 X 3/8	20'	12'	9'-6"

ALL MASONRY FOUNDATION CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH TMS 402, ACI 530, ASCE 5, NCMA TR68-A. THE IRC PRESCRIPTIVE CODE MAY BE USED AS AN ALTERNATIVE.

### ENERGY, THERMAL & MOISTURE

WHERE REQUIRED, WALLS SHALL BE DAMPROOFED/ WATERPROOFED IN ACCORDANCE WITH IRC R405 & R406.

A 6 MIL. POLYETHYLENE VAPOR RETARDER SHALL BE PLACED BENEATH ALL INTERIOR SLABS.

THE EARTH ENCLOSED BY CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER IN ACCORDANCE WITH IRC R408.

FLASHING SHALL BE INSTALLED ON ALL EXTERIOR WALLS TO ENSURE AGAINST WATER INFILTRATION. ALL AREAS SPECIFIED IN IRC R703.8 SHALL BE ADDRESSED AS SPECIFIED.

AN APPROVED WATER RESISTIVE BARRIER SHALL BE APPLIED TO ALL EXTERIOR SHEATHING. EITHER TYPE 1 #15 ROOF FELT OR OTHER LISTED AND APPROVED HOUSEWRAP WILL SATISFY THIS REQUIREMENT. INSTALLATION, LAPS, JOINTS AND SEAMS SHALL BE INSTALLED IN ACCORDANCE WITH IRC R703.2 OR MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE BUILDING THERMAL ENVELOPE IN THESE DRAWINGS ARE ASSUMED TO BE CLIMATE ZONE 5. THE THERMAL ENVELOPE SHALL BE SEALED IN ACCORDANCE WITH IRC I102.4.1.1. INSULATION R-VALUES (WHEN INSTALLED PRESCRIPTIVELY) SHALL BE INSTALLED IN ACCORDANCE WITH THE TABLE BELOW. WHEN PRESCRIPTIVE INSTALLATION IS NOT PRACTICAL, A RESCHECK MAY ACCOMPANY THESE PLANS AS AN ALTERNATIVE FOR THE BUILDING OFFICIAL'S APPROVAL.

INSULATION AND FENESTRATION REQUIREMENTS	
CLIMATE ZONE	5 EXCEPT MARINE
FENESTRATION U-FACTOR	0.32
SKYLIGHT U-FACTOR	0.55
GLAZED FENESTRATION SHGC	NR
CEILING R-VALUE	44
WOOD FRAME WALL R-VALUE	20
MASS WALL R-VALUE	13 / 17
FLOOR R-VALUE	30
BASEMENT WALL R-VALUE	10 CONTINUOUS OR 13 CAVITY
SLAB R-VALUE AND DEPTH	10, 4 FT
CRAWL SPACE WALL R-VALUE	15-19

### SAFETY:

ALL HANDRAILS AND GUARDRAILS ARE TO BE INSTALLED IN ACCORDANCE WITH R311 AND R312.

SMOKE ALARMS SHALL BE LOCATED AND INSTALLED ACCORDING TO IRC R314.

CARBON MONOXIDE ALARMS, WHEN REQUIRED, SHALL BE LOCATED AND INSTALLED IN ACCORDANCE WITH IRC R315.

GLAZING IN HAZARDOUS LOCATIONS, AS SPECIFIED IN IRC R308, SHALL BE ASSEMBLED AND IDENTIFIED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION AND THE STANDARD WITH WHICH IT COMPLIES. ALTERNATIVE CERTIFICATION MAY BE CONSIDERED BY THE BUILDING OFFICIAL.

DWELLING/ GARAGE FIRE SEPARATION	
FROM RESIDENCE AND ATTICS	1/2" GYP APPLIED TO GARAGE SIDE
FROM ALL HABITABLE ROOMS ABOVE GARAGE	3/8" TYPE X GYP BOARD
STRUCTURES SUPPORTING FLOOR/ CEILING ASSEMBLIES USED FOR SEPARATION	1/2" GYP BOARD
GARAGES LOCATED LESS THAN 3 FEET FROM DWELLING UNIT ON THE SAME LOT	1/2" GYP BOARD APPLIED TO INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

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### AREA CALCULATIONS

**LICENSE**

THIS HOME PLAN IS LICENSED TO BE USED ONE TIME ONLY FOR THE FOLLOWING PROJECT:

HAVAS RESIDENCE  
9 LAKEVIEW ROAD  
WESTPORT, CONNECTICUT 06880

THESE PLANS ARE NOT LICENSED FOR USE ON ANY OTHER PROJECT OR LOCATION.

**TM VAVRA  
+ ASSOCIATES, P.C.**

REVISIONS BY	
1	FINAL
2	FOR CH
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10	FOR CH
11	FOR CH
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HAVAS RESIDENCE WESTPORT, CT  
FRONT ROYAL II PLAN # 33509A  
COVER SHEET

**TM VAVRA  
+ ASSOCIATES, P.C.**  
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CHESTERFIELD, VA. 23832  
tom@tmvavra.com

SHEET NO.

CS

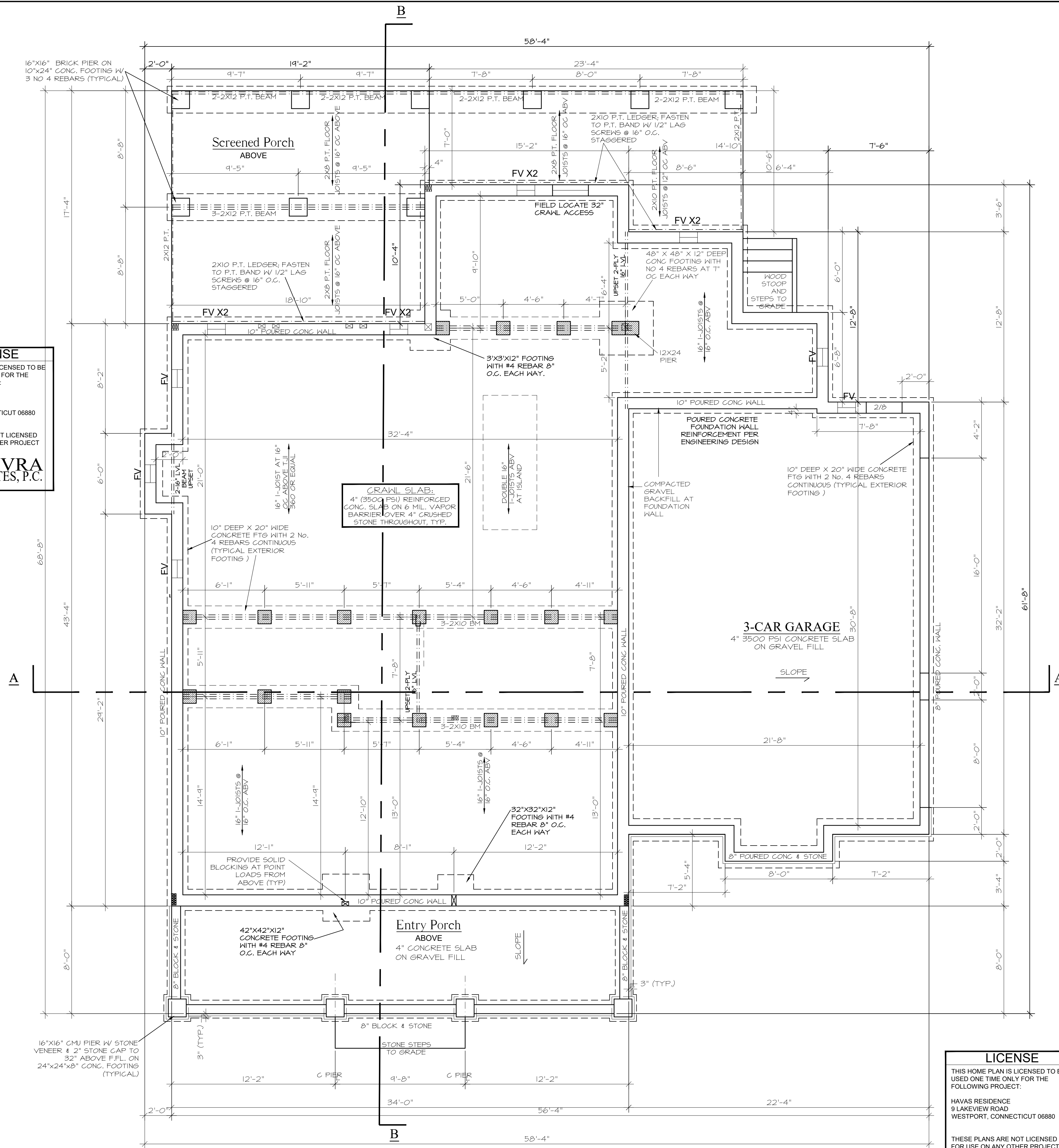
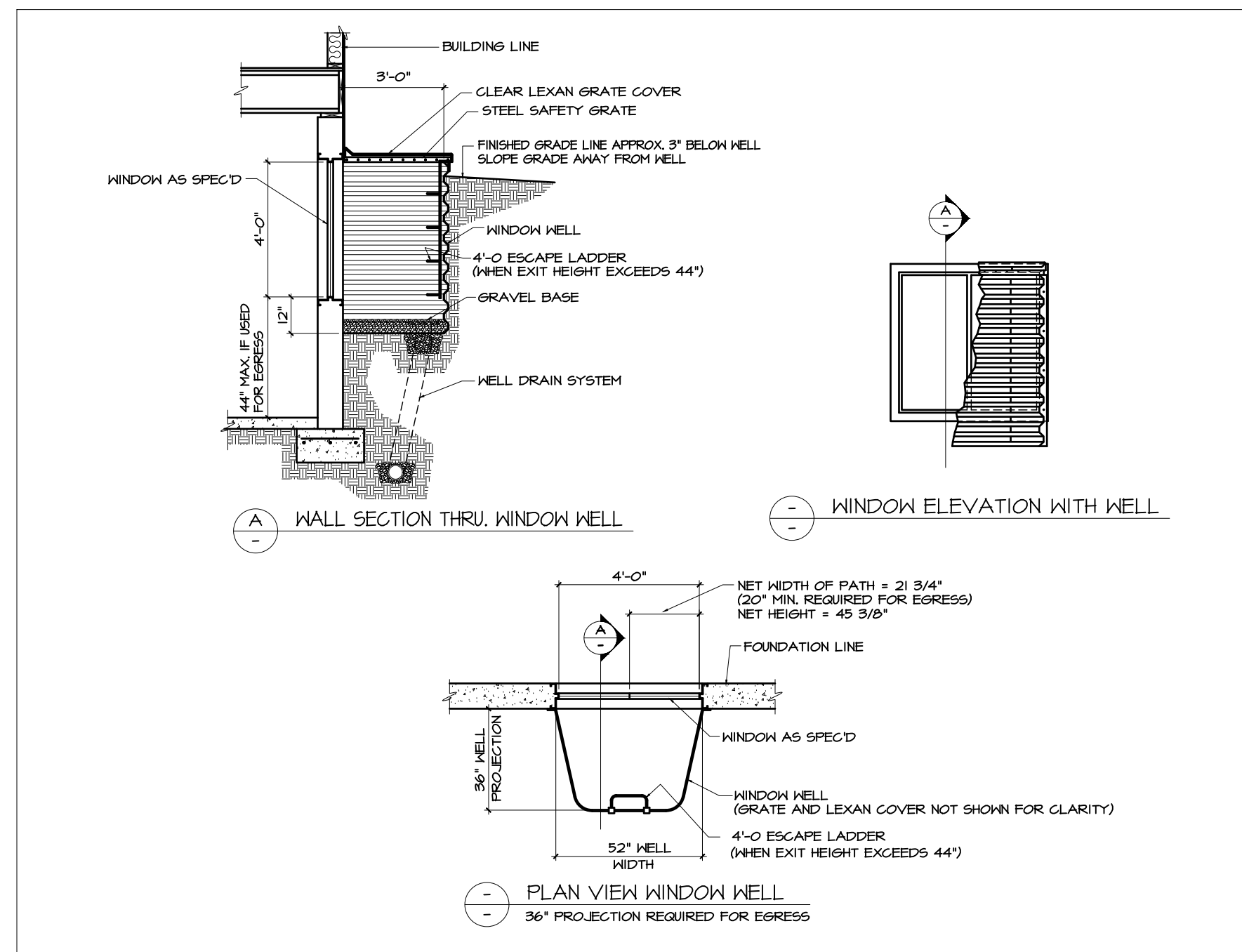
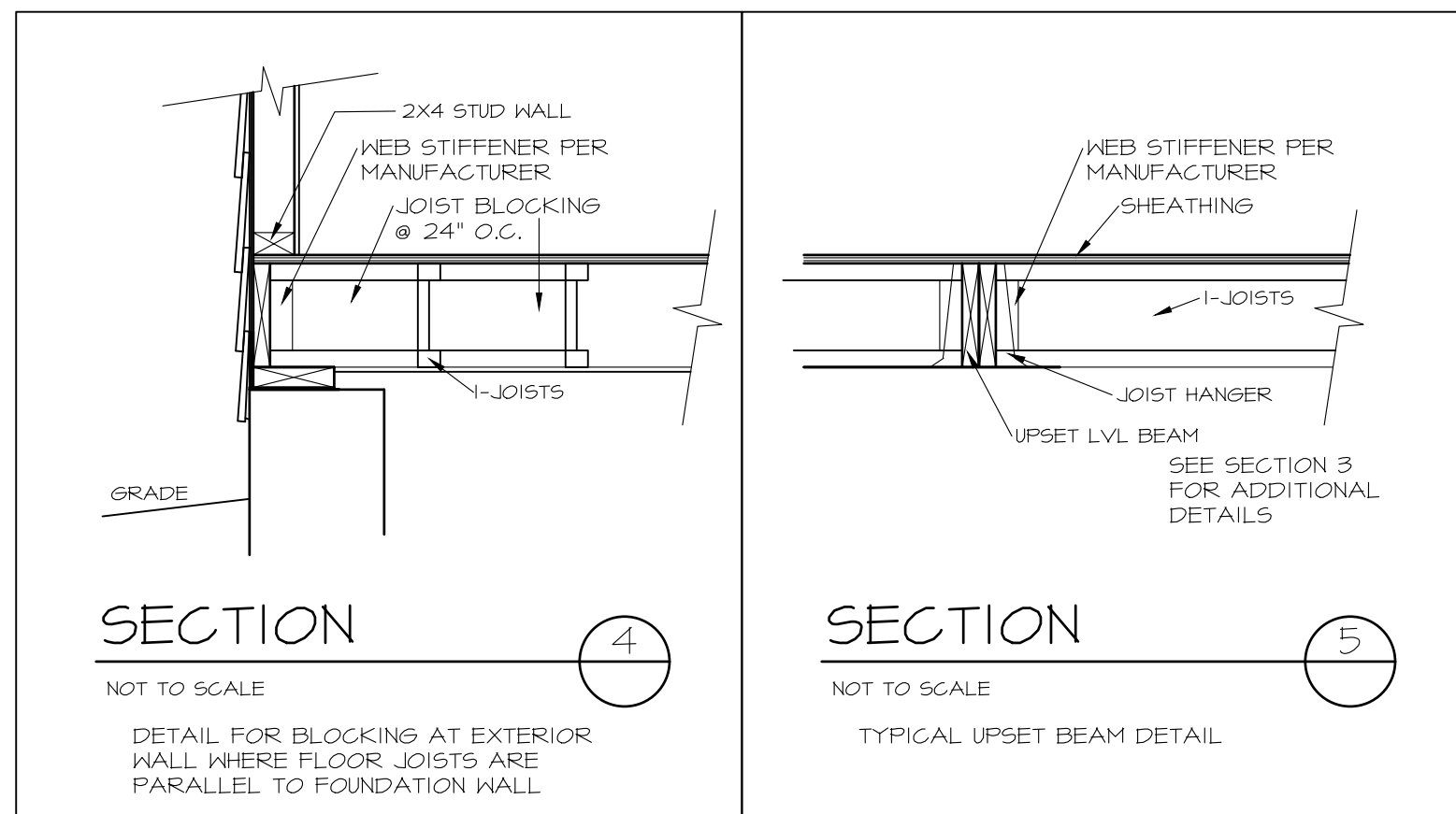
FOUNDATION VENT AREA:  
 AREA OF FOUNDATION (INCLUDING GARAGE): 2526 SF  
 200 SQ INCHES PER VENT  
 1 SQ INCH VENT PER 1 SF ENCLOSED AREA  
 REQUIRES 2526 / 200 = 12.63 VENTS  
 13 VENTS PROVIDED

