

Village District Overlay (VDO) Zone Westport Center §36:

The purpose of this Village District Overlay (VDO) is to protect the distinctive character, landscape, and historic structures and development pattern within this Village District while encouraging a mixed use, walkable district that is attractive to residents, employees, and visitors. New construction or substantial rehabilitation in the Village District should be compatible with the existing character of the district and reinforce both the existing development patterns and connections to the Saugatuck River. (See copy of Westport Regulations §36-2 attached 9pgs)

**JOINT COMMITTEE
REVIEW and RECOMMENDATION**

PROPERTY ADDRESS: Parker Harding Plaza, Westport, CT 06880
OWNER OF RECORD: Town of Westport Daytime Tel #: 203 341 1120
OWNER'S ADDRESS: 110 Myrtle Avenue, Westport, CT 06880 E-mail: pratkiewich@westportct.gov
APPLICANT'S NAME (if different): Peter Ratkiewich, Director of Public Works Daytime Tel #: 203 341 1120
If the applicant is unable to obtain property owner's signature, submit a letter of authorization signed by the property owner with this application, as per §43-3.3.
APPLICANT'S ADDRESS: 110 Myrtle Avenue, Westport, CT 06880 E-mail: pratkiewich@westportct.gov


Property Owner's Signature


Legal Representative Signature (As authorized by owner)

Required Review and Approvals for Properties Located in the VDO Zone:

- Certificate of Appropriateness (if property is located within a local historic district or designated a local historic property)
- Joint Committee Review and Recommendation of proposed design plans
- Compliance Alternative for Joint Committee Review (if applicant requests consideration of an alternative approach that satisfies the intent of the design principles but is not in compliance with design standards)
- Site Plan Approval by the Planning and Zoning Commission

Prior to Joint Committee Review and Recommendation Meeting, please submit the following: (Call for Meeting dates)

This application completed and the following required materials to Historic District Commission Office, Room108 203-341-1184.

- Submit a narrative, describing the project, including construction details, proposed materials and how the improvements are consistent with the style or how the improvements vary, a rationale of why the variation should be, approved under Sec 36-2.2.
- Seven (7) copies of the Historic Resources Inventory Form if the property is listed; (Available in HDC Office)
- Seven (7) copies of Site Plan (11" x 17").
- Seven (7) copies of Existing Style of the Building and
- Seven (7) copies of scaled Building Plans, including Existing Conditions Plans and Proposed Plans. (11" x 17").
- Seven (7) complete sets of photos showing the original Building(s) (if applicable), include photos of the Buildings to either side of the proposed project and the view from across the street. A contrasting demonstration of the Existing Building in current Streetscape and the Proposed Building within context of its surroundings.
- Also, submit such other material deemed appropriate by applicant to enable the Joint Committee to evaluate the design.
- E-mail an Electronic Version of ALL your submitted materials to ddouglass@westportct.gov

Joint Committee Recommendations to P&Z Commission are; _____

Joint Committee Chair's Signature: _____ Date: _____

Parker Harding Redevelopment Narrative

The Public Works Department is proposing to redevelop Parker Harding Plaza through our “Reconnect the Riverfront” initiative. In its present state, there are many deficiencies that we are proposing to address, including but not limited to the following:

ADA Compliance

Fire Code/Fire Access

Pedestrian safety and visibility

Poor circulation and traffic flow

Lack of any flood mitigation

Lack of any sustainability measures

Limited Landscaping and green space

Substandard parking and travel lane dimensions for most of the parking spaces

And most importantly, very limited Riverfront access for residents and visitors alike, instead giving priority to vehicles, parking, and roadway.

The site sits fully within the Village District Overlay, (VDO), zone and as such must meet the VDO standards. It is the intent to address all of the above deficiencies as well as to comply with the VDO Design Principles and Design Standards.

There are no buildings being modified under this project so our compliance speaks mainly to pavers, pavement treatment, parking, landscaping, lighting, rain gardens, and waterfront treatments.

Pavers: The project proposes to utilize the Westport standard Whitaker-Greer brick pavers that have been utilized throughout the downtown area, along building frontages and in walkways leading from the buildings to the waterfront.

Pavement treatment: Where the walkways transition to decorative crosswalks crossing the parking area or roadways, the crosswalks will utilize the stamped thermoplastic inlay material that we have used on crosswalks on Main Street and Elm Street. The material is called TrafficScape, made by Ennis-Flint of Thomasville, NC. The color is “Sienna” and is consistent with the color of the above-mentioned Whitaker-Greer brick. The use of this material is specifically indicated as its coefficient of thermal expansion is similar to that of asphalt, so that cracking in the underlying pavement due to differential expansion or contraction will not occur, making it more sustainable over the long term. The material is extremely durable, lasting approximately 10 years or more under traffic conditions.

The rest of the paved parking areas will be conventional asphalt pavement.

Parking: The main parking lot is proposed to be modified from the existing conditions by creating a consistent 25-foot wide, two-way access lane between two rows of perpendicular parking. All ADA requirements and fire code requirements are met or exceeded. The parking area is separated from the

Parker Harding Redevelopment Narrative

one-way cut through road by a landscaped buffer. Pedestrian bump outs are also landscaped at the pedestrian crossings.

Landscaping: Landscaping will utilize native plants and trees throughout the project and will integrate plantings into the various rain gardens along the waterfront. A planting schedule is provided. Plantings in the rain gardens and along the waterfront will be salt-tolerant to be sustainable and recoverable after flood events. Plantings and landscaping will be utilized to define and separate the parking area, cut-through road, and waterfront area.

Local artwork will also be placed throughout the waterfront area and rotated periodically for variety. We will work with the Westport Arts Council to provide appropriate spaces for different varieties of art compatible with the outdoor environment.

Lighting: The primary lighting along paved sidewalks will utilize the Lumec L80 lighting heads that are used through out Main St and the downtown area. At waterfront landings a combination of Arne Catenary fixtures and MP LO1 in-sidewalk up lights will add some variety and enhancement to the landing areas where the pedestrian walkways meet the waterfront.

Rain Gardens: Rain Gardens are utilized between the green space adjacent to the boardwalk and the cut-through road to separate the two. These will also provide an opportunity for infiltration of storm water and biotreatment of stormwater. In addition to plantings the rain garden will be lined with inlaid stone as well as random hand placed protruding stones.

Waterfront Treatments: Along the waterfront three new treatments will be introduced that will differentiate the waterfront from the parking area and roadway, but also compliment the surface treatments specified in the Design Standards. Exposed aggregate concrete will be used to transition from the concrete sidewalks that exist both North and South of the plaza, to an Ipe boardwalk that will be the main feature along the waterfront. The boardwalk will vary in width but will be no less than 13 feet wide to provide enough room for several groups of people to comfortably pass each other in both directions. Along the water side of the Boardwalk will be a 42-inch cable rail fence with an Ipe cap. The cap will be angled at 15 degrees to prevent it from becoming a drink rail, and to provide an opportunity for some interpretive placards along the walk.

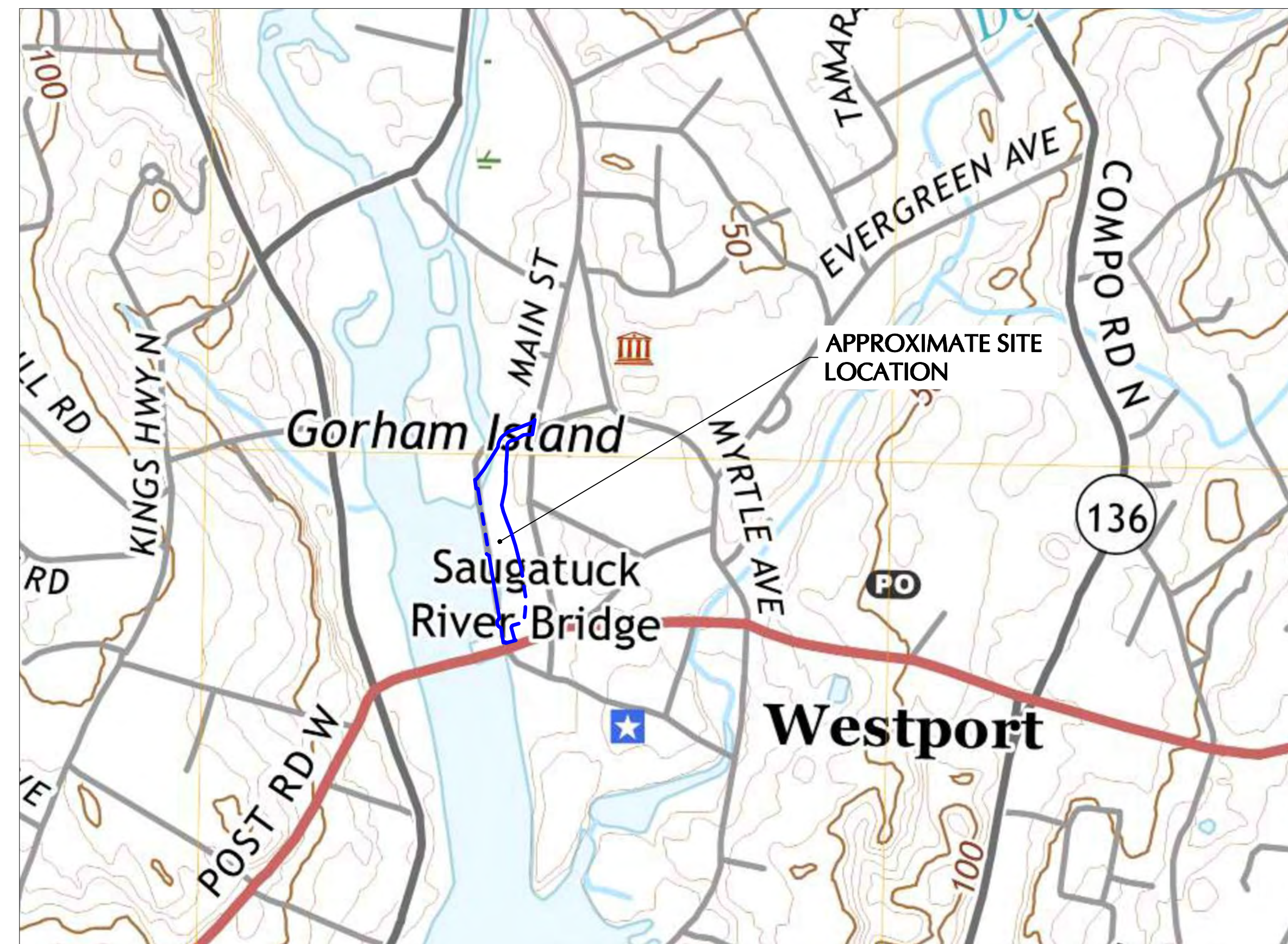
We feel that the proposed plan meets or exceeds compliance with section 36-2.3.4 of the VDO regulations, and request that the Joint committee of the ARB-HDC give a positive recommendation to the Planning and Zoning Commission for the project overall.

RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA VILLAGE DISTRICT OVERLAY ZONE SUBMISSION PACKAGE

PARKER HARDING PLAZA TOWN OF WESTPORT, FAIRFIELD COUNTY, CONNECTICUT

DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	SITE COVER SHEET	09/14/2023	-
VL101-VL102	PROPERTY & TOPOGRAPHIC SURVEY	12/06/2022	-
CS002	MASTER LEGEND & NOTES	09/14/2023	-
CS100	OVERALL SITE PLAN	09/14/2023	-
CS101	SITE PLAN I	09/14/2023	-
CS102	SITE PLAN II	09/14/2023	-
CS501	SITE DETAILS I	09/14/2023	-
CS502	SITE DETAILS II	09/14/2023	-
CS503	SITE DETAILS III	09/14/2023	-
CS504	SITE DETAILS IV	09/14/2023	-
CG100	OVERALL GRADING & DRAINAGE PLAN	09/14/2023	-
CG101	GRADING & DRAINAGE PLAN I	09/14/2023	-
CG102	GRADING & DRAINAGE PLAN II	09/14/2023	-
CG501	GRADING & DRAINAGE DETAILS I	09/14/2023	-
CU100	OVERALL UTILITY PLAN	09/14/2023	-
CU101	UTILITY PLAN I	09/14/2023	-
CU102	UTILITY PLAN II	09/14/2023	-
CU501	UTILITY DETAILS I	09/14/2023	-
CU502	UTILITY DETAILS II	09/14/2023	-
CE100	OVERALL SOIL EROSION & SEDIMENT CONTROL PLAN	09/14/2023	-
CE501	SOIL EROSION & SEDIMENT CONTROL DETAILS I	09/14/2023	-
CE502	SOIL EROSION & SEDIMENT CONTROL DETAILS I	09/14/2023	-
LP100	OVERALL PLANTING PLAN	09/14/2023	-
LP101	PLANTING PLAN I	09/14/2023	-
LP102	PLANTING PLAN II	09/14/2023	-
LP501	PLANTING NOTES & DETAILS	09/14/2023	-
LL100	OVERALL SITE LIGHTING PLAN	09/14/2023	-
LL101	SITE LIGHTING PLAN I	09/14/2023	-
LL102	SITE LIGHTING PLAN II	09/14/2023	-
LL501	SITE LIGHTING NOTES & DETAILS	09/14/2023	-



MAP REFERENCE: USGS WESTPORT QUADRANGLE MAP, 2021 (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 500'

OWNER
TOWN OF WESTPORT
110 MYRTLE AVE
WESTPORT, CT 06880
PHONE: (203) 341-1000

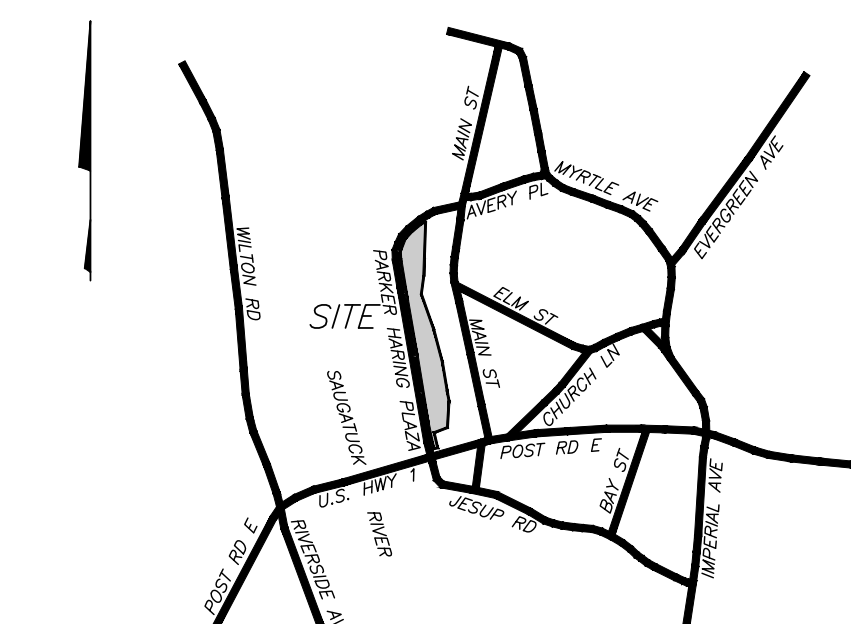
**CIVIL ENGINEER, TRAFFIC ENGINEER,
GEOTECHNICAL ENGINEER, &
LANDSCAPE ARCHITECT**
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC
C/O: DAVID GAGNON
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
PHONE: (203) 562-5771

RELEASE DATES

DATE	ISSUED FOR
09/14/2023	CONSERVATION DEPARTMENT & FLOOD AND EROSION CONTROL BOARD SUBMISSION
09/22/23	VILLAGE DISTRICT OVERLAY REVIEW

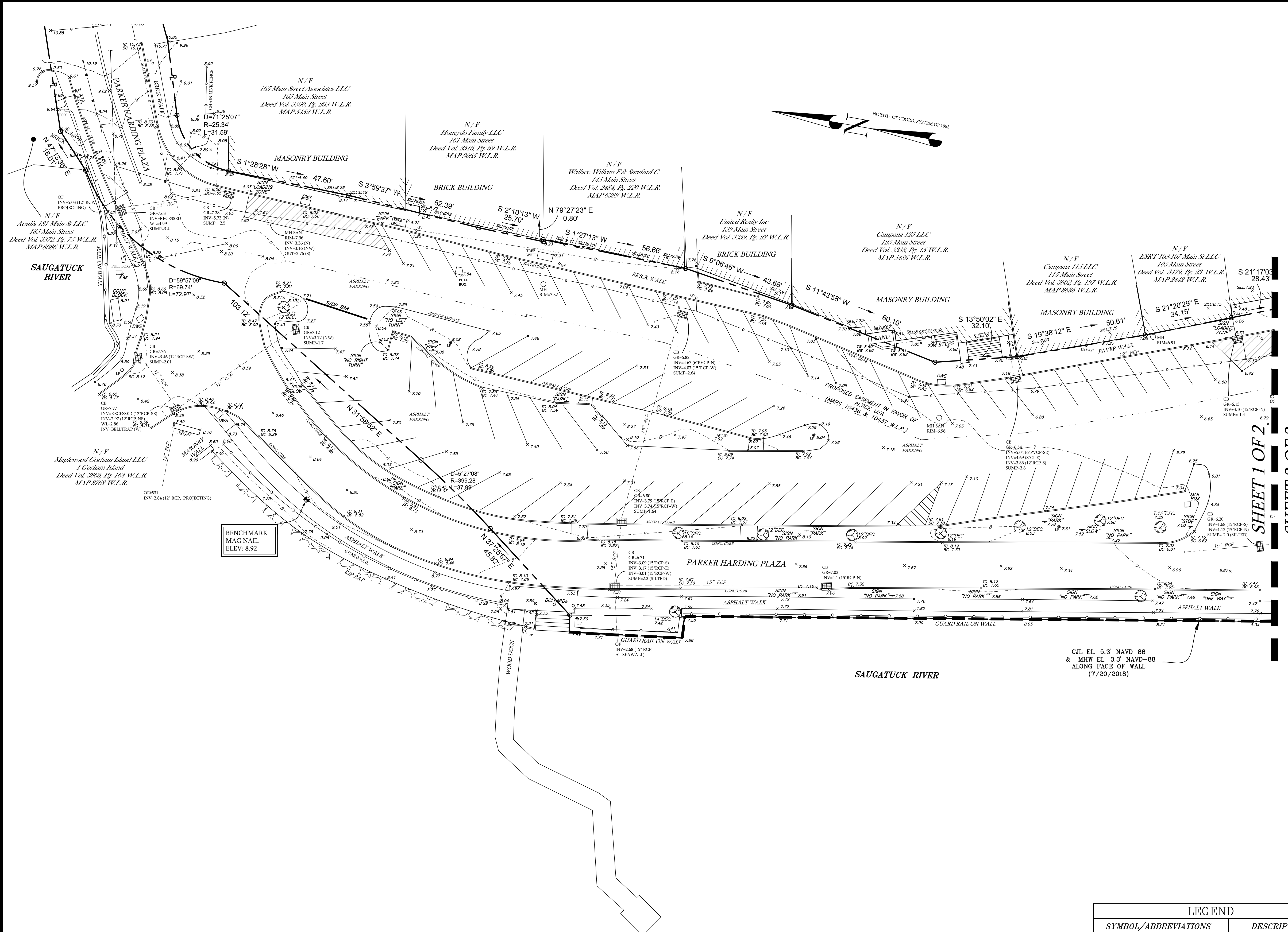
LANGAN

ORIENTATION



WESTPORT, CT

SCALE: 1"=800'



