

# COMPO BEACH BUILDINGS WESTPORT, CT



A REPORT PREPARED BY:  
First Selectman's Maintenance Study Committee  
Town of Westport, Westport CT 06880

Report Prepared: April 10, 2023  
Cost update 09-22-2023



FIRST SELECTMAN'S MAINTENANCE STUDY COMMITTEE  
REPORT FOR COMPO BEACH BUILDINGS  
REPORT PREPARED ON April 10, 2023

INSPECTION OF THE COMPO BEACH BUILDINGS ON MARCH 21, 2024

**Introduction:**

The WMSC Members met with Westport's Mike Frawley at Compo Beach on March 21, 2023, to observe the various buildings and site amenities. Maintenance items of each building were discussed. The last full review and report was completed in 2011.

The buildings include:

- Basin Clubhouse
- Marina Offices and Marine Police Building
- Sports/ Storage structures and Basketball courts
- Lifeguard Shack
- Pavilion Structures 1 and 2
- Boardwalk
- Bathhouse building Exterior / Interior / Brick Structures
- South Beach Restrooms

Attached to this report are various photographs of each structure/amenity of said buildings with the various deficiencies found. Each of the items included in the cost budget sheet shall also be prioritized. Cost estimates for maintenance work for each of the buildings have been derived, discussed and are part of this report.

The buildings receive basic maintenance each year, repairing of single window frames, touchup painting, new doors, new balcony rails and other such items on a case-by-case basis. The meeting of this report study is to provide proper funding for more major repairs/maintenance and/or systems or aesthetic items for consideration by the Town to be implemented. With regards to priorities, we have Priority 1- a more immediate need, Priority 2- an item which should be completed before more significant funds are needed to repair this category of priority. Priority 3- work to be completed within 5 years and Priority 4- work which is not required however will be needed in the future or hoped to be added to scope.

**Basin Clubhouse:**

On the overall, the exterior of the boat house/club house is in fair condition. The attached photographs include items of work scope in a more detailed manner. Select window frames are rotted, the larger windows themselves are single pane and the window units are approaching the end of their lifespan. Both ladies' room and men's room doors and the restrooms were renovated since our last report. The siding shingles have been replaced on one or two of the elevations and other elevations of shingles

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should be considered replacing shortly. The roof shingles also require replacement in the next 2 years or so.

The knee wall supporting the deck at the south side of the building has vertical and continuous horizontal cracks along with localized concrete spalling and stains from reinforcement corrosion. The north and east side of the brick chimney display vertical brick masonry cracks with loose mortar at the joints. Knee wall and chimney repairs within the next 1-3 years should be considered.

Circa 2010 the rear of the building, i.e., facing the marina, received new columns and railings which should be stained to help preserve the pressure treated wood. The steps to the South have sagged and are now angled and require adjustment. Other items including the floor of the porch should be refinished and most importantly, the seawall decay reviewed by experts, it has some decomposition issues in areas. The south porch stair to grade should have handrails added. Other cosmetic exterior items could be improved. Including again power washing the patio deck, benches and rails and staining same regarding the interior, it is good shape, the main hall interior, wood floor is newer and in looks excellent. The interior surface mounted lighting could be replaced with an LED track light system to allow for flexibility about the various functions this room engaged, from summer school classroom to rented events. Also, overall LED lighting should be provided. The electrical Panel and support of power appears adequate. A central system heats and cools the space. Fans also help cool the area. HVAC systems are reported as appropriate.

Overall, the original building, which was added onto with the restroom's extension to the south, is in good shape. Painting and new roof shingles shall be required shortly. Again, the Seawall is important to review with experts, and have it repaired prior to needing a larger replacement.

**Marina Offices and Police Building:**

The Marina Offices and the Westport Marine Police structure appear to be in good working order. The exterior fence is rapidly becoming deteriorated around the storage courtyard where various storage items, buoy's, older canoes, and other such craft exist. The floor of the courtyard is gravel. The fence requires replacement, along with some gates on the north side of the courtyard.