FV = FLOOD VENT

**LICENSE**  
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 9 LAKEVIEW ROAD  
 WESTPORT, CONNECTICUT 06880

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**BASEMENT / FOUNDATION PLAN**

NOTE: VERIFY FOOTING SIZE AND FOUNDATION REINFORCEMENT WITH SOILS ANALYSIS, UNBALANCED FILL DEPTH, AND HEIGHT OF CONCRETE PER CODES.

SCALE: 1/4" = 1'-0"

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REVISIONS BY	DATE
1. FINAL	10-16-23
2. FORCH	1-4-24
3. Vesp	1-10-24

DRAWN BY: JOE F.  
 DATE: 9-16-16  
 FILE NO: 33509A

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**FRONT ROYAL II PLAN # 33509A**  
**BASEMENT / FOUNDATION PLAN**

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 tom@tmvavra.com

AREA CALCULATIONS

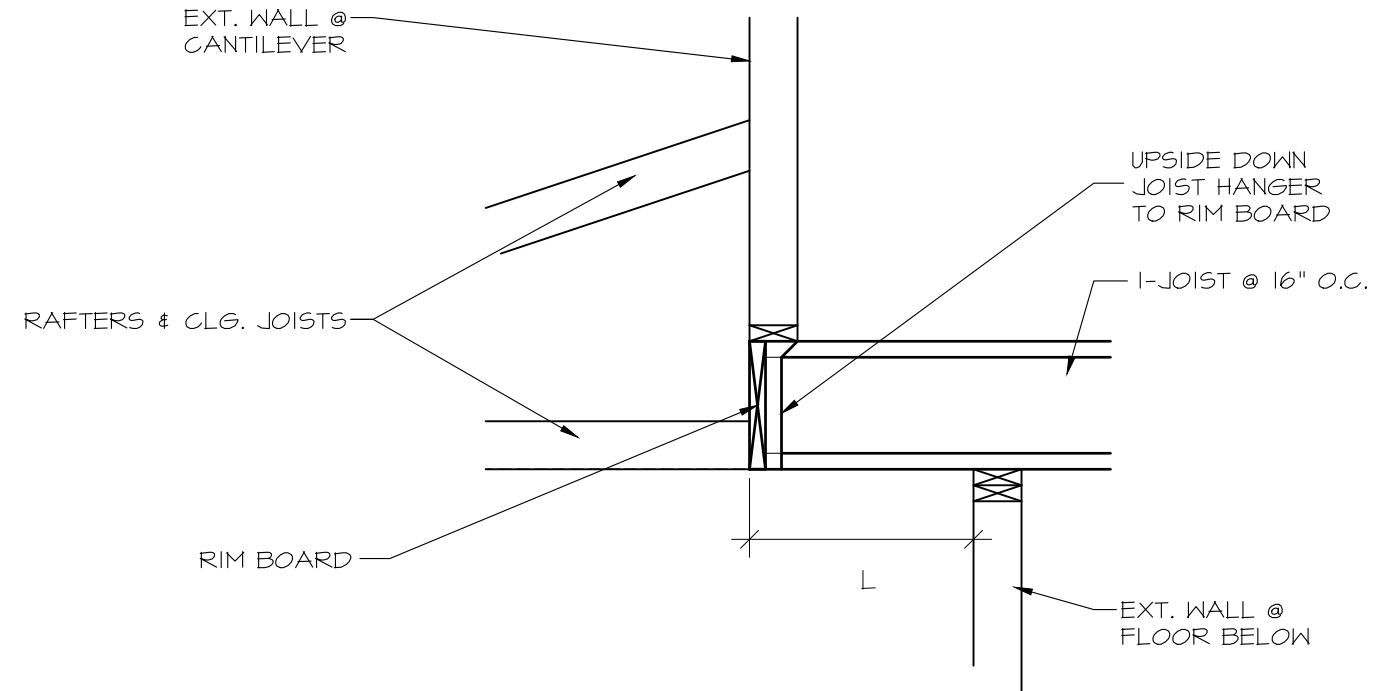
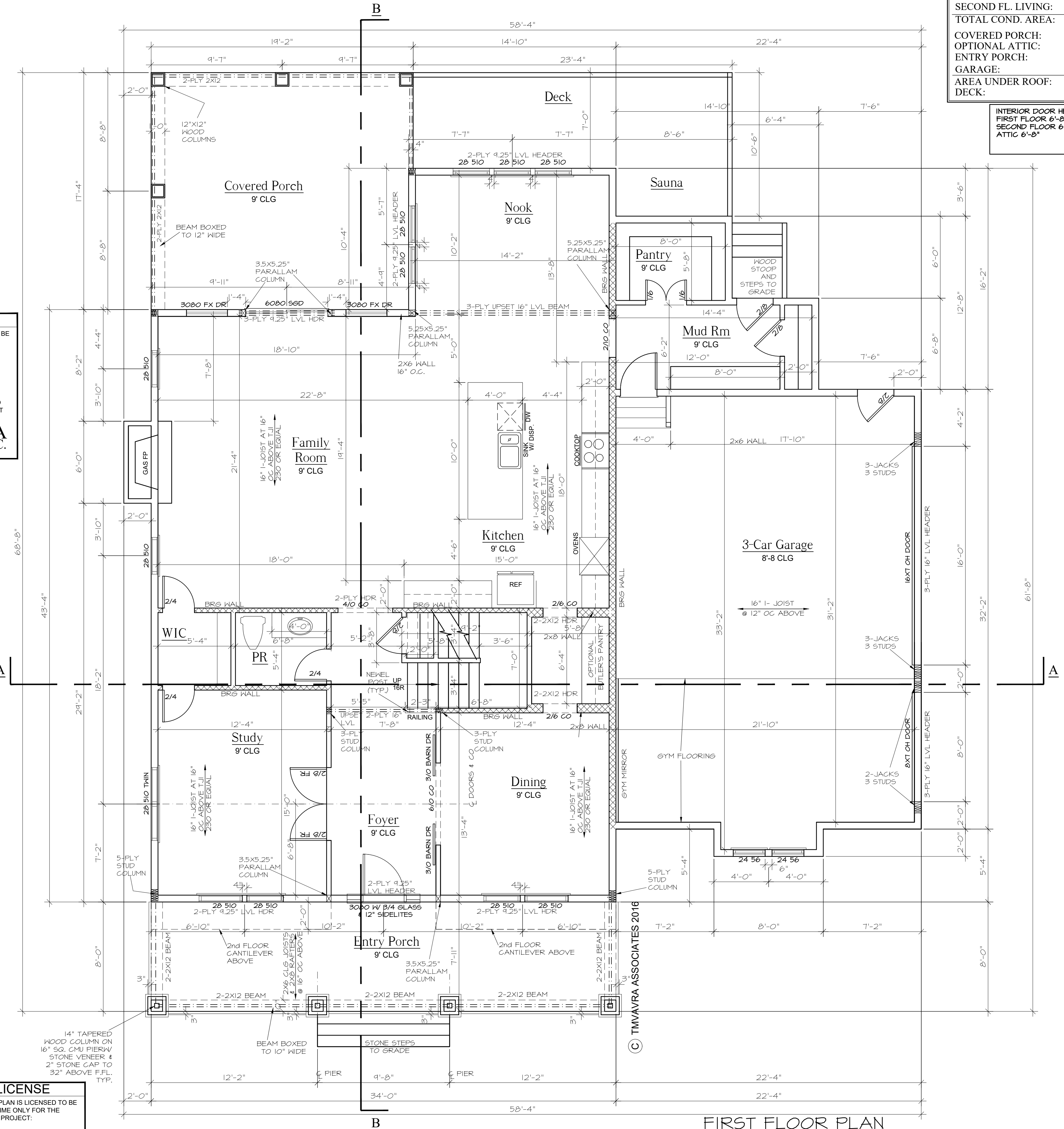
FIRST FL. LIVING:	1787 SF
SECOND FL. LIVING:	2014 SF
TOTAL COND. AREA:	3801 SF
COVERED PORCH:	329 SF
OPTIONAL ATTIC:	506 SF
ENTRY PORCH:	268 SF
GARAGE:	723 SF
AREA UNDER ROOF:	5627 SF
DECK:	193 SF