SHEET 1 OF 2
SHEET 2 OF 2

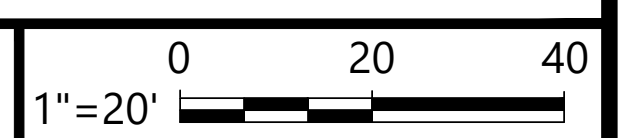
NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Limited Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict boundaries, locations and elevations of improvements and topographic features on a portion of Parker Harding Plaza.
- Reference is made to instruments of record as labeled hereon.
- Reference is made to maps 3192, 3748, 3624, 10436 and 10437 of the Westport Land Records (W.L.R.).
- Reference is made to deeds of record Bk 3866, Pg. 164 and Bk. 119, Pg. 194 W.L.R.
- Elevations depicted hereon are based on North American Vertical Datum of 1988 (NAVD-88).
- Bearings depicted hereon are based on Connecticut State Coordinate System - NAD'83.
- Subject area lies within a Special Flood Hazard Area Zone AE with a BFE 10 as depicted on FEMA Flood Insurance Rate Map Community Panel No. 09001C0413G Map Effective July 8, 2013.
- Location, extent and sizes of underground utilities depicted hereon must be considered approximate and may not be complete. Utilities were compiled partly from field measurements and municipal records. Consult with the appropriate utility company or agency prior to construction.
- Property may be subject to Riparian rights of others in and to any brook, stream or pond abutting or passing through the parcel.
- Wetlands, if any, are not depicted hereon.

LEGEND	
SYMBOL/ABBREVIATIONS	DESCRIPTION
---	O.H. WIRES
—x—x—	OVER HEAD WIRES
—x—x—	CHAIN LINK FENCE
—	GUARD RAIL
●	ELEC. METER
○	FIRE HYDRANT
○	UTILITY POLE
○	GAS VALVE
○	LIGHT POLE
○	WATER METER
□	DETECTABLE WARNING SURFACE
DEC.	DECIDUOUS
CON.	CONIFEROUS
DED.	DEAD TREE

LIMITED PROPERTY & TOPOGRAPHIC SURVEY DEPICTING PARKER HARDING PLAZA WESTPORT, CT PREPARED FOR TOWN OF WESTPORT

DATE: 12/06/2022
JOB NO. 093



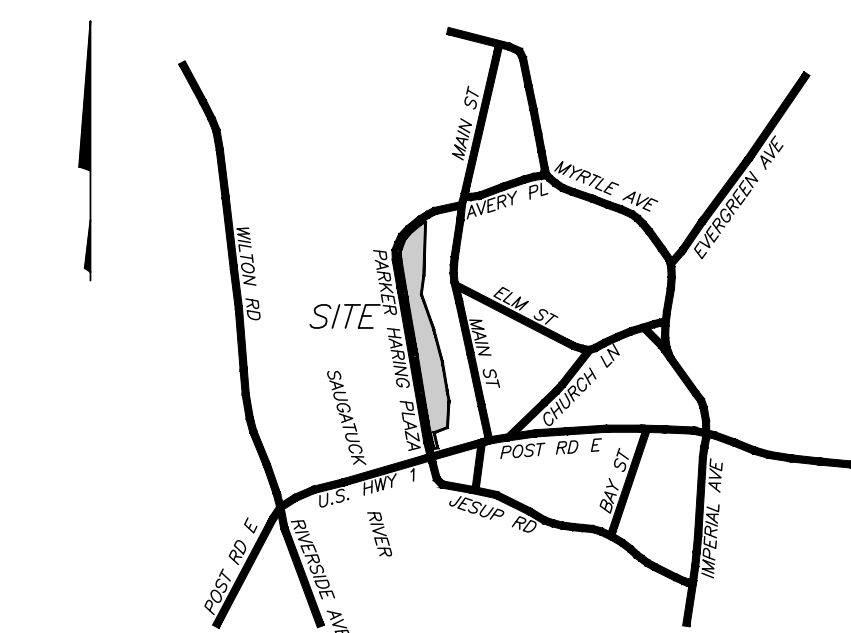
To my knowledge and belief this map is substantially correct as noted hereon.
Attila Bereczky
ATILLA BERECKY, CT
12/06/2022
DATE

DIMARZO & BERECKY
10 HIGH CIRCLE LANE
FAIRFIELD, CT 06825
203.857.4110

LAND SURVEYING
CIVIL ENGINEERING
PERMITTING

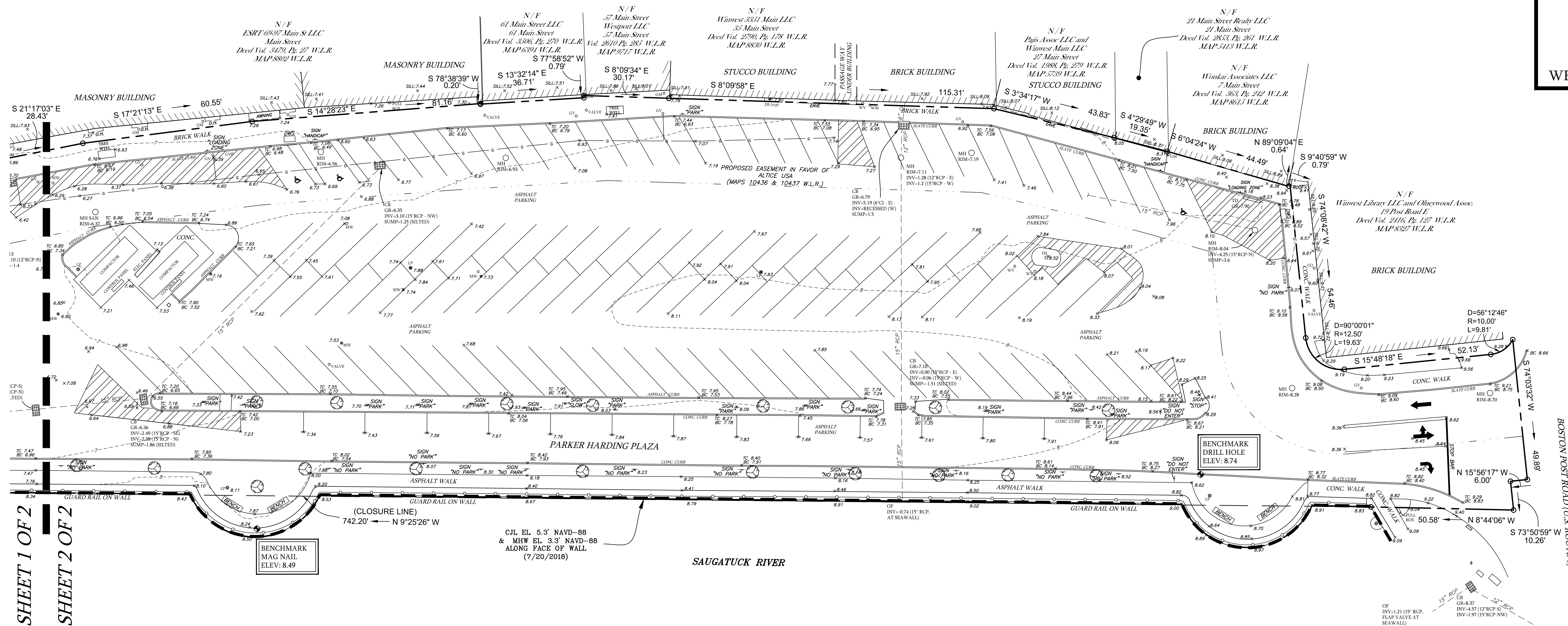
ROW 1 of 2

ORIENTATION



WESTPORT, CT

SCALE: 1"=800'



SHEET 1 OF 2
SHEET 2 OF 2

LEGEND	
SYMBOL/ABBREVIATIONS	DESCRIPTION
---	O.H. WIRES
-x-x-	OVER HEAD WIRES
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- - -	GUARD RAIL
●	ELEC. METER
○	FIRE HYDRANT
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○	GAS VALVE
○	LIGHT POLE
○	WATER METER
□	DETECTABLE WARNING SURFACE
○	DEC.
○	CON.
○	DED.

LIMITED PROPERTY & TOPOGRAPHIC SURVEY
 DEPICTING
PARKER HARDING PLAZA
 WESTPORT, CT
 PREPARED FOR
TOWN OF WESTPORT

DATE: 12/06/2022
 JOB NO. 093

0 20 40
 1"=20'

SEE SHEET ROW 1 OF 2
 FOR NOTES & CERTIFICATION

DIMARZO & BEREZKY
 LAND SURVEYING
 10 HIGH CIRCLE LANE
 FAIRFIELD, CT 06825
 203.857.4110
 CIVIL ENGINEERING
 PERMITTING

ROW 2 of 2

This document is valid only if they bears the signature and seal of the designated licensed professional. Unauthorized alterations or addition to this document shall make the contents null and void.