On the overall, the building requires a new roof shortly, to match the adjacent buildings which soon need asphalt shingle roofs. Repainting white and blue trim is also required shortly. It should further be noted that this building is not heated nor do the water systems remain on during the winter. The interiors of the buildings are kept clean and tidy. Painting costs for these structures and other such maintenance costs can be found in the cost budget line items.

**Sports/Storage Structures and Basketball courts:**



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These two wood frames, shingle roofed structures are located near the Basketball courts. The barn-type prefab structure is newer than the older pitched roof building of 30 x 14 +/- feet. The older structure requires some maintenance to the exterior as can be found in the budget costing. There is some grading and pavement that is needed at the bottom of the wood ramp area, the chain link gate requires repair.

**Basketball Courts:**

The basketball courts, though in whole appear in good shape, do have some slight cracking of the asphalt and topping surface from side to side of the north court and spider cracking in the south court, also across the width of the court. The open crack joints have previously been repaired. These cracks are again open and, in some areas, could cause a tripping hazard. Repairs should be made to the newer topcoat in these areas. Lighting appears adequate.

There has been a water collection issue in this area for years, proper drainage should be engaged.

**Lifeguard Building:**

The lifeguard building was mostly repaired and had all exterior siding replaced approximately twenty-four (24) years ago. This structure is exposed to a lot of weathering and salt, and the elements are harsh to the paint surfaces. Asphalt shingles do not require replacement, they appear to have been replaced recently. Currently the siding is in fair shape, the shuttered doors are closed for the winter, and all appears satisfactory. The front parapet wall looks to need some trim replacement and painting before the summer of 2023, to be well presentable.

**Pavilion Structures 1 and 2:**

The original white Pavilion (towards the north) in 2010 recently had its columns rebuilt and reinforced, and the structure stands as an icon of the history of Westport, with its gusset column to beam framing and interior truss and framing patterning. The sill to rafter brackets are rusting and should be replaced. The underside of the Pavilion requires proper repainting as some peeling, flaking, and other similar wear and tear is quite evident. The asphalt slab floor, atop where picnic benches sit, is in good shape. The main spire (mast) was replaced after the last hurricane broke the element.

Further, painting of the exterior columns, gussets and beams needs to take place shortly. The Main Pavilion structure recently had its roof and structure rebuilt and reinforced, and the structure also encompasses a new concrete floor system. It was conveyed, columns have larger footings and foundations as required by newer building codes.

**Boardwalk:**

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It was noted and observed that the main northern boardwalk surface is getting very old, (different from in front of the concession area). It has lost much of its surface grip and can be slippery when wet. Further the board have derogated with sun and wind and the SS screws are sticking up, this is a potential hazard too bare foot walkers, and others. Some screws also appear sharp. Screws are set into sleepers of the same vintage as the boards. The boardwalk has been reset and repaired many times over the years, after various bad storms. It is time to consider a full replacement of this boardwalk area, with a material and color to be selected, that also perhaps does not get so hot in the summer sun. The area in front of the concession (see pictures) also has some board ends with cupping and can be tripping hazards, as observed, and noted in photos.

All agreed sand will always get in between the boards, and this is not an issue.

**Bathroom Building- Exterior:**

The exterior of the bathhouses has received numerous areas of brick repointing. The walls require further brick masonry joint re-pointing in many spots as part of continuing maintenance for the wall structure. The structure is open to the wind, water and atmosphere of the beach, a harsh environment. The coping also has had more recent select area repairs, but some spots continue to have the need for further work. Also, some of the top of the wall coping brick requires to be removed and reset. It should be noted that these top coping bricks are a very important part of the wall to keep water out of the inner wall system. If the coping brick leaks and water is allowed to infiltrate the wall, the freeze/thaw cycles accelerate the deterioration and integrity of this type of wall. Some of the trees, now very large and adjacent to the exterior walls, are also creating some cracks and the walls need to be re-pointed in these areas more often unless the trees shall be removed. Many areas already have had patches and cracks fixed. Precarious pieces of brick and mortar are present at several locations along the brick building facades and freestanding walls. Some bricks appear to be fully de-bonded; several bricks were noted to be spalled, and deteriorated brick joints are also a common occurrence, especially at the freestanding walls surrounding the changing cabins. If not repaired, these deteriorated areas can become structurally unstable in 2-3 years at most. Although not a serious structural concern, the precarious pieces of bricks and mortar should be removed soon as they will become completely lost and fall below. Select, straight door lintels need to be replaced in their entirety, along with some of the steel doorframes, which are rusted out at their base. Arched brick openings look satisfactory.