INTERIOR DOOR HEIGHTS:  
FIRST FLOOR 6'-8"  
SECOND FLOOR 6'-8"  
ATTIC 6'-8"

REVISIONS	BY
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DRAWN BY: JOE F.  
DATE: 3-16-16  
FILE NO: 33509A

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FRAMING DETAIL: CANTILEVERED FLOOR  
SCALE: 3/4" = 1'-0"

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FIRST FLOOR PLAN

- NOTES:
1. ALL HEADERS 2-2x8 ON 2x4 WALL, 3-2x8 ON 2x6 WALLS UNLESS OTHERWISE NOTED
  2. ALL EXTERIOR WALLS 2x6 AT 16" O.C. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED.
  3. ALL STRUCTURAL WOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SOUTHERN YELLOW PINE #2 UNLESS OTHERWISE NOTED
  4. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.
  5. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION.
  6. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.

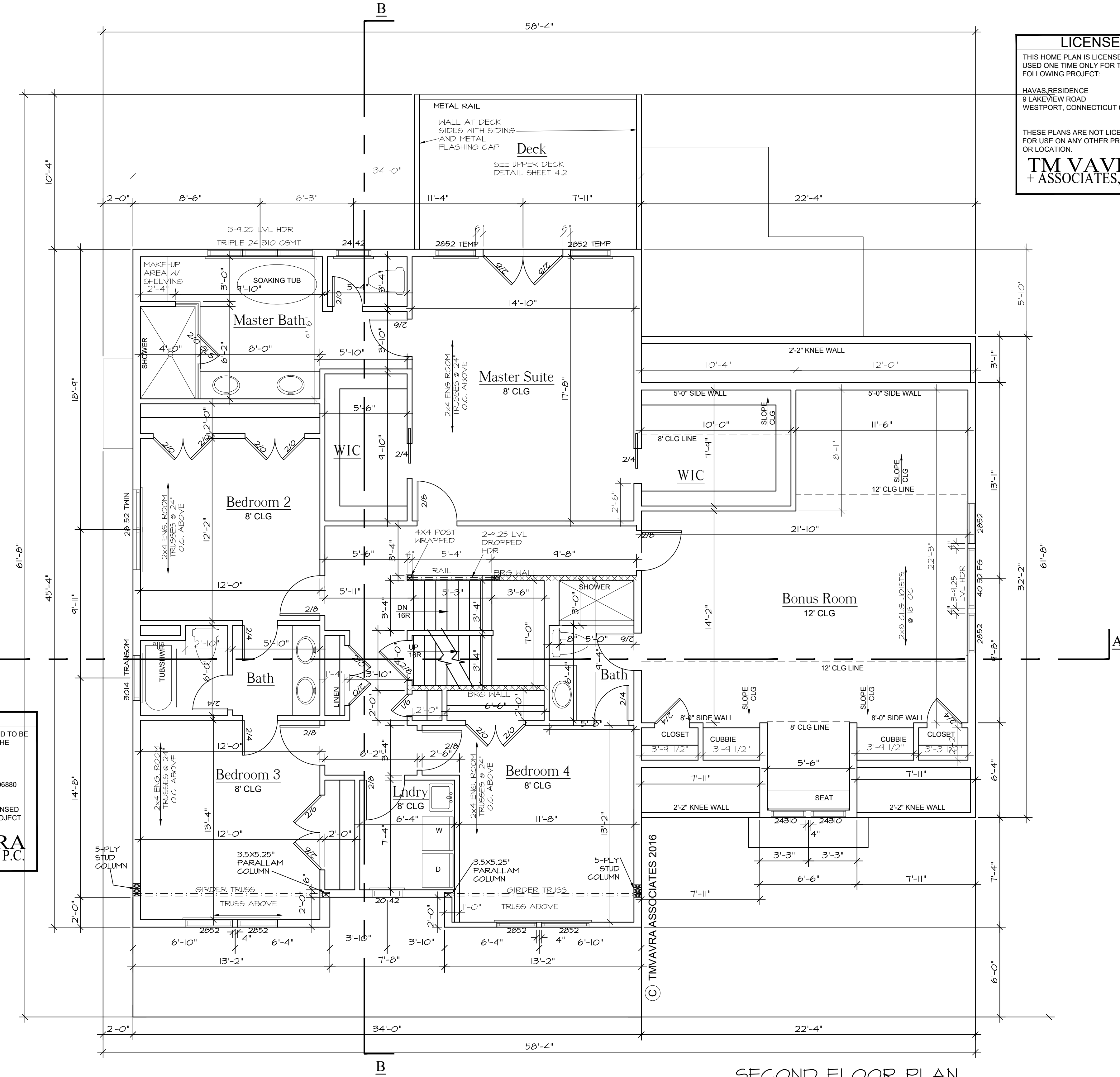
SCALE: 1/4" = 1'-0"

HAVAS RESIDENCE WESTPORT, CT  
FRONT ROYAL II PLAN # 33509A  
FIRST FLOOR PLAN

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SHEET NO.  
**2.1**

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**SECOND FLOOR PLAN**

- NOTES:
1. ALL HEADERS 2-2x8 ON 2x4 WALL, 3-2x8 ON 2x6 WALLS UNLESS OTHERWISE NOTED
  2. ALL EXTERIOR WALLS 2x6 AT 16" O.C. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED.
  3. ALL STRUCTURAL HOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SOUTHERN YELLOW PINE #2 UNLESS OTHERWISE NOTED
  4. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.
  5. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.

SCALE: 1/4" = 1'-0"

REVISIONS BY	
1	FINAL TV 10-16-23
2	FORCH TV 1-4-24
3	VOEF JG TV 1-10-24

DRAWN BY: JOE F.  
 DATE: 3-16-16  
 FILE NO: 33509A

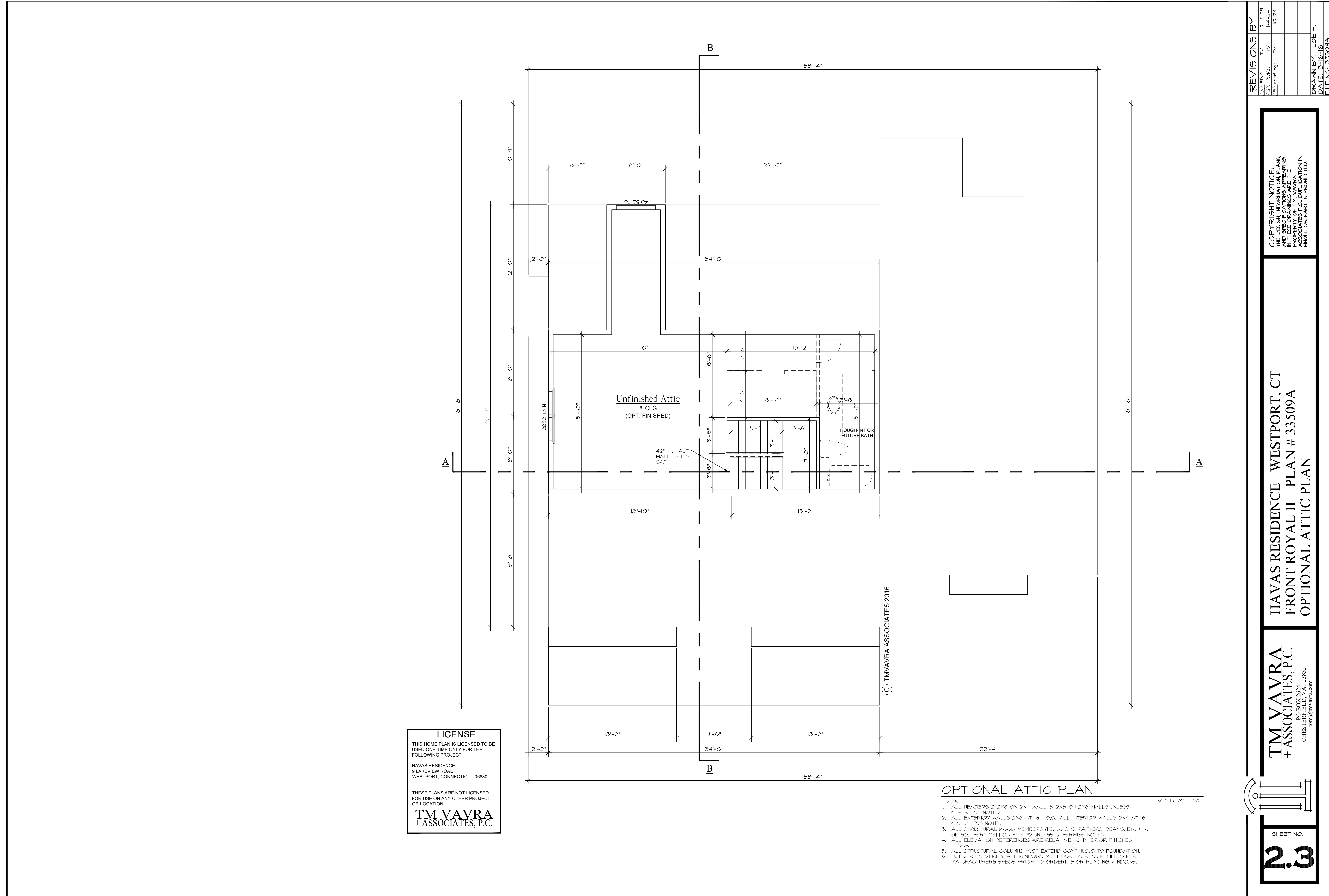
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**FRONT ROYAL II PLAN # 33509A**  
**SECOND FLOOR PLAN**

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SHEET NO.  
**2.2**





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 + ASSOCIATES, P.C.

**OPTIONAL ATTIC PLAN**

- NOTES:  
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 2. ALL EXTERIOR WALLS 2X6 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16" O.C., UNLESS NOTED.  
 3. ALL STRUCTURAL HOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SOUTHERN YELLOW PINE #2 UNLESS OTHERWISE NOTED  
 4. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.  
 5. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.  
 6.