DEMOLITION NOTES

- GENERAL:**
- THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
 - THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
 - CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.
- DEMOLITION:**
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
 - THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

GENERAL SITE NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "LIMITED PROPERTY & TOPOGRAPHIC SURVEY" PREPARED BY DIMARZO & BERECZKY, DATED 12/06/22. SITE PLAN PREPARED FROM THIS CLASS A-2 SURVEY.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- THE CONTRACTOR AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- HANDICAP PARKING SHALL COMPLY WITH THE CT STATE BUILDING CODE REQUIREMENTS AS OF OCTOBER 2018 OR LAST REVISED.

GRADING & DRAINAGE NOTES

- STORM DRAINAGE PIPING INSTALLATION SHALL COMMENCE AT THE FURTHEST DOWNSTREAM POINT AND PROCEED UPSTREAM "IN THE DRY".
- THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE ENTIRE DRAINAGE SYSTEM OF ALL DEBRIS AND OBSTRUCTIONS BOTH DURING CONSTRUCTION AND AT THE END OF CONSTRUCTION PRIOR TO ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ALL FORMWORK FROM STRUCTURES, CONCRETE AND MORTAR DROPPINGS, CONSTRUCTION DEBRIS, AND DIRT. THE SYSTEM SHALL BE THOROUGHLY FLUSHED CLEAN AND THE CONTRACTOR SHALL FURNISH ALL NECESSARY HOSE, PUMPS, PIPE, AND OTHER EQUIPMENT THAT MAY BE REQUIRED FOR THIS PURPOSE. NO DEBRIS SHALL BE FLUSHED INTO EXISTING STORM DRAINS, WETLANDS, OR WATERCOURSES. ALL DEBRIS SHALL BE REMOVED FROM THE SYSTEM AND DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
- ALL MANHOLE COVERS, GRATES, INLETS, AND RIMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.

CONTRACTOR NOTES

- THE WORK TO BE PERFORMED IS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS MAY NOT COMPLETELY REPRESENT ALL SPECIFIC DETAILS OF INSTALLATION REQUIRED FOR CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL ENGINEERING INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND RECEIVING REVIEWS AND/OR DIRECTION ON WRITTEN REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE AND SHALL BE DEEMED TO HAVE MADE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES TOPOGRAPHIC SURVEY OF ANY AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION. ANY CONDITIONS THAT DIFFER FROM THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
- IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTE THAT THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE THE PROPOSED SANITARY AND STORM PIPING WILL CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS SO THAT AN APPROPRIATE MODIFICATION CAN BE MADE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWN OF WESTPORT TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, TOWN OF WESTPORT AND STATE OF CONNECTICUT.

ABBREVIATIONS

- | | |
|---------------------------------------|--|
| SWL - SINGLE WHITE LINE | MH - MANHOLE |
| DYL - DOUBLE YELLOW LINE | CCB - CURBED CATCH BASIN (STORM INLET) |
| BWL - BROKEN WHITE LINE | INV - INVERT |
| CLF - CHAIN LINK FENCE | LF - LINEAR FEET |
| AD - AREA DRAIN | CO - CLEAN OUT |
| CB - CATCH BASIN | TF - TOP OF FRAME |
| TYP - TYPICAL | RCP - REINFORCED CONCRETE PIPE |
| N.I.C. - NOT IN CONTRACT | YD - YARD DRAIN |
| HDPE - HIGH DENSITY POLYETHYLENE PIPE | V.I.F. - VERIFY IN FIELD |
| PVC - POLYVINYL CHLORIDE PIPE | GTD - GRADE TO DRAIN |
| RL - ROOF LEADER | LA - LANDSCAPE AREA |

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING EXCAVATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
 - LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
 - GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
- ELECTRIC, TELEPHONE, & GAS:**
- CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.

WATER & SANITARY:

- GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY". THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING UTILITY DOWNSTREAM. IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

LEGEND

	EXISTING	PROPOSED
BUILDING LINE		
DOOR LOCATION		
CURB LINE		
PROPERTY LINE		
PARKING COUNT		
CROSSWALK		
PAVEMENT MARKING		
DIRECTION OF TRAVEL		
TRAFFIC SIGN		
SIGN DESIGNATION		
CONCRETE SIDEWALK		
SAWCUT LINE		
CONTOUR		
SPOT ELEVATION		
STORM PIPE		
CATCH BASIN		
AREA DRAIN		
YARD DRAIN		
STORM MANHOLE		
SANITARY SEWER MAIN		
SANITARY MANHOLE		
CLEANOUT		
WATER MAIN (DOMESTIC)		
FIRE PROTECTION		
FIRE HYDRANT		
WATER GATE VALVE		
SIAMSE CONNECTION		
GAS VALVE		
GAS LINE		
GAS METER		
OVERHEAD WIRES		
UTILITY POLE		
LIGHT POLE		
UNDERGROUND ELECTRIC		
ELECTRIC MANHOLE		
ELECTRIC/TRAFFIC VAULT		
UNDERGROUND TELECOMM		
TELEPHONE MANHOLE		
TRANSFORMER		
LIMIT OF DISTURBANCE		
SILT SOCK		
PROPOSED INLET PROTECTION		
CONSTRUCTION FENCE		
ANTI-TRACKING PAD		
HAYBALES		
ZONE LINES		
BUILDING DOORS		

SIGN LEGEND

<p>NOTES:</p> <ol style="list-style-type: none"> ALL PAVEMENT MARKINGS, INCLUDING HANDICAP, MUST CONFORM IN COLOR AND SIZE TO THE MOST RECENT EDITION OF CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG OF SIGNS. ABOVE GRADE SIGNS FOR HANDICAP SPACES MUST MEET THE SPECIFICATIONS AS PRESCRIBED BY THE STATE STATUTE AND THE STATE BUILDING CODE. ALL SIGNS MUST MEET THE REQUIREMENTS AND MOUNTING HEIGHT AS PUBLISHED IN THE MOST RECENT EDITION OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG OF SIGNS AND ITS ADDENDUMS (INC. STOP AND FIRE LANE). ALL SIGN SIZES MUST MEET THE REQUIREMENTS AS PUBLISHED IN THE MOST RECENT EDITION OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG OF SIGNS AND ITS ADDENDUMS. 							

Date	Description	No.
Revisions		
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Project

RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA

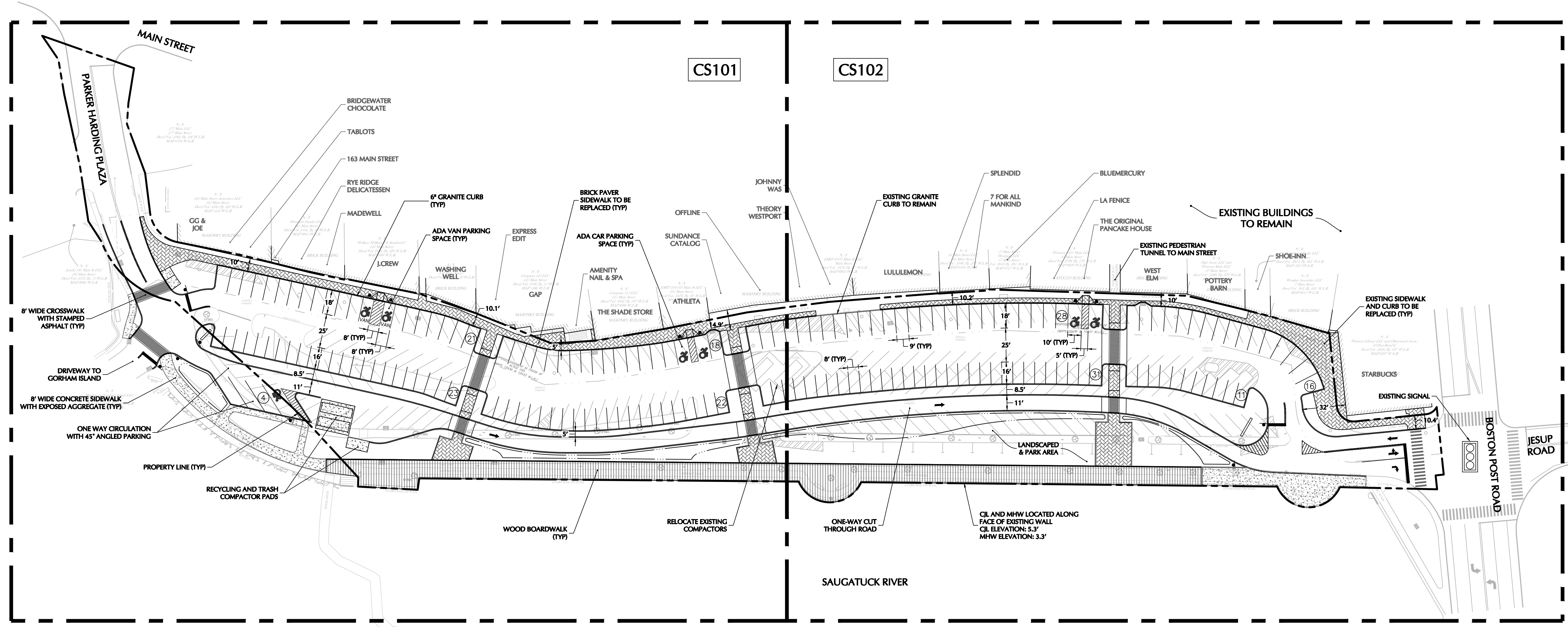
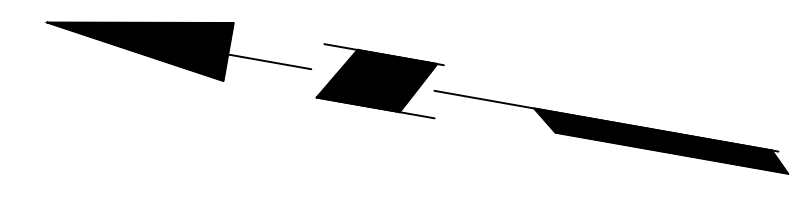
WESTPORT CONNECTICUT