The exterior showers require some maintenance and similar to other brick walls, lose pieces of bricks and mortar should be removed before they become completely lost. Behind the concession building propane tanks, and heat pumps remain unscreened. The 3 garbage dumpsters are screened. The condensers for the concession area remain unscreened. A constant screening should be provided, always.

**Bathroom Building – Interior:**

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The interior of the bathhouse includes an open court area with some floor drains. All of which appear to be clogged. This is an ongoing project to unclog the drains, nothing new to the staff.

The area where the actual changing rooms (cabanas) are located also has a clogged floor drain system, however, more importantly the cabanas are in very poor shape. The bath houses themselves are very old and made from T-111 wood with asphalt shingle roofs. This type of wood does not have a long lifespan (even though it is stained gray), and only with a lot of maintenance, select replacements, painting/staining and constant upkeep have the cabanas lasted this long. It is an ongoing issue which should be rectified with new construction. Much of the siding is rotted and some in fact missing, further, mold is present and door hinges and lock mechanisms do not work well. Like the very successful restroom renovations, the cabanas should be replaced very soon, to best reflect the Westport vibe of the beach, clean and healthy.

The doors of the cabanas have been replaced in the past, and reconfiguration and replacement of the bathhouses should be considered soon. With replacement of the cabanas in mind, design should be considered to include an increase in number and specific low maintenance materials selection and construction technique. Each of the cabanas is similar in size and there is no variety in size for larger families versus smaller families. It is the understanding of the Committee that these cabanas are currently full, and a waiting list exists, therefore should more cabanas be supplied, further income for the town can be generated. A reconfiguration of the layout can produce a greater number of cabanas. Some Committee members also noted that should larger cabanas be available, a higher rental cost could be associated with the same, also generating further revenue. This again is a top priority at Compo Beach for the WMSC for the Town's consideration for a full replacement, the same as the recommendation in 2011.

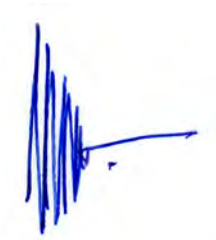
It was noted that cabanas could in fact be prefabricated and brought to the site and lifted into place over the current brick walls to be quickly and efficiently set up.

**South Beach Restroom Structure:**

The newer South Beach restroom structure contains a men's room women's room storage area and mechanical system further slowly to the West is the sewage ejector system which is a force main. The structure is newer in construction, however can receive some power washing and painting shortly as the beach environment is very harsh on siding and trim. Further wind has affected some roof eave trim which requires refastening, and patching of shrinking fascia boards should be undertaken shortly.

Attached are marked up photographs with related text of items observed, also cost budget estimates for each of the individual buildings noted above.

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Submitted by:  
Joseph Fuller, AIA, Chairperson  
Westport Maintenance Study Committee  
April 10, 2023

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MAIN ELEVATION - REROOF SHORTLY.



PAINT SHORTLY.



NEWER RESTROOM DOORS



ROTTED SILL AND OLD WINDOW (REPLACE)





WINDOW MUNTIN BROKEN/OLDER WINDOW.



SEAWALL DECAYING.



INTERIOR TOILET - SATISFACTORY, NON ADA.



STEPS PORCH TO GRADE REBUILD WITH HANDRAIL.