SCALE: 1/4" = 1'-0"

**REVISIONS BY**

1	FINAL	TV	10-16-23
2	FORCH	TV	1-4-24
3	VEEP	TV	1-10-24

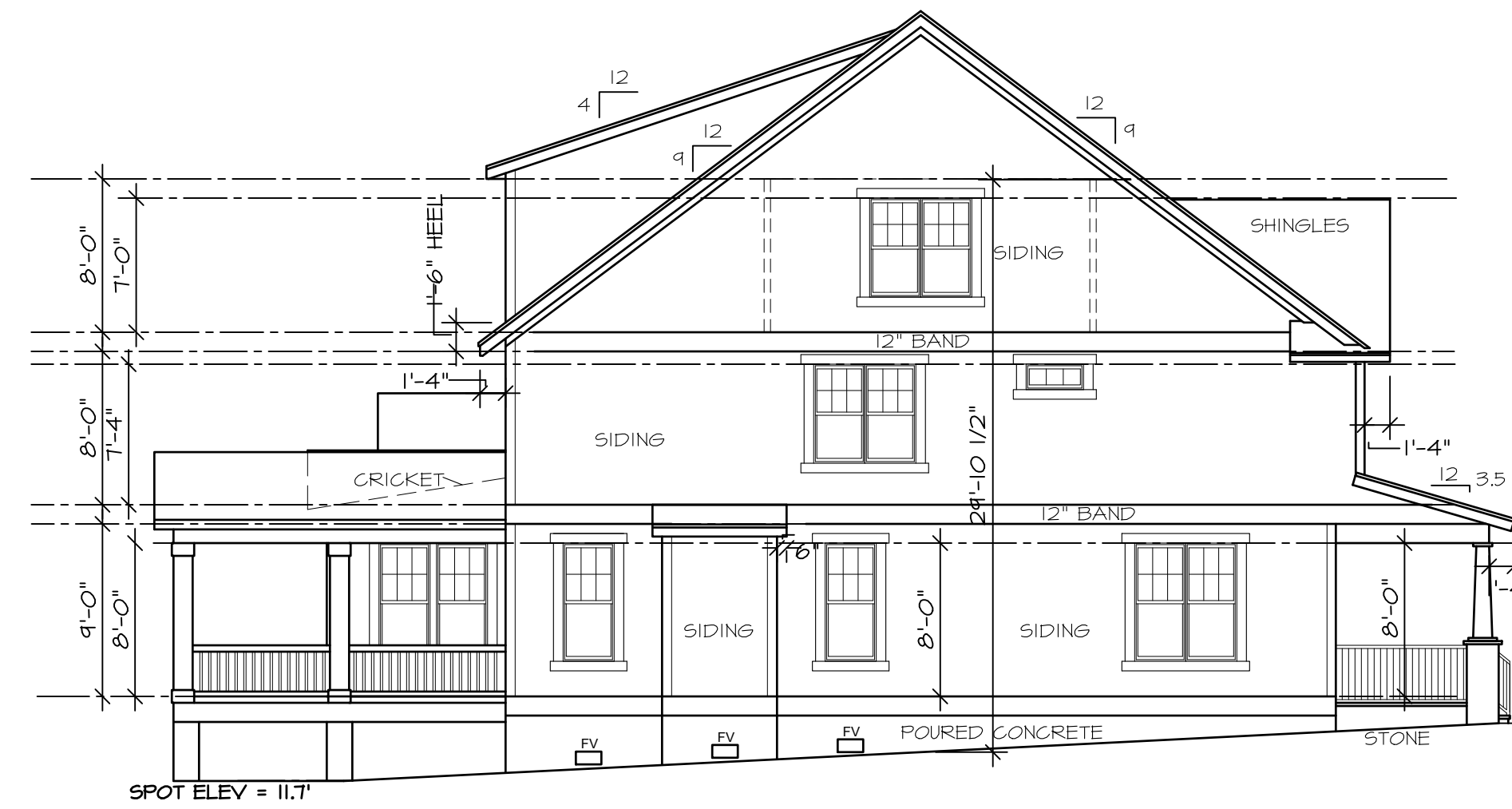
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 FRONT ROYAL II PLAN # 33509A  
 OPTIONAL ATTIC PLAN

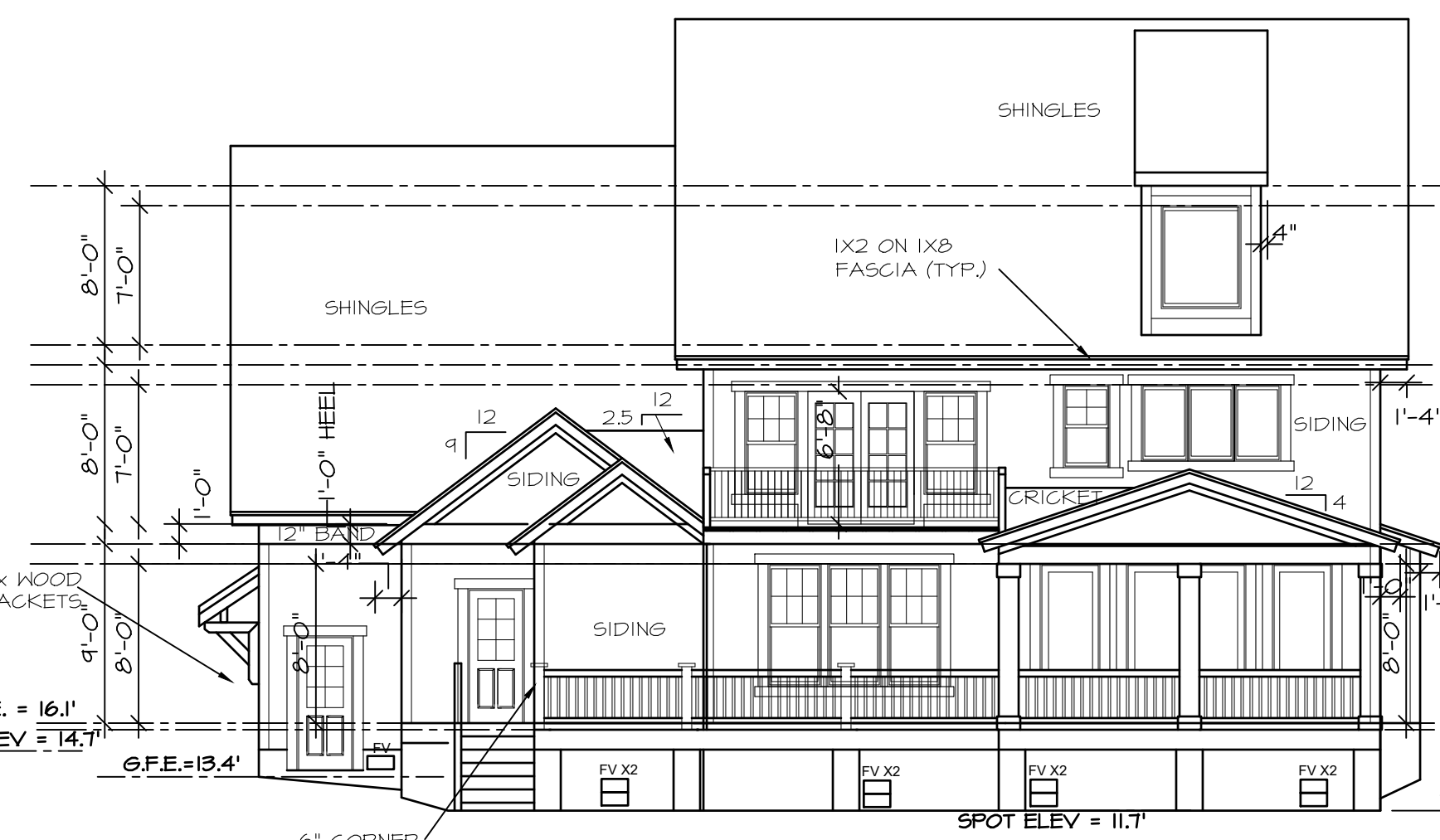
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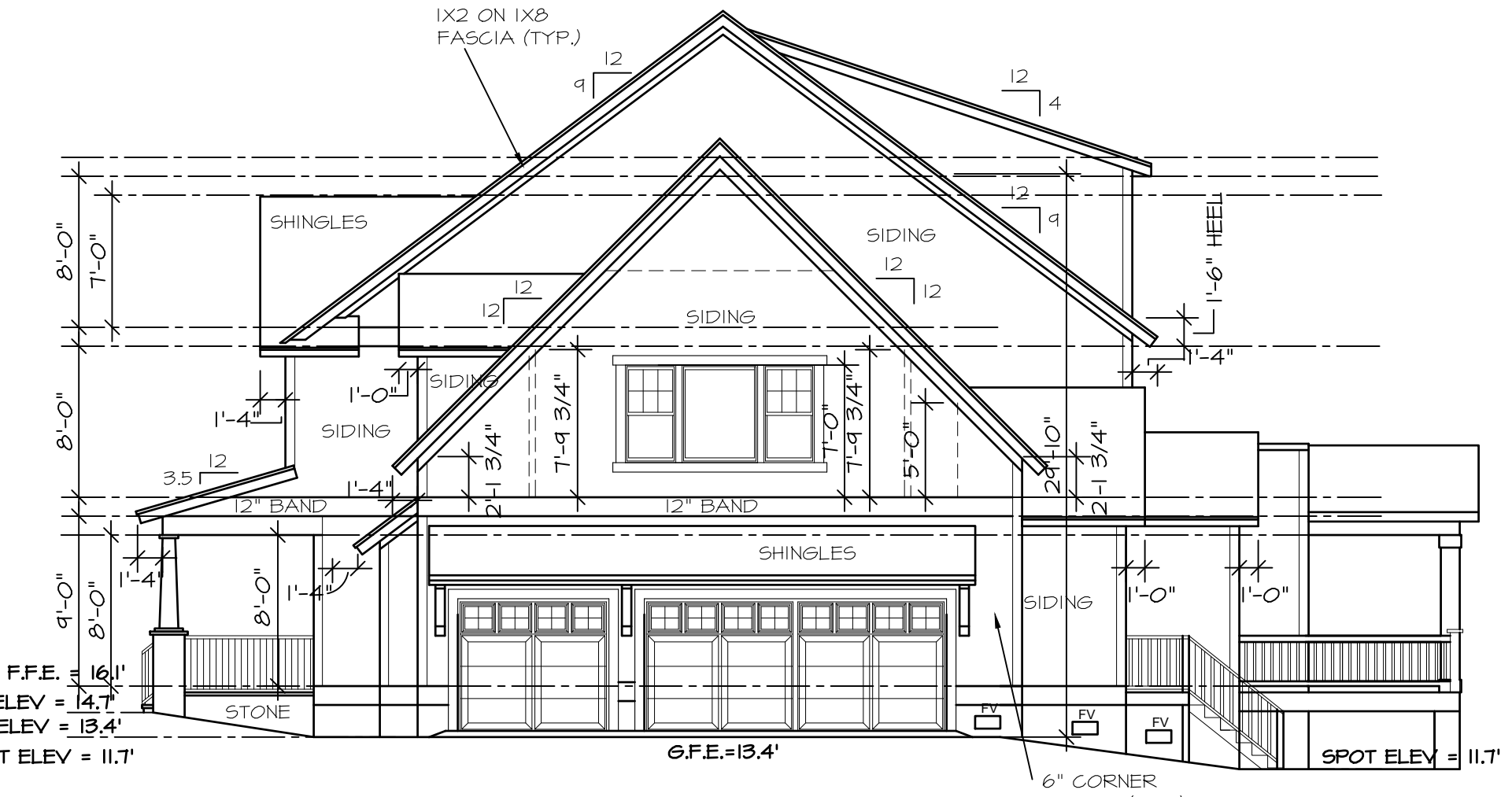
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