Fairfield County

Drawing Title

MASTER LEGEND & NOTES

Project No.	Drawing No.
140251201	<h1>CS002</h1>
Date	
09/14/2023	
Drawn By	
Checked By	
CMD	
DTG	



PARKING COUNT	
EXISTING	214
PROPOSED	174
DELTA	-40

Date	Description	No.
Revisions		

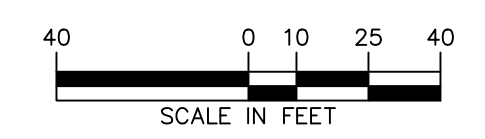


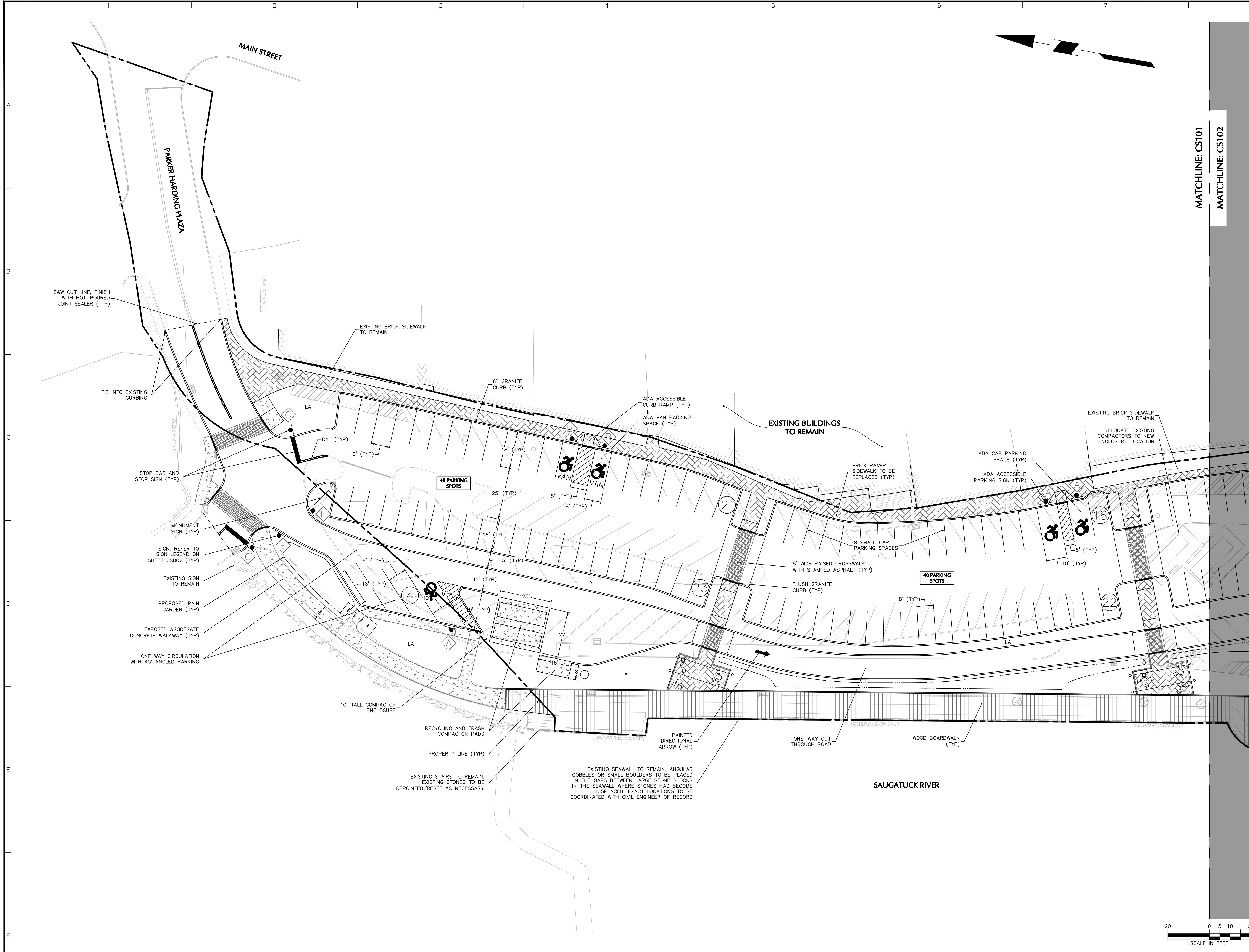
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 New Haven, CT 06511
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Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA
 WESTPORT CONNECTICUT
 FAIRFIELD COUNTY

Drawing Title
OVERALL SITE PLAN

Project No. 140251201	Drawing No. CS100
Date 09/14/2023	
Drawn By CMD	
Checked By DTG	





MATCHLINE: CS101
 MATCHLINE: CS102

Date	Description	No.
Revisions		

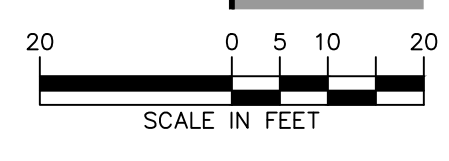


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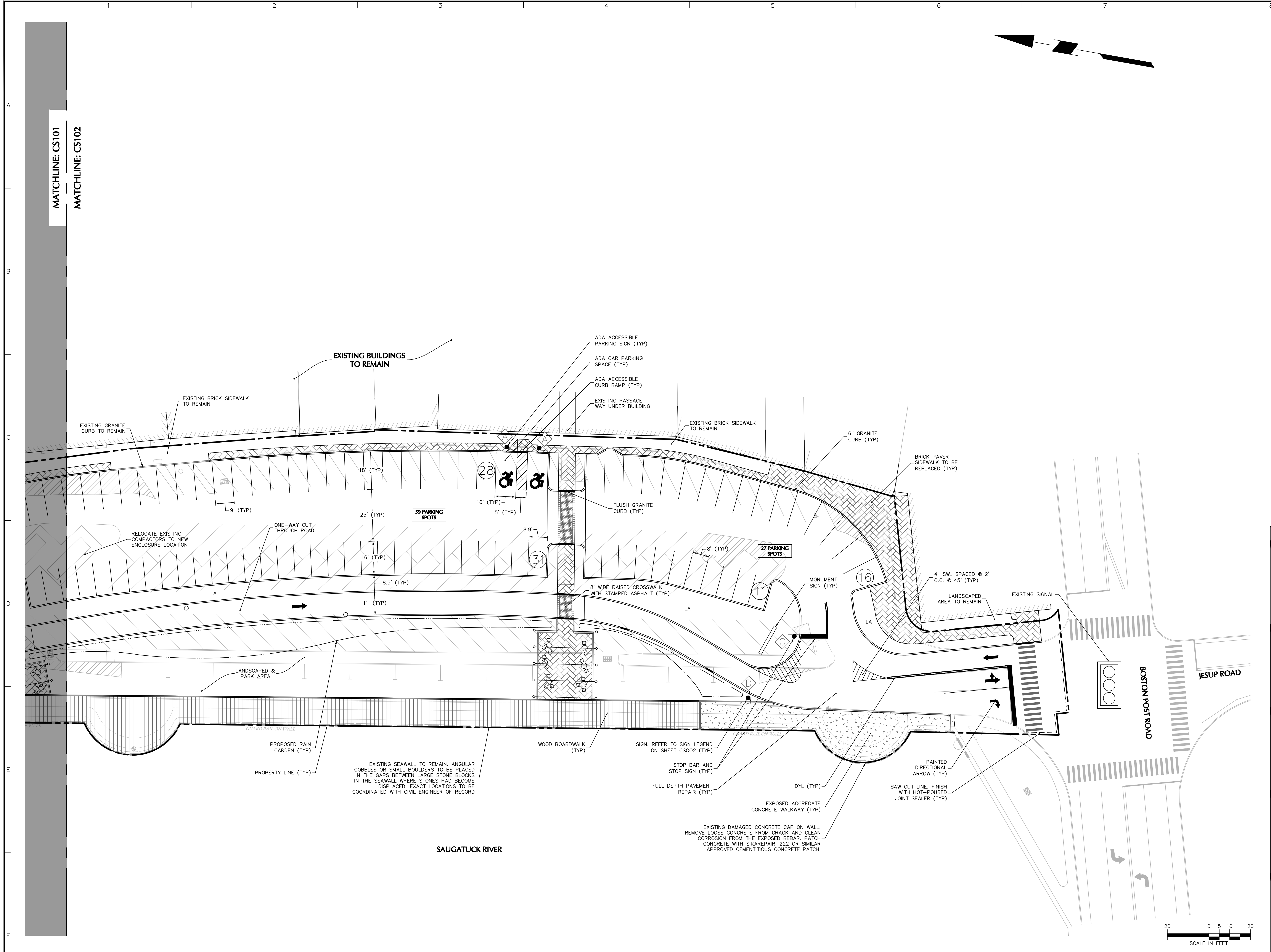
Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA
 WESTPORT CONNECTICUT
 FAIRFIELD COUNTY