PAINT SIDING SOON



DECK SATISFACTORY - POWERWASH AND STAIN



STEP/WALL NON UNIFORM LANDING AREA



ELECTRICAL PANEL





OLDER LIGHTING



ATTIC UNIT REPORTED SATISFACTORY.



REPLACE CRAWL SPACE DOOR.





SOME UNEVENNESS IN BITUMINOUS WALKWAY.



OVERALL NORTH ELEVATION SATISFACTORY.



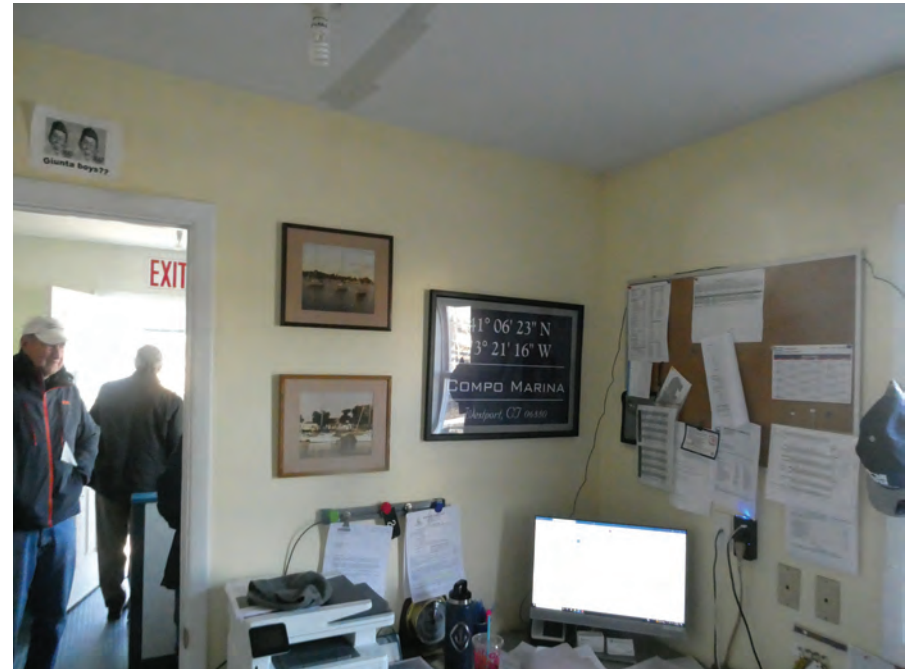
SOUTH FACADE



WEST FACADE



INTERIOR



INTERIOR CLEAN





REPAIR SIDING AND PAINT.



ELECTRICAL SYSTEM REPORTED ADEQUATE.





OVERALL BUILDING - EXTERIOR PAINT REQUIRED.



COURTYARD STORAGE AREA - ROOF REQUIRED.



INTERIOR



INTERIOR



REPLACE FENCING AND GATES.





SPORT SHACK



STORAGE SHACK



SELECT AREA DETERIORATION



LIGHTING SATISFACTORY





TRIPPING HAZARD



SLIGHT CRACKING



INTERIOR





GRAVEL AREA SHOULD BE PAVED.



GATE UNHINGED REQUIRED REPLACEMENT.





OVERALL



OVERALL



ROOF APPEARS NEWER



AREA REQUIRED SOME SIDING REPLACEMENT



REPAIRS REQUIRED



OVERALL





ORIGINAL PAVILION



COLUMN REINFORCEMENT



FIX SOME BEAMS



PAINT UNDERSIDE OF ROOF



REPLACE RUSTED ANGLES AND TIES



COLUMNS (OK)









OLD BOARDWALK - REPLACE



TRIPPING HAZARDS



SCREWS PROTRUDING (CANNOT BE ADJUSTED HEADS BREAK)



SHARP EDGES SCREWS





SHARP EDGES SCREWS



BROKEN EDGES IN AREAS



BATHHOUSE COMPLEX



OLD CABANAS FROM WOOD REQUIRED REPLACEMENT - ROTTING IN AREAS



EXTERIOR BRICK WALLS - REQUIRED REPOINTING AND CRACK REPAIR.