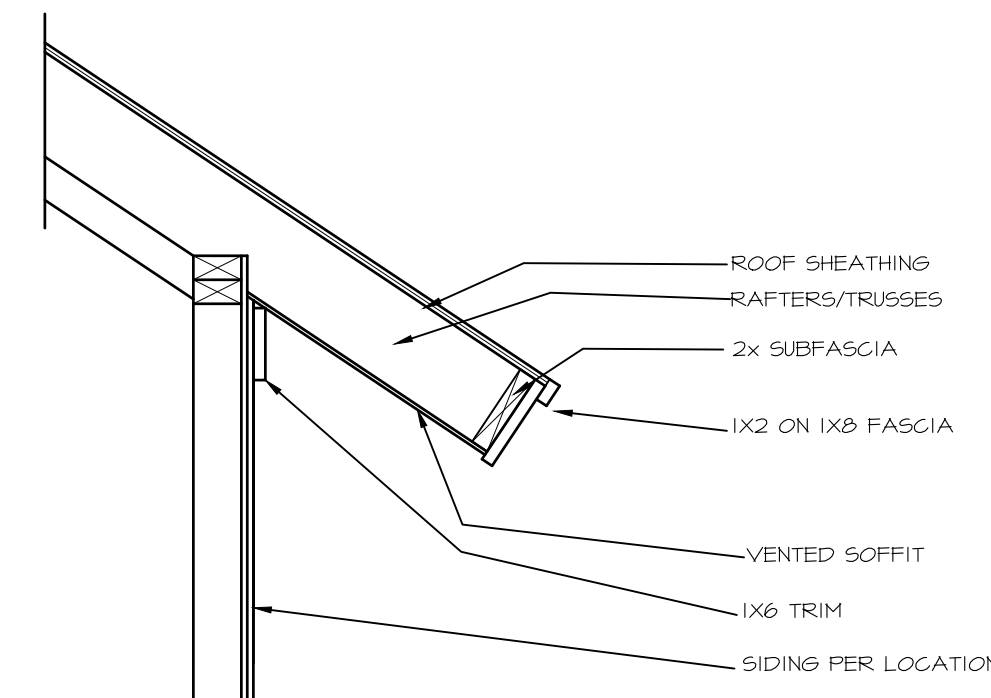
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

FOUNDATION VENT AREA:  
 AREA OF FOUNDATION (INCLUDING GARAGE): 2526 SF  
 200 SQ INCHES PER VENT  
 1 SQ INCH VENT PER 1 SF ENCLOSED AREA  
 REQUIRES 2526 / 200 = 12.63 VENTS  
 13 VENTS PROVIDED

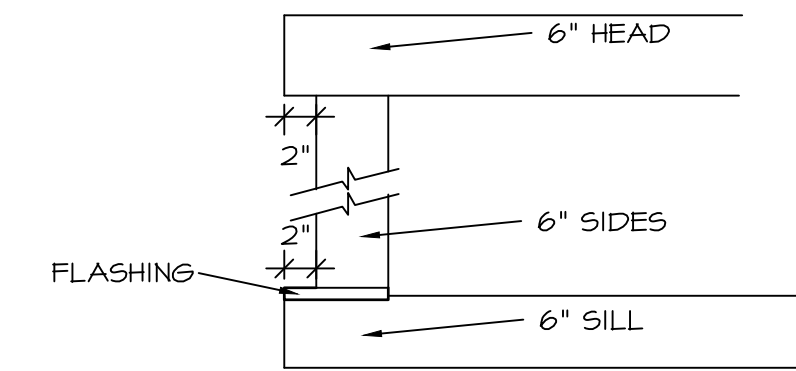
FV = FLOOD VENT

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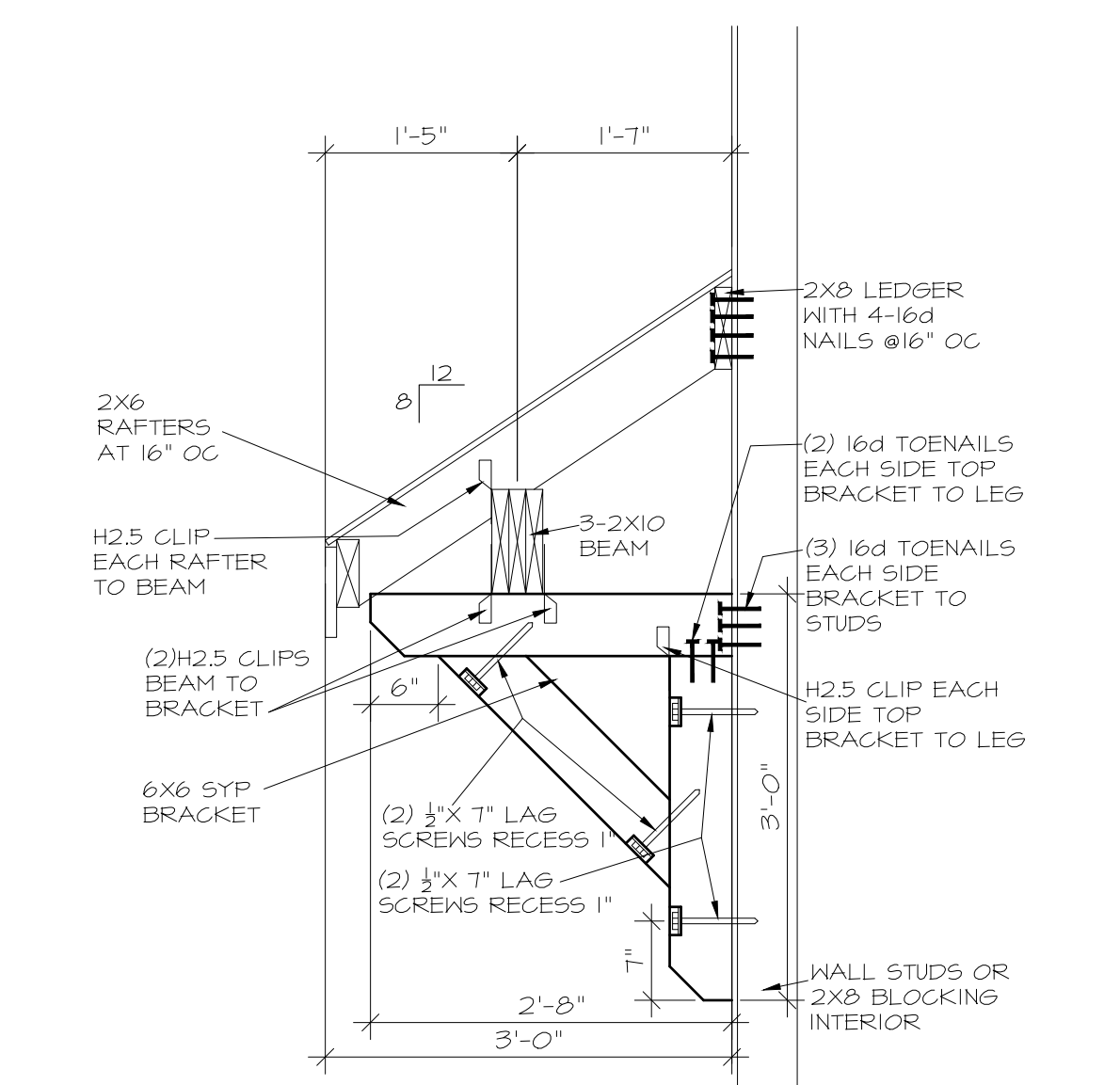


CORNICE DETAIL

SCALE: 3/4" = 1'-0"



TRIM DETAIL WINDOW AND DOOR



FRAMING DETAIL: GARAGE AWNING

SCALE: 3/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NO.	DATE	BY	REVISIONS
1	10-16-23	TV	FINAL
2	10-16-23	TV	FOR SUBMITTAL
3	10-24	TV	REVISED

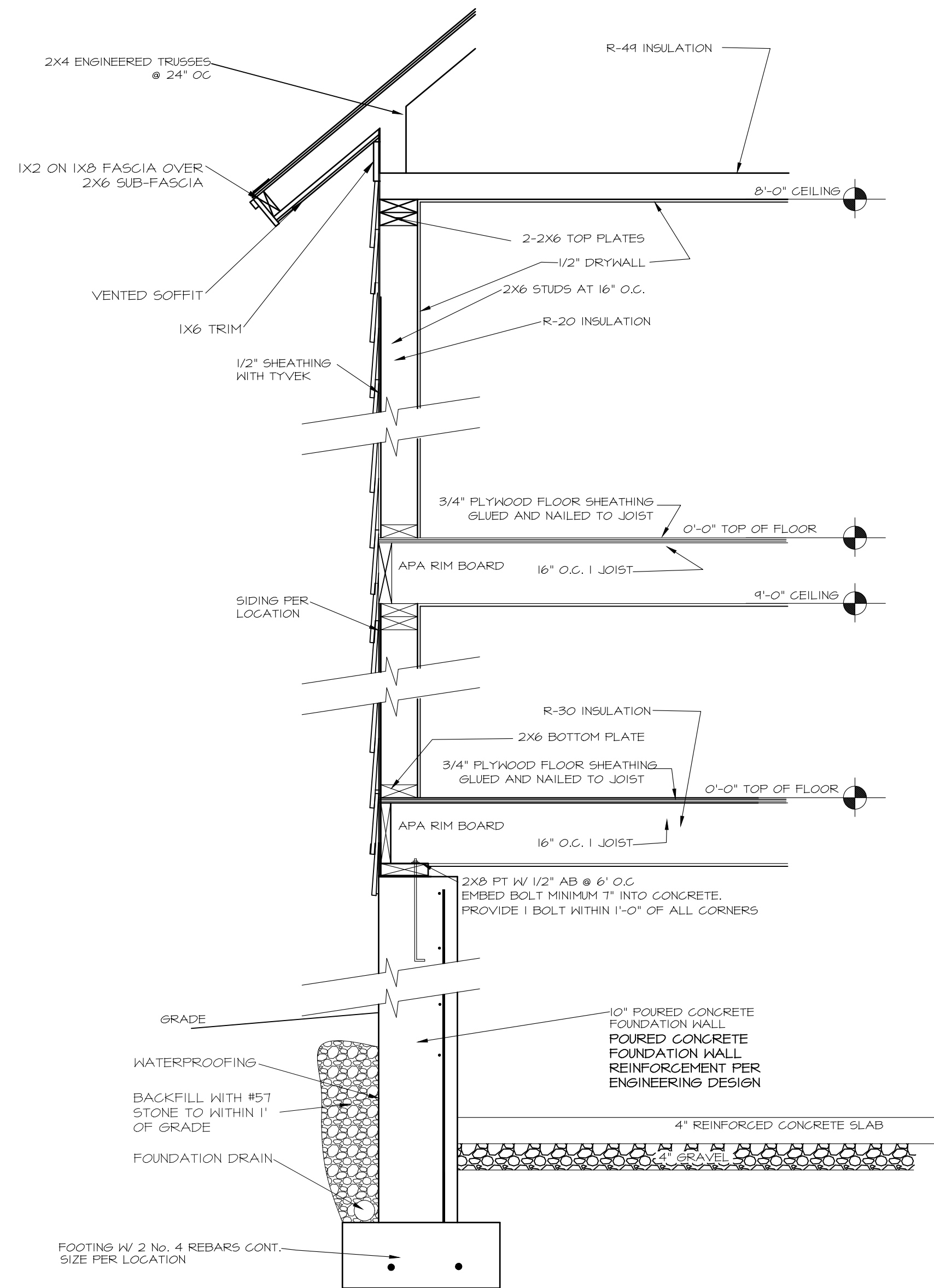
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HAVAS RESIDENCE WESTPORT, CT  
 FRONT ROYAL II PLAN # 33509A  
 ELEVATIONS

