

MAINTENANCE REPORT FOR RESIDENCE AT LONGSHORE COUNTRY CLUB

INSPECTION OF THE LONGSHORE COUNTRY SELECT CLUB BUILDINGS
PARKS & RECREATION BUILDING
MAINTENANCE SHED



A REPORT PREPARED BY:
First Selectman's Maintenance Study Committee
Town of Westport, Westport CT 06880

Joseph Fuller, Jr., Chair and Architect

Report Prepared: July 18, 2023

Cost Update 09-22-2023

INSPECTION OF THE LONGSHORE COUNTRY SEECT CLUB BUILDINGS

June 18th, 2023

INTRODUCTION:

The WMSC members noted on the cover of this report met at the Longshore Country Club on June 15, 2023 to review select buildings and related maintenance items of each building.

Since the draft report was made, reviews and comments have been completed. **Please find the DRAFT report below.**

The buildings include the Parks and Recreation Building and the Golf Maintenance Building, per request of the First Selectwoman.

The interior and exterior of all the buildings were reviewed in a brief format and photo documented.

Photographs are within the report for each building, with their respective deficiencies noted.

Also included in this report is a brief write-up of each of the buildings and at the end of the report a cost budget sheet which should be prioritized by the Town. Please note, the buildings do receive basic maintenance each year and these maintenance items take place through existing budgets, for example the spot painting of exterior buildings, lawn maintenance and general upkeep.

The major concept of this report and study is to obtain proper funding for more major repairs, maintenance and/or systems and aesthetic items for consideration by the town to be implemented. These are larger scope items which are over and above the standard maintenance items noted above.

Parks & Recreation Building:

Overall, the exterior and interior of the Parks & Recreation appears to be maintained in good condition, however, there are some items which require maintenance as these areas can accelerate into more serious conditions. There is some exterior mold on the façade and the roof shingles are becoming aged. Lastly, the chimney will need repointing.

As noted in the 2011 and 2017 reports, there was to be performed some slight patching of the exterior EFIS siding, this appears completed. Repairs of the rear steel fire exit from the second-floor egressing to the grade level on the north elevation of the building, is repaired, though still has some leaves and other debris which should be cleaned. The generator is new with new switchgear components, also per the previous reports, it is great to see our noted work is being accomplished.

The fascia areas and exterior beams just under the roof eaves should be primed and painted as well, they again are peeling and this concrete work decaying slowly.

Splashguards should be cleaned. Please refer to the attached photographs for these areas of work and others.

FIRST SELECTMAN'S MAINTENANCE STUDY COMMITTEE
REPORT FOR LONGSHORE COUNTRY CLUB BUILDINGS
REPORT Draft V1 July 10, 2023

Course Maintenance Shed:

The overview of the golf maintenance shed noted that, though the building is in good condition, there are maintenance items which are required to be performed very shortly.

The cupula is still leaking in side-driven rain. Further, it and other exterior fascia boards are becoming rotted in areas and need to have wood replaced, primed, and painted.

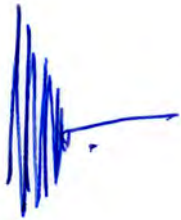
Exterior Board which are rotted under hose area require replacement.

Door frames to be replaced and painted.

All the siding of the building should be re-stained shortly, we noted this previously.

There are a few areas of gutter repair, a few areas of door-jam repair and the chimney base flashing on the north-west corner should be reviewed.

Please refer to the attached photographs for these areas of work and others.



Submitted by:

Joseph Fuller, Jr., AIA, Chairperson

Westport Maintenance Study Committee

July 18,2023



FRONT ENTRANCE



POTENTIAL TRIPPING HAZARD.



NEW GENERATOR



NEW GENERATOR



NEW SWITCH GEAR



EMERGENCY STAIRS TO BE KEPT CLEAN.



SOME EFIS PATCHING AND PAINTING NEEDED.



FACADE CLEANING REQUIRED.