OLD WOOD CABANAS





WALLS REQUIRED SOME REPOINTING.



NEWER DECK AREA - SOME TRIPPING HAZARDS.



SHOWER AREA



TOILET AREA - REQUIRED REMODELED.





FOOTWASH



CONDENSOR SHOULD BE SCREENED.



PROPANE TANKS SHOULD BE SCREENED.



REHABILITATED MEN'S AND WOMENS ROOMS - NORTH END





TREE ROOT AFFECTING WALL REPOINTING REQUIRED IN SELECT AREAS.





SPALLING POINTING



LOOSE BRICK SHARDS



FAILING REPOINTING



LOOSE BRICK TOP CAP

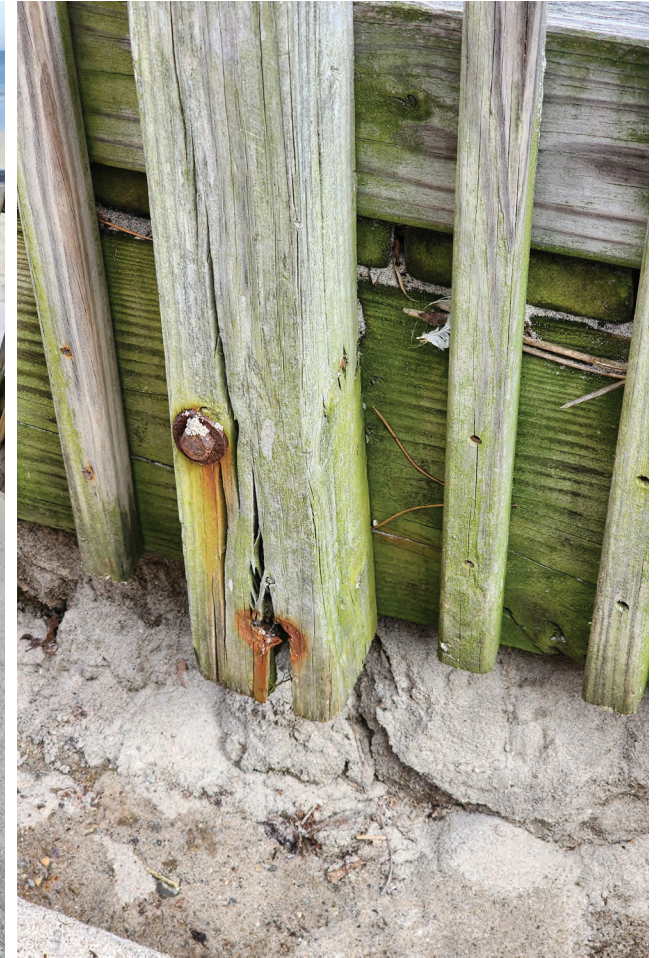




REPOINTING AT COLUMN CAP



SPALLING BRICK







HORIZONTAL CRACK IN WALL.



REPOINTING REQUIRED.





HORIZONTAL CRACK IN WALL.



LOOSE GATE LATCH



REPOINTING REQUIRED ON WALL.





COLUMN BUTTRESS SEPERATION



SOME SPALLING BRICK.



BRICK TOP CAP REQUIRED RESETING (REPAIR)