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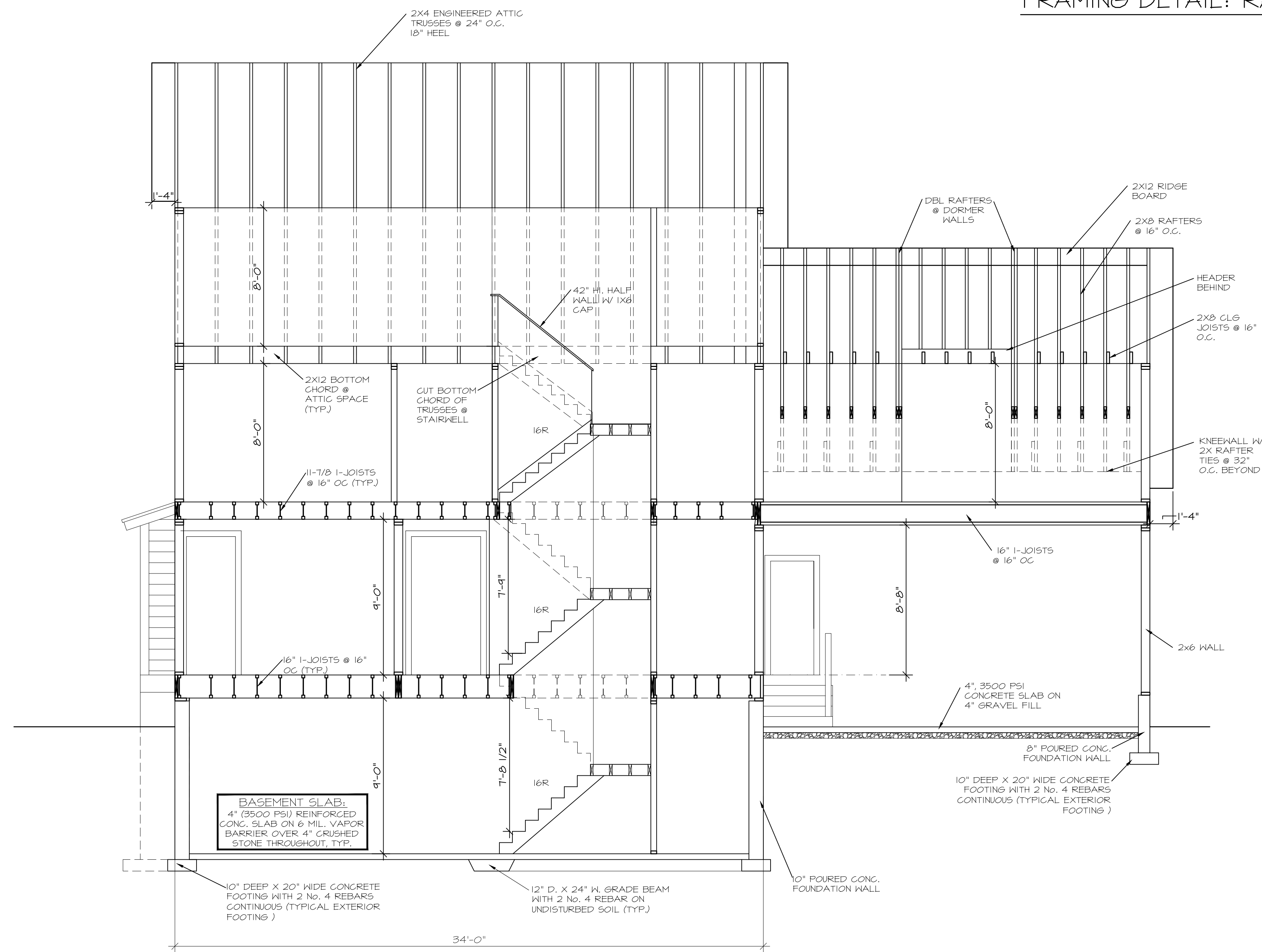
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 DATE: 9-16-16  
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TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"

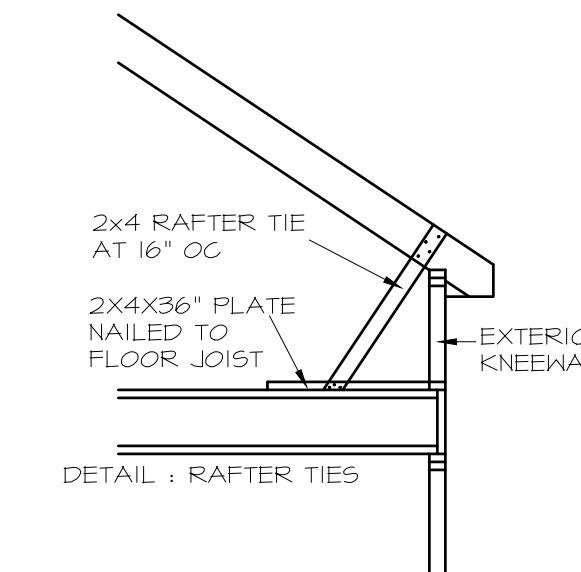


BUILDING SECTION

A-A

SCALE: 1/4" = 1'-0"

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FRAMING DETAIL: RAFTER TIES

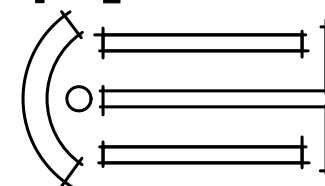
REVISIONS	BY	DATE
1	FINAL	10-16-23
2	FORCH	11-4-24
3	Yocp	11-10-24

DRAWN BY: JOE F.  
 DATE: 9-16-16  
 FILE NO: 33509A

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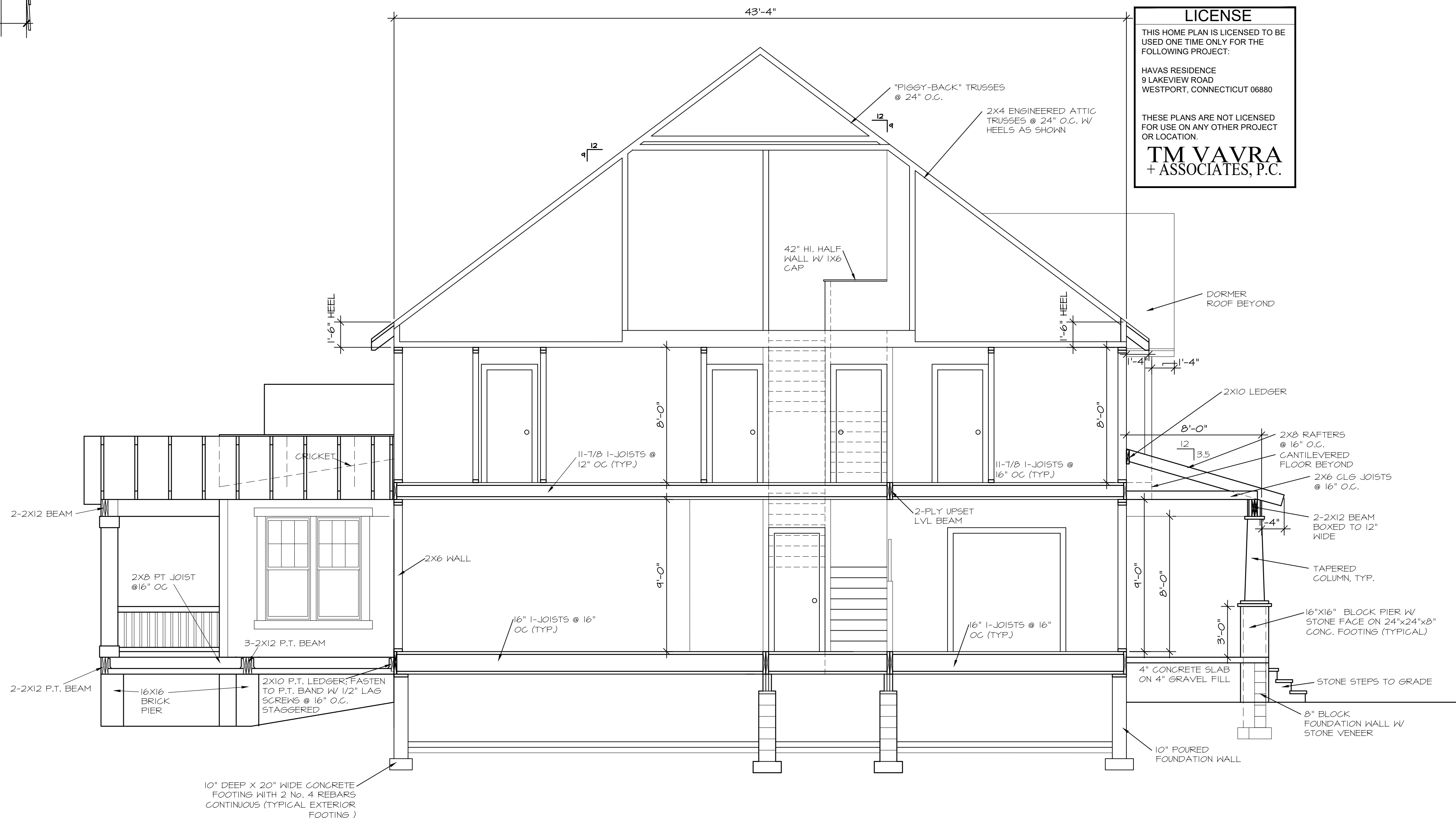
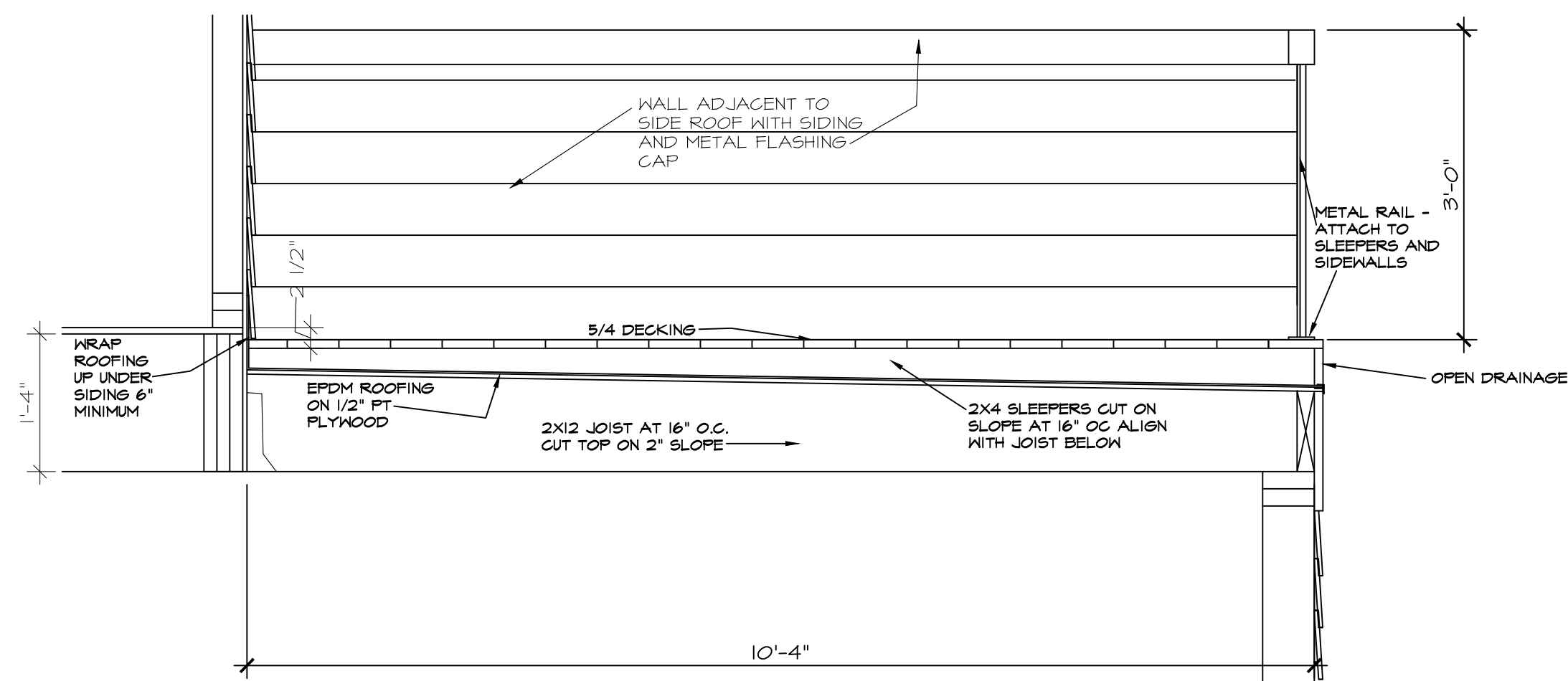
HAVAS RESIDENCE WESTPORT, CT  
 FRONT ROYAL II PLAN # 33509A  
 SECTIONS

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SHEET NO.