Drawing Title
SITE PLAN I

Project No. 140251201	Drawing No. CS101
Date 09/14/2023	
Drawn By CMD	
Checked By DTG	

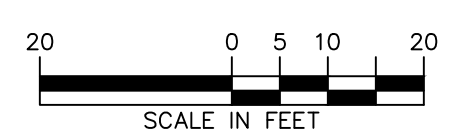


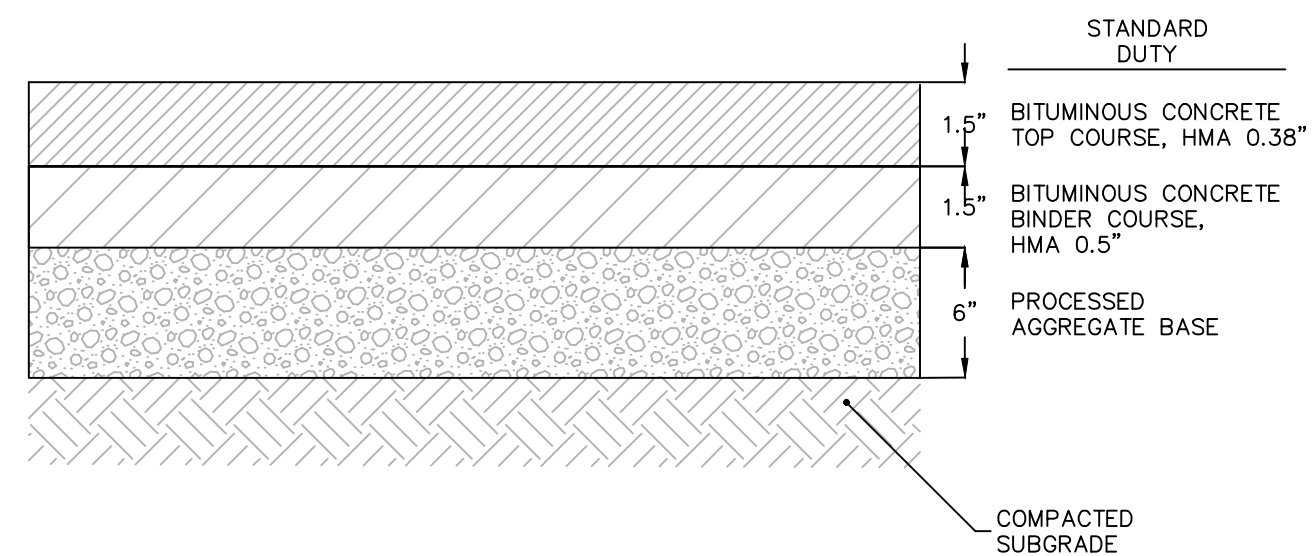
Project No. 140251201 LANEAN



MATCHLINE: CS101
MATCHLINE: CS102

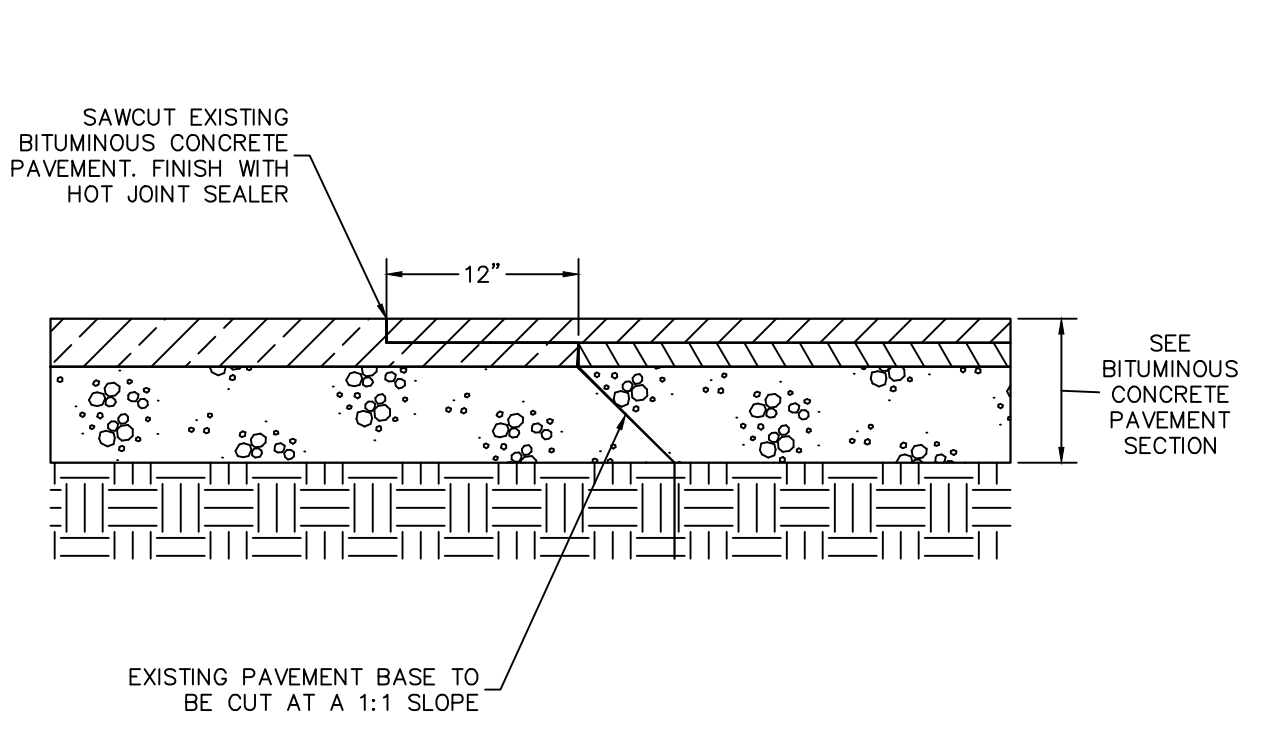
Date	Description	No.
Revisions		
		
LANGAN Langan Engineering and Environmental Services, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project		
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA		
WESTPORT		
FAIRFIELD COUNTY CONNECTICUT		
Drawing Title		
SITE PLAN II		
Project No.	Drawing No.	
140251201	CS102	
Date		
09/14/2023		
Drawn By		
CMD	Checked By	
DTG		





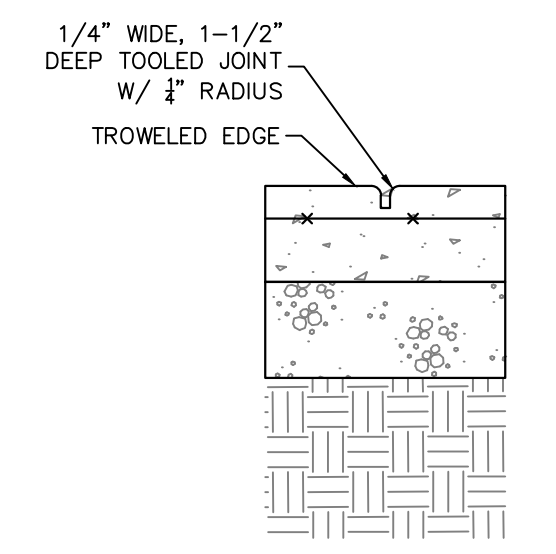
- NOTES:**
- PRIOR TO ANY PAVING ACTIVITIES, THE SUBGRADE OR SUBBASE SHALL BE PROOF ROLLED.
 - PAVING BASECOURSE SHALL BE CONSTRUCTED IN LAYERS NOT LESS THAN 1.5 INCHES AND NOT MORE THAN 5 INCHES THICK PER LIFT.
 - ALL AREAS TO BE PAVED SHALL BE PROOFROLLED WITH AT LEAST 4 PASSES OF EITHER A SMOOTH ROLLER HAVING A MINIMUM STATIC DRUM WEIGHT OF 5-TONS OR A FULLY LOADED TANDEM DUMP TRUCK. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH CLEAN, GRANULAR, FREE-DRAINING SOIL. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 12-INCHES AND SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
 - PAVEMENT CLASSES REFER TO CONNECTICUT, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 818.