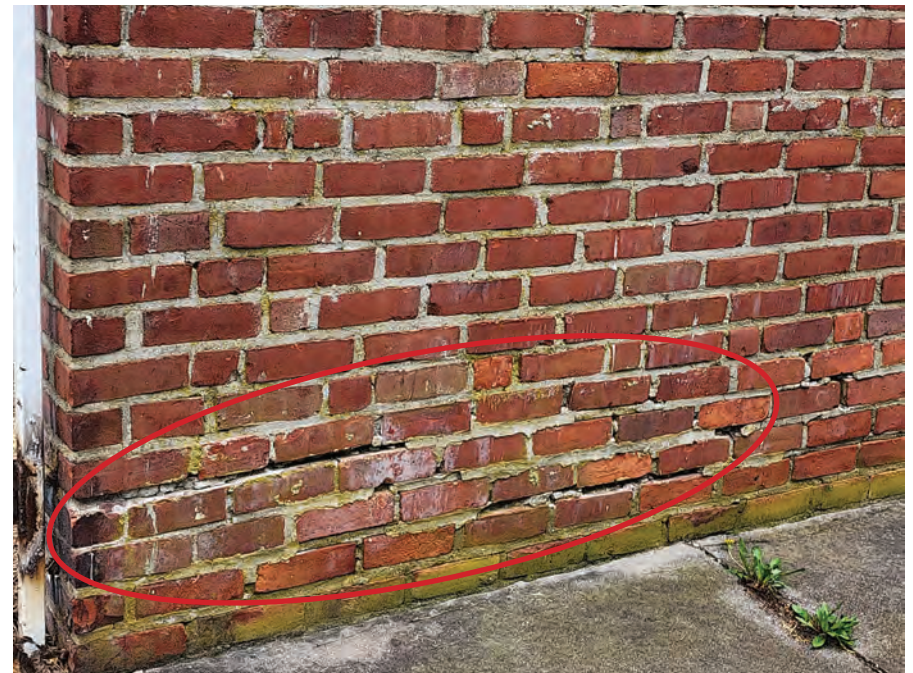
PARAPET REBUILD REQUIRED.



BUTTRESS COLUMN REQUIRED REPOINTING.



LOOSE BRICKS



REPOINTING REQUIRED.

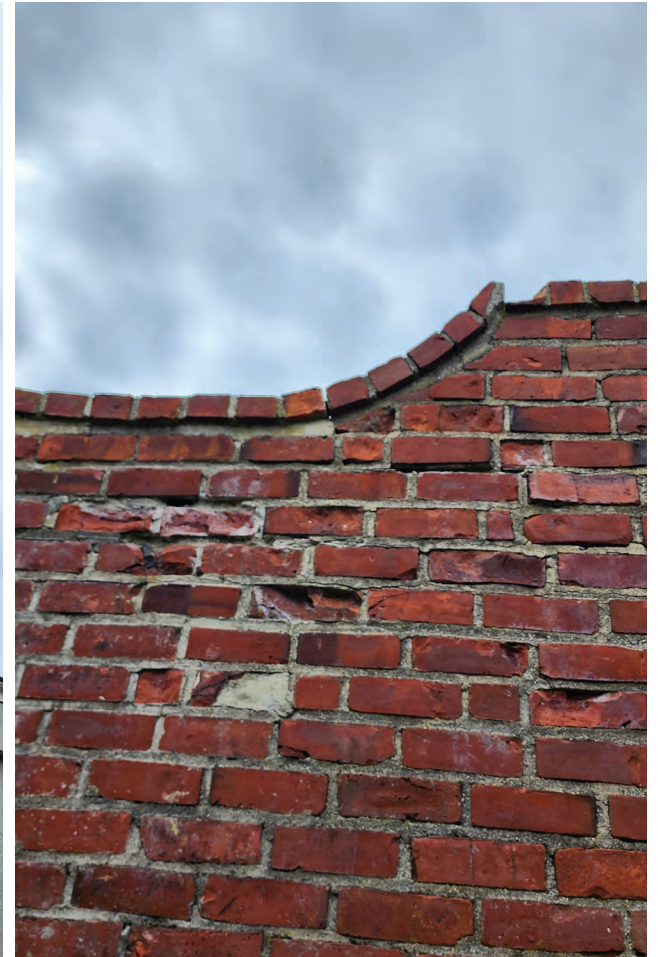




DETERIORATED BATHHOUSE HARDWARE



SPALLED BRICK



SPALLED BRICK





CRACK AT DOOR WALL



SAPLLED BRICK



REPOINTING REQUIRED.





EXTERIOR



CONCRETE PAVING - GOOD SHAPE



FIX TRIM



WASH SOFFITS - PATCH BOARD SHRINKAGE.