**4.1**



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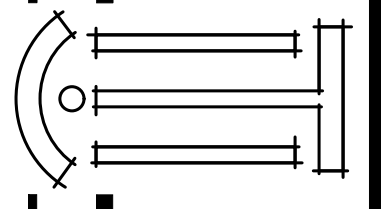
NO.	DATE	BY	REVISIONS
1	10-16-23	TV	FINAL
2	1-4-24	TV	FOR CH
3	1-10-24	TV	REVISE

DRAWN BY: JOE F.  
DATE: 3-16-16  
FILE NO: 33509A

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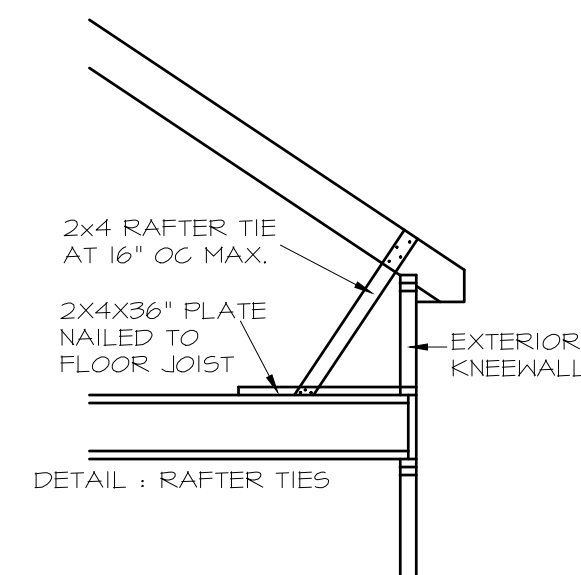
HAVAS RESIDENCE WESTPORT, CT  
FRONT ROYAL II PLAN # 33509A  
SECTIONS

**TM VAVRA + ASSOCIATES, P.C.**  
PO BOX 2624  
CHESTERFIELD, VA 23832  
tom@tmvavra.com

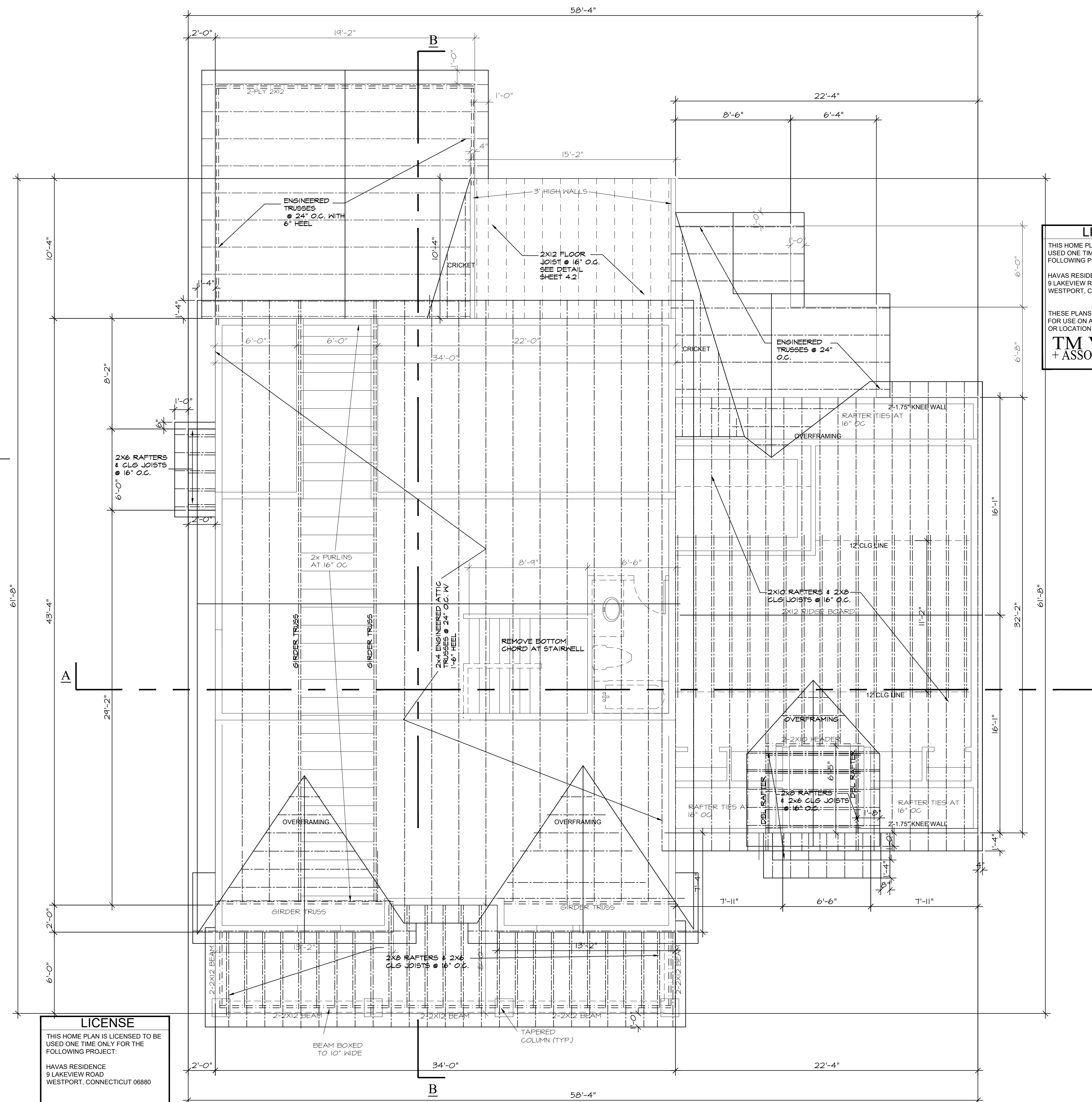


SHEET NO.  
**4.2**





FRAMING DETAIL: RAFTER TIES



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ROOF FRAMING/CEILING JOIST PLAN

NOTES ON ROOF FRAMING:
1. SEE ELEVATION DRAWINGS FOR PITCH LOCATIONS.
2. ALL RAFTERS 2x12 SYP OR BETTER AT 16" O.C. UNLESS NOTED.
3. ALL LVL BEAMS ARE 1.9E MICROLAM LVL

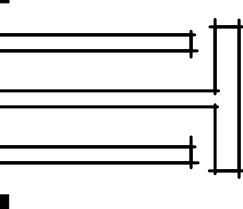
TYPICAL OVER FRAMING:
1. 2x6/8 RAFTERS AT 16" O.C. PER LOCATION
2. 2x12 RIDGE BOARD
3. 2-2x6 RAFTER PLATES

Table with columns: REVISIONS BY, DATE, and description of revisions.

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HAVAS RESIDENCE WESTPORT, CT
FRONT ROYAL II PLAN # 33509A
ROOF FRAMING PLAN/CEILING JOIST LAYOUT

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PO BOX 2624
CHESTERFIELD, VA. 23832
tom@tmvavra.com



SYM	DESCRIPTION
⊕	SINGLE POLE SWITCH
⊕3	THREE WAY SWITCH
⊕4	FOUR WAY SWITCH
⊕D	DIMMER SWITCH
⊕R	REOSTAT SWITCH (SPEED CONTROL)
⊕S	DOOR SWITCH
⊕S	SURFACE MTD. LIGHT FIXTURE
⊕	CEILING FAN
⊕	RECESSED LIGHT FIXTURE
⊕	EXHAUST FAN FIXTURE
⊕	FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE 110V
⊕	DUPLEX CEILING OUTLET 110V
⊕	DUPLEX FLOOR OUTLET 110V
⊕	SWITCH WIRED DUPLEX RECEPT.
⊕	220V RECEPTACLE
⊕	FLOOD LIGHT WATER PROOF
⊕	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
⊕	ELECTRIC METER
⊕	PHONE OUTLET
⊕T.V.	CABLE T.V. OUTLET
⊕	DOOR CHIME
⊕	UNDER CABINET LIGHTING
⊕	PLUGMOLD 110V
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	EXHAUST FAN/LIGHT FIXTURE
⊕	WP ELEG. DISCONNECT
⊕	GARAGE DOOR OPENER
⊕	DUPLEX RECEPTACLE, GROUND FAULT INDICATOR
⊕	SMOKE DETECTOR

## GENERAL ELECTRICAL NOTES

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD ELECTRICAL CODE
- 2) PROVIDE ELEG./BATTERY BACK-UP SMOKE DETECTORS, LOCATE AS DIRECTED BY LOCAL ELECTRICAL CODE & NATIONAL ELECTRICAL CODE.
- 3) ELECTRICAL CONTRACTOR TO CONFORM TO LOCAL PHONE SERVICE PROVIDER REQUIREMENTS FOR TELEPHONE EQUIPMENT INSTALLATION.
- 4) ALL OPENINGS REQUIRED BY ELECTRICAL CONTRACTOR TO BE CLOSED TO MATCH FINISH AND FIRE RATED BY ELECTRICAL CONTRACTOR.
- 5) ALL OUTLET BOXES FOR RECEPTACLES, TV ANTENNAS, OR TELEPHONE JACKS IN RATED WALLS MUST BE METAL OR U.L. RATED FOR USE IN ONE HOUR CONSTRUCTION.
- 6) ALL BATHROOM AND KITCHEN OUTLETS TO BE G.F.I. TYPE.
- 7) ELECTRICAL CONTRACTOR TO VERIFY ALL HVAC UNIT CONNECTIONS WITH HVAC CONTRACTOR PRIOR TO INSTALLATION.
- 8) ALL METERS, METER CENTERS AND DISCONNECTS TO BE APPROVED BY LOCAL POWER COMPANY.
- 9) CO-ORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS PRIOR TO FABRICATION, INSTALLATION AND ERECTION.
- 10) PROVIDE ELECTRICITY TO ALL EQUIPMENT, FIXTURES, ETC. NOT SPECIFICALLY NOTED OR SHOWN.
- 11) INSTALLATION HEIGHTS ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED:  
 WALL HUNG TELEPHONE 56" A.F.F.  
 TELEPHONE JACKS 18" A.F.F.  
 LIGHT SWITCHES 48" A.F.F.  
 RECEPTACLES 18" A.F.F.  
 TELEVISION JACKS 18" A.F.F.

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 WESTPORT, CONNECTICUT 06880