1 STANDARD DUTY ASPHALT PAVEMENT
N.T.S.



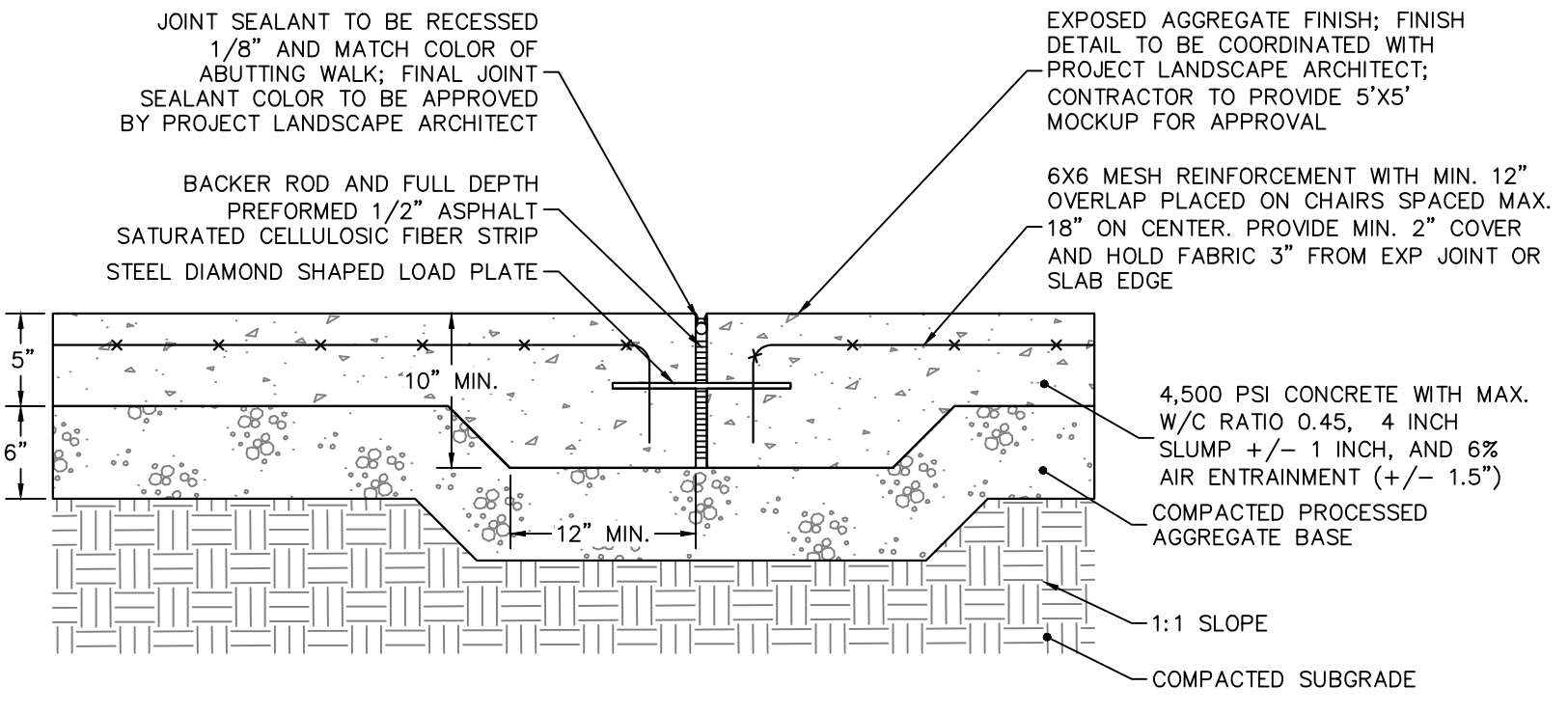
- NOTES:**
- CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

2 PAVEMENT SAWCUT
N.T.S.



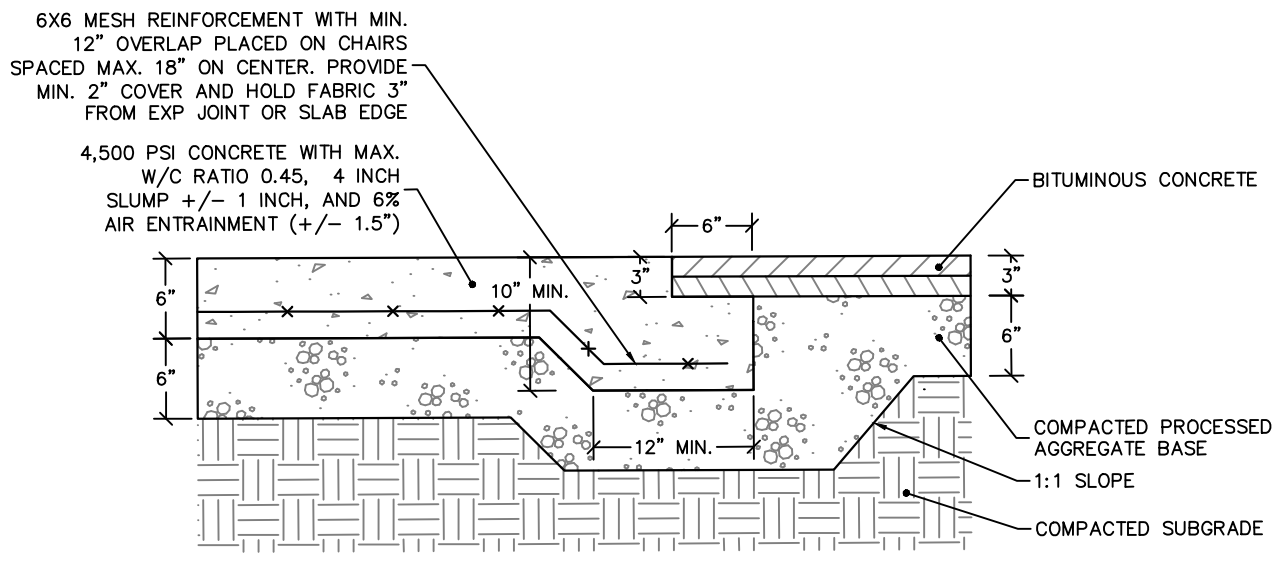
- NOTES:**
- SIDEWALK TO BE PLACED BETWEEN APRIL 15-OCTOBER 15 UNLESS PRIOR APPROVAL FROM TOWN IS GRANTED.
 - HAUNCH TO BE INSTALLED AT ALL EXPANSION JOINTS AND IN ALL LOCATIONS WHERE WALKWAY ABUTS ADJACENT FIXED OBJECT.
 - LOAD PLATES SHALL BE USED IN LIEU OF ROUND DOWELS EXCEPT AT AREAS WHERE PROPOSED WALK TIES INTO EXISTING, IN AREAS WHERE USED, DOWELS TO BE 12" LONG, 1/2" DIAMETER EPOXY COATED STEEL LOCATED 18" ON CENTER, GREASE ONE END.
 - LOAD PLATES, DOWELS, AND EXPANSION JOINTS SHALL BE UTILIZED AT ALL LOCATIONS WHERE CONCRETE IS POURED ABUTTING STATIONARY OBJECTS.
 - EXPANSION AND CONTROL JOINTS SHALL BE INSTALLED PER LAYOUT AND DIMENSIONING PLANS. IF NOT SPECIFICALLY DETAILED MAXIMUM SPACING OF JOINTS SHALL BE AS FOLLOWS:
EXPANSION - 24 FT.
CONTROL - 8 FT.
 - CONTRACTOR TO SUBMIT JOINT LAYOUT FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE 10'X10' MOCK UP FOR REVIEW BY UNIVERSITY AND PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

3 EXPOSED AGGREGATE CONCRETE
N.T.S.



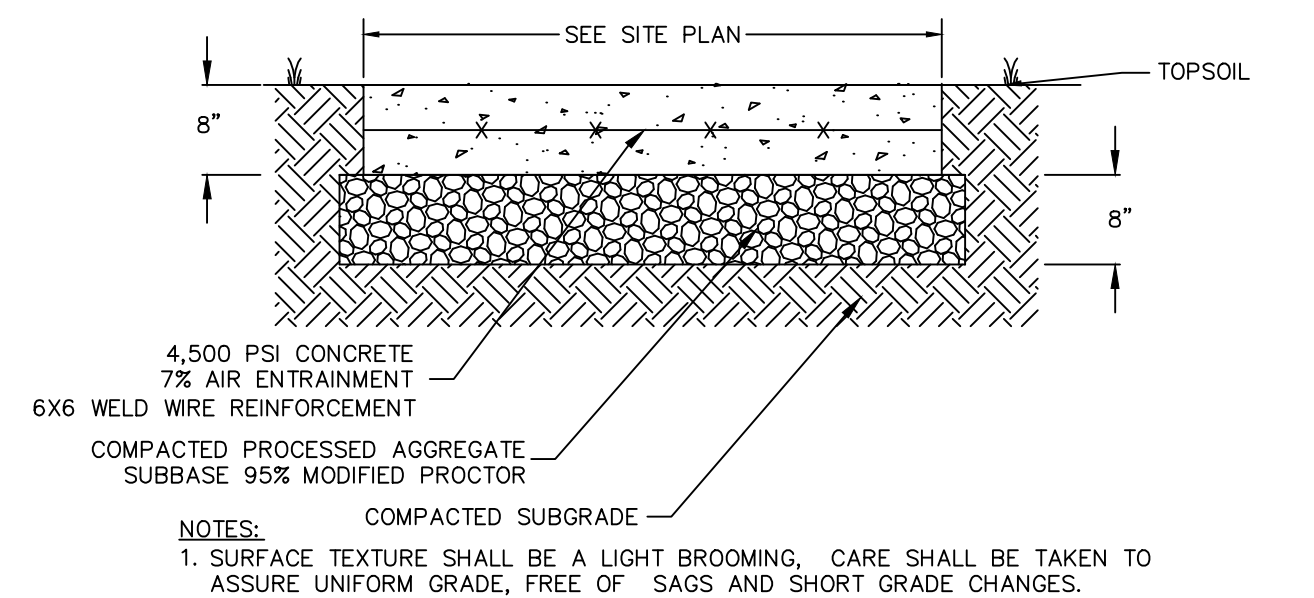
- NOTES:**
- CONTRACTOR TO PROVIDE 5'X5' MOCKUP FOR APPROVAL
 - DETAIL TO BE COORDINATED WITH PROJECT LANDSCAPE ARCHITECT
 - SEALANT COLOR TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT
 - 1/8" AND MATCH COLOR OF ABUTTING WALK; FINAL JOINT
 - BACKER ROD AND FULL DEPTH PREFORMED 1/2" ASPHALT SATURATED CELLULOSIC FIBER STRIP
 - STEEL DIAMOND SHAPED LOAD PLATE
 - 6X6 MESH REINFORCEMENT WITH MIN. 12" OVERLAP PLACED ON CHAIRS SPACED MAX. 18" ON CENTER. PROVIDE MIN. 2" COVER AND HOLD FABRIC 3" FROM EXP JOINT OR SLAB EDGE
 - 4,500 PSI CONCRETE WITH MAX. W/C RATIO 0.45, 4 INCH SLUMP +/- 1 INCH, AND 6% AIR ENTRAINMENT (+/- 1.5%)
 - COMPACTED PROCESSED AGGREGATE BASE
 - 1:1 SLOPE
 - COMPACTED SUBGRADE