SEWER EJECTOR SYSTEM



**COMPO BEACH BUILDINGS AND BB COURTS**

9.22.23

**BASIN CLUBHOUSE**

	Cost p/unit	Priority	
Tank Replacement	\$0		
New Roof Shingles	\$16,000	1	
Exterior select area siding	\$4,000	2	
Shutters/ Wood doors	\$2,000	2	
New Windows and Trim	\$14,000	2	
Exterior Paint	\$6,000	1	
Interior Floor Refinish	\$0		
Interior Floor Replacement	\$0		
Exterior Steps rebuild	\$1,000	1	
Patio powerwash and stain	\$5,000	2	
Interior toilets	\$0		
Doors	\$0		
Electrical Lighting	\$8,000	3	
Sidewalks	\$8,000	3	
Sea Wall Repairs ( allowance)	\$20,000	2	
Misc Infrastructure	\$2,000	2	
	<hr/>		<hr/>
Sub-Total	\$86,000		

**MARINA OFFICES/ MARINE POLICE**

Building			
New roof shingles	\$7,000	2	
Exterior siding	\$0		
Shutters/ Wood doors	\$0		
Windows and trim	\$0		
Exterior Paint	\$4,000	2	
Interior Floor Repairs	\$600	3	
Re-gravel courtyard	\$600	3	
Doors	\$0		
Electrical	\$0		
Misc Infrastructure	\$1,000	2	
	<hr/>		<hr/>
Sub-Total	\$13,200		

**BB COURTS /BASEBALL FIELD and SPORTS STRUCTURES**

## Building

New Roof shingles	\$3,000	2
Exterior siding	\$0	2
Shutters/ Wood doors	\$0	
Windows and trim	\$2,000	2 **
Exterior Paint with trim	\$2,000	2
Doors	\$0	
Gate and pavement upgrade	\$3,500	1
Baseball field rehabilitation/fencing upgrade	\$40,000	1
BB Courts crack repair/ topcoating touch up	\$5,000	1

Sub-Total \$52,500

**LIFEGUARD SHACK** ( Interior not reviewed)

Roofing	\$0	
Doors	\$2,000	2
Wood repairs	\$2,400	1
Painting	\$2,400	1
Sub- Total	\$6,800	

**Pavilion Structures 1+2**

Exterior Paint Pavillion Roof underside	\$3,000	1
Exterior Paint	\$1,400	1
Anticipated roof structural fastener repairs	\$6,000	1
Framing painting	\$2,400	1
Sub-Total	\$12,800	

**Boardwalk - Northern Replacement**

Removals	\$12,000	1
Sleepers	\$0	1
New Boardwalk - Compo - Conc	\$300,000	1
Sub- total	\$312,000	



**Bathhouse Structure**

Building		
Exterior Masonry repointing	\$20,000	2
Exterior Masonry Coping Brick repair	\$10,000	2
Steel Gates - refurbish	\$3,000	2
Steel Frames	\$16,000	2
Exterior Paint/ Pavillion Underside	\$0	
Interior Concrete Refinish	\$0	
Cabana Removals	\$10,000	1
New Cabanas 200x \$800	\$217,000	1
Interior toilets	\$0	
Doors	\$6,000	2
Electrical and Lighting w new Cabanas	\$8,000	1
Exterior Drains	\$1,200	2
Clear Floor Drains	\$4,000	2
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Sub-Total	\$295,200	

**South Beach Restrooms**

Painting	\$3,000	1
Trim repairs	\$1,000	1
Powerwashing	\$400	1
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Sub- total	\$4,400	

Cost Total	\$782,900	<u>Priority 1 Items</u>
OH+P	\$164,409	\$640,500
SOFT	\$170,516	\$134,505
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Grand Total Budget	\$1,117,825 *	\$139,501
		<hr/>
		\$914,506 *

Costs are based from Observations

Buidling Code has not been addressed in costs review, a full review would be required. \*

Windows are not being replaced only repaired. \*\*