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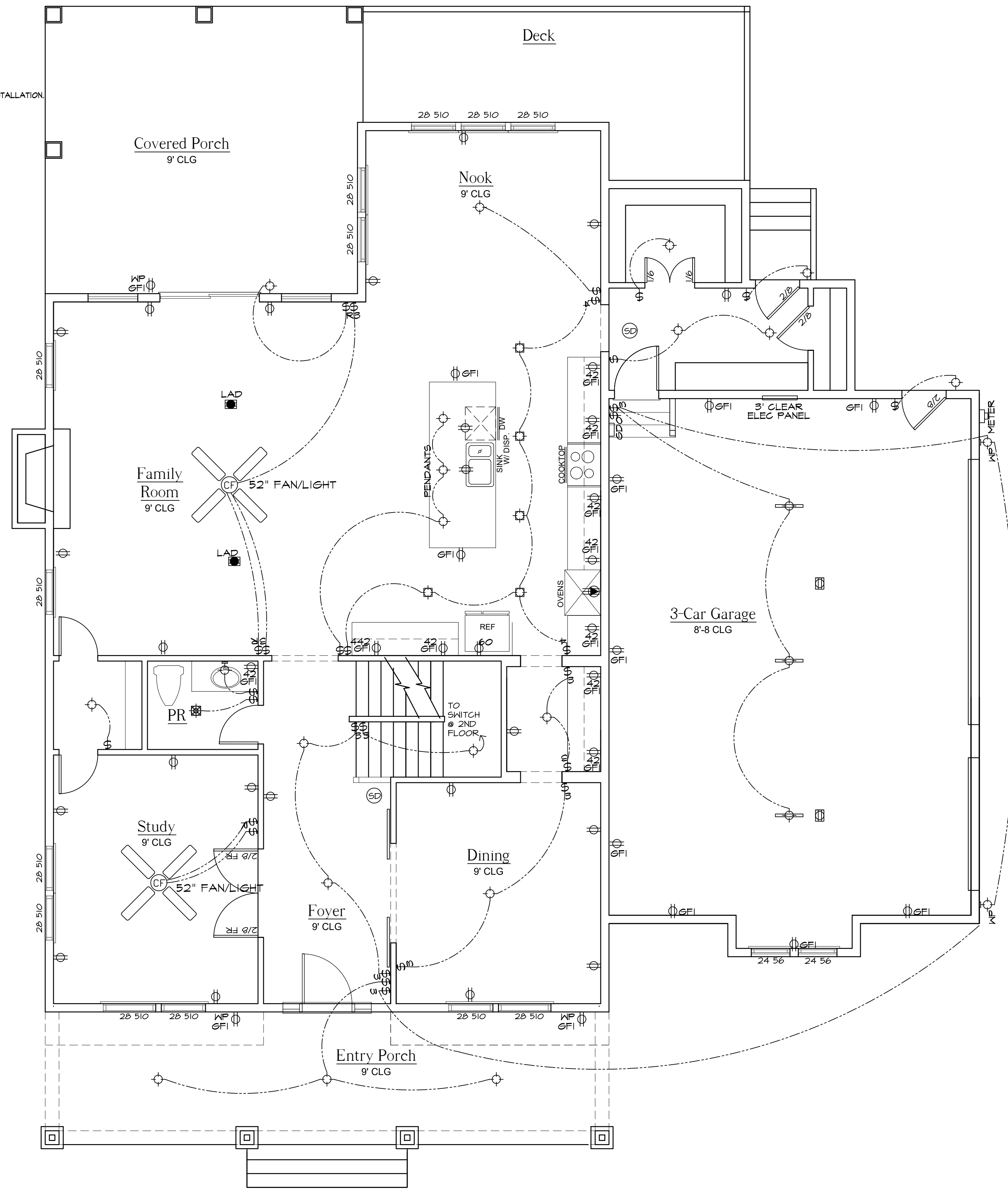
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FIRST FLOOR ELECTRICAL PLAN  
 SCALE: 1/4" = 1'-0"

REVISIONS BY	DATE
FINAL	10-16-23
FORCH	1-4-24

DRAWN BY: JOE F.  
 DATE: 9-16-16  
 FILE NO: 33509A

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 FRONT ROYAL II PLAN # 33509A  
 FIRST FLOOR ELECTRICAL PLAN**

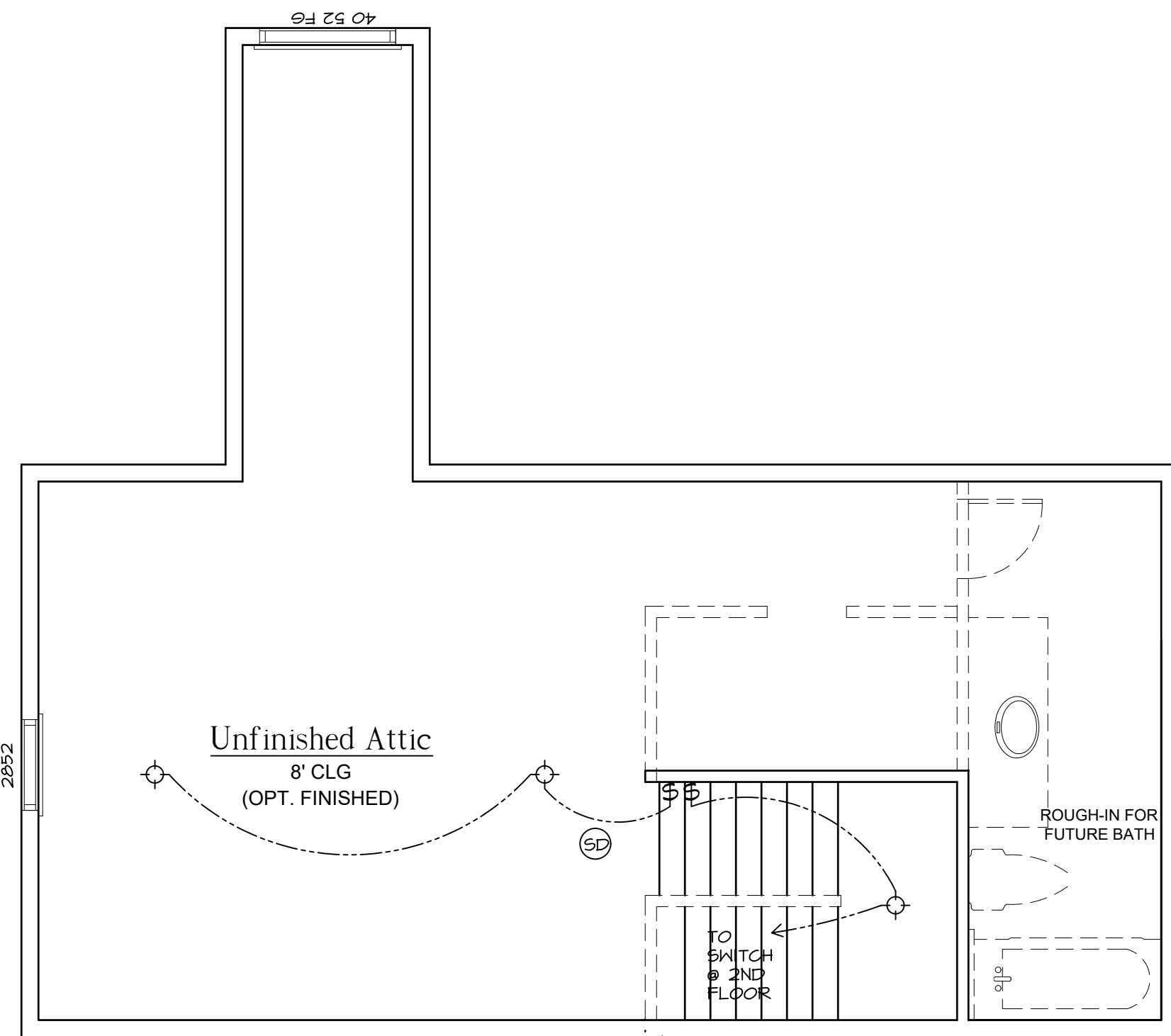
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 tom@tmvavra.com

ELECTRICAL LEGEND	
SYM	DESCRIPTION
⊕	SINGLE POLE SWITCH
⊕3	THREE WAY SWITCH
⊕4	FOUR WAY SWITCH
⊕D	DIMMER SWITCH
⊕R	REOSTAT SWITCH (SPEED CONTROL)
⊕DS	DOOR SWITCH
⊕	SURFACE MTD. LIGHT FIXTURE
⊕	CEILING FAN
⊕	RECESSED LIGHT FIXTURE
⊕	EXHAUST FAN FIXTURE
⊕	FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE 110V
⊕	DUPLEX CEILING OUTLET 110V
⊕	DUPLEX FLOOR OUTLET 110V
⊕	SWITCH WIRED DUPLEX RECEPT.
⊕	220V RECEPTACLE
⊕	FLOOD LIGHT WATER PROOF
⊕	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
⊕	ELECTRIC METER
⊕	PHONE OUTLET
⊕T.V.	CABLE T.V. OUTLET
⊕	DOOR CHIME
⊕	UNDER CABINET LIGHTING
⊕	PLUGMOLD 110V
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	EXHAUST FAN/LIGHT FIXTURE
⊕	WP ELEG. DISCONNECT
⊕	GARAGE DOOR OPENER
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⊕	SMOKE DETECTOR

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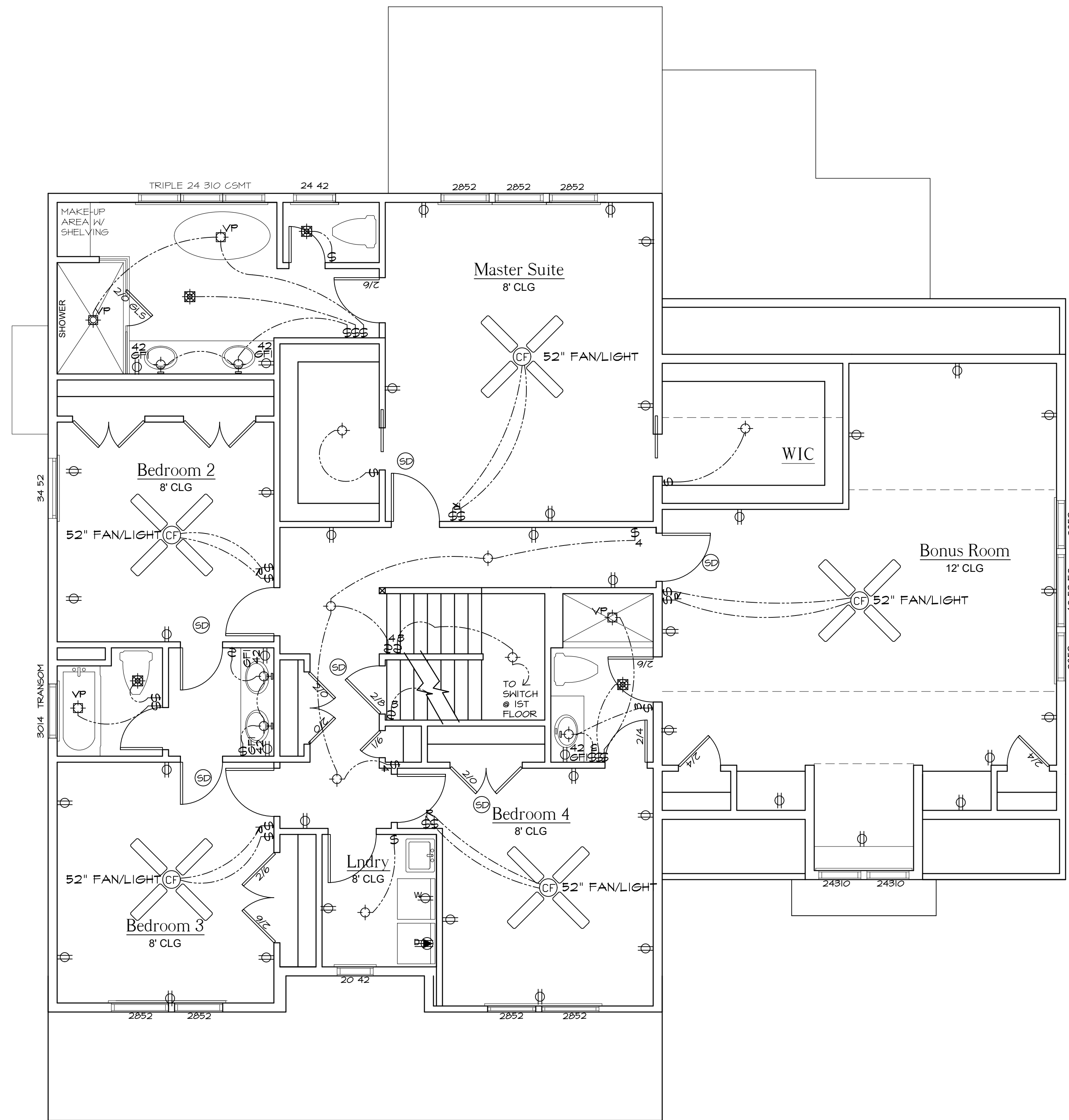
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TELEPHONE JACKS	18" A.F.F.
LIGHT SWITCHES	48" A.F.F.
RECEPTACLES	18" A.F.F.
TELEVISION JACKS	18" A.F.F.



OPT. ATTIC ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

REVISIONS BY	
1	FINAL TV 10-16-23
2	FORCH TV 1-4-24

DRAWN BY: JOE F.  
 DATE: 9-16-16  
 FILE NO: 33509A

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 FRONT ROYAL II PLAN # 33509A  
 SECOND FLOOR & OPT ATTIC ELECTRICAL PLANS

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