NEW CONDENSOR UNITS



DRIP GUARD TO BE CLEANED.



BEAM ENDS TO BE PREPARED AND PAINTED.



SOME EFIS PATCHING AND PAINTING NEEDED.



INTERIOR CLEAN AND TIDY.



F/A SYSTEM WELL APPOINTED.



INTERIOR CLEAN AND TIDY.



INTERIOR CLEAN AND TIDY.



FIRE EXIT STAIR TO BE CLEANED.



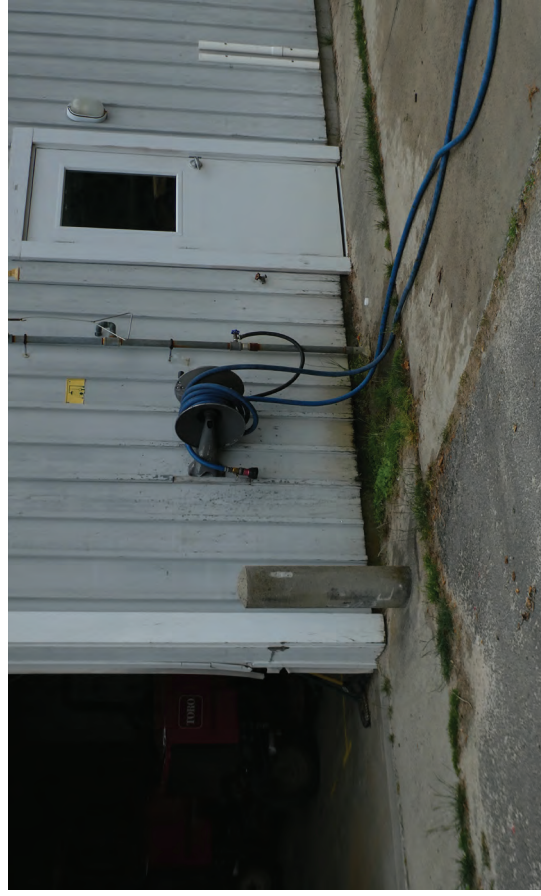
OVERALL FIELDHOUSE



EAST FACED REQUIRES PAINT SHORTLY.



PREPARE AND REPAIR BUILDING SHORTLY.



ROTTED HOSE REEL TO BE REPLACED.



COURSE LIGHTING PROTECTION SYSTEM IN TACT.



WINDOW TRIM BROKEN.



CONDENSORS ON WEST SIDE.



PROTECTION IN TACT WEST SIDE.



EXTERIOR WALL REQUIRES REPAINTING SOON.



MACHINE STORAGE ROOM



LOCKER ROOM



OFFICES



GREENHOUSE



GREENHOUSE INTERIOR



PAINTING OF TRIM AND SIDING REQUIRED.



SOME PAVEMENT IMPROVEMENTS NEEDS.



NORTH SIDE MACHINE STORAGE.

LONGSHORE BUILDINGS
Exteriors and other Items

09 22 2023

PARKS AND RECREATION BUILDING

Trim Trees	done	\$1,000
Exterior EFIS repairs	mostly done	\$400
Cleaning of Dormers from Lift		\$300
Repair to rear fire stair	done	\$0
Gutter louver cleaning (use same lift)		\$300
Painting with prep	done	\$0
Re-Roofing shingles		\$46,000
Walkways/ transitions		\$2,000
Contingency		\$12,700
		<u>\$62,700</u>

GOLF MAINTENANCE BUILDING

Repair Extension Boards		\$1,000
Repair and paint cupola		\$5,000
Repair overhead door jamb/prime/paint		\$880
Restain building exterior		\$18,000
Contingency		\$5,200
		<u>\$30,080</u>

Grand Total		<u>\$62,700</u>
OH+P		\$13,167
ESC		\$4,552
SOFT		\$18,967
Grand Total Budget		<u>\$99,386</u>