4 CONCRETE/ASPHALT INTERFACE
N.T.S.



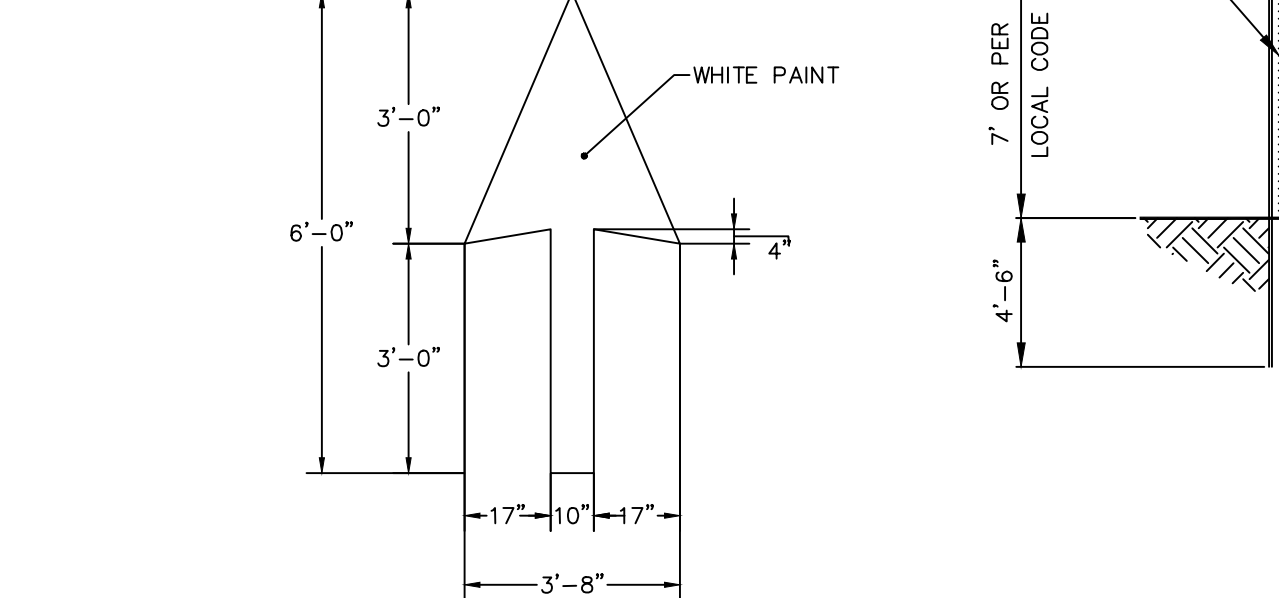
NOTE: REFER TO DETAIL 3/CS501 FOR ADDITIONAL NOTES ON CONCRETE SIDEWALK.

4 CONCRETE/ASPHALT INTERFACE
N.T.S.

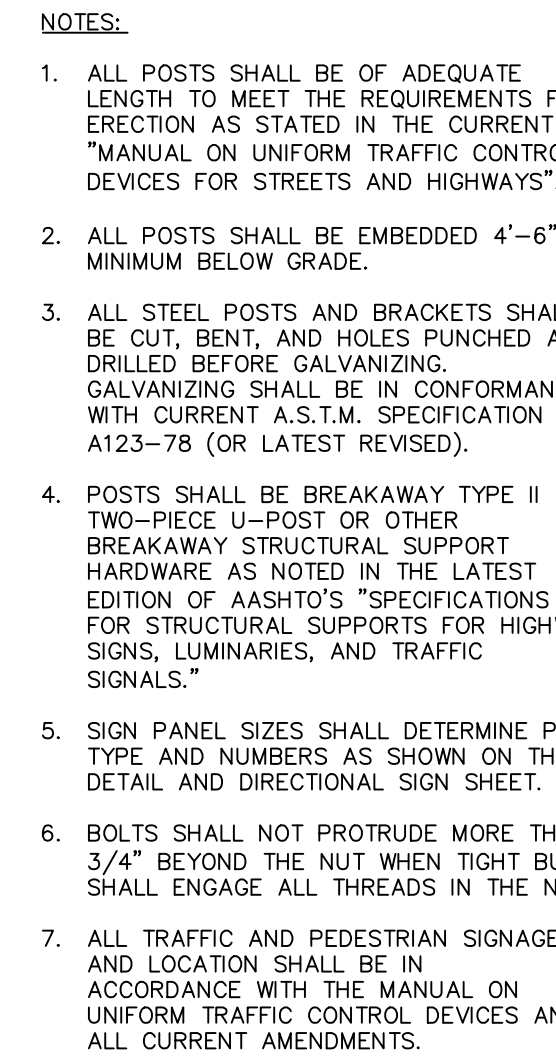


- NOTES:**
- SURFACE TEXTURE SHALL BE A LIGHT BROOMING. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.

5 CONCRETE PAD
N.T.S.

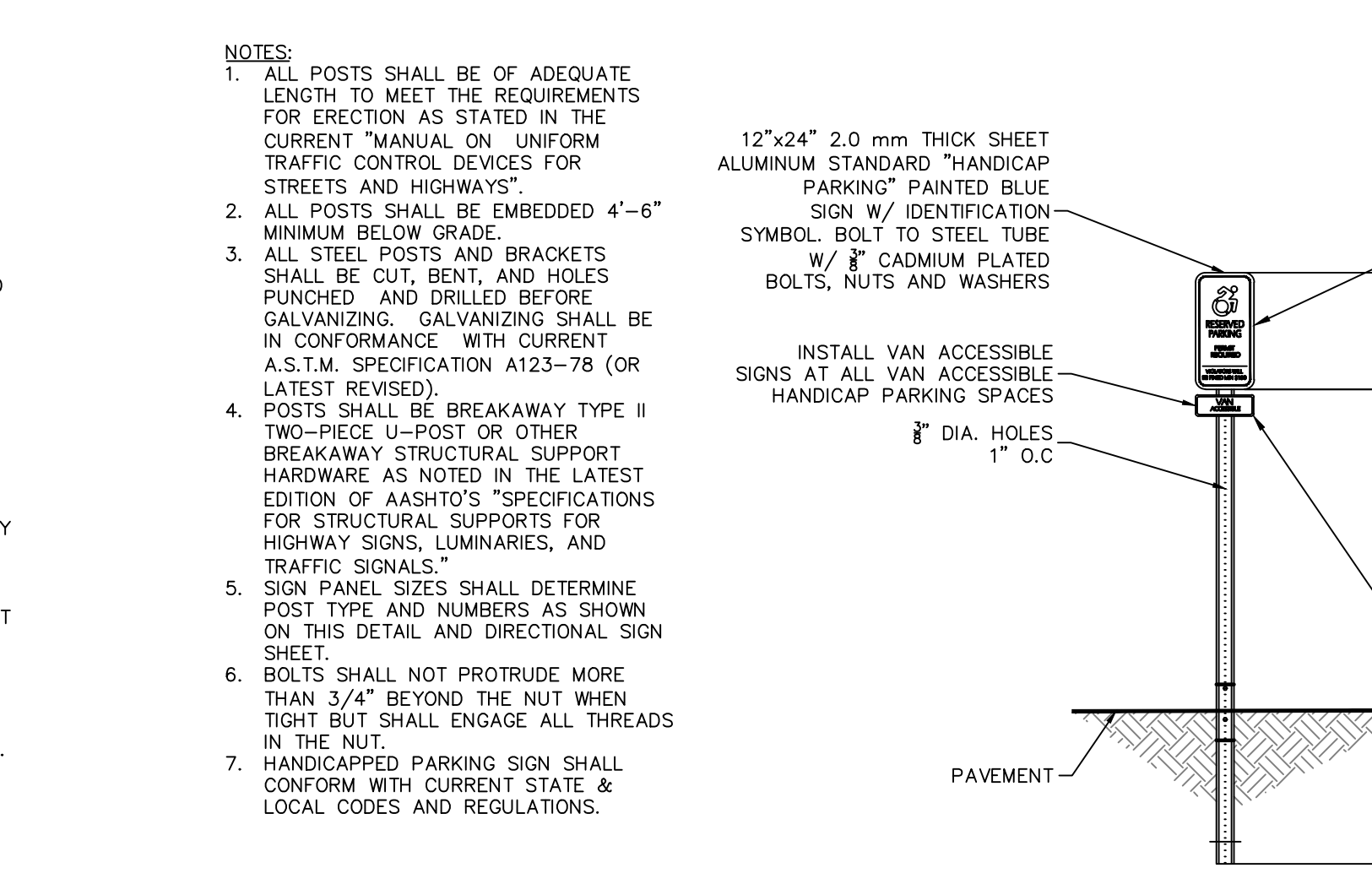


6 PAVEMENT MARKINGS
N.T.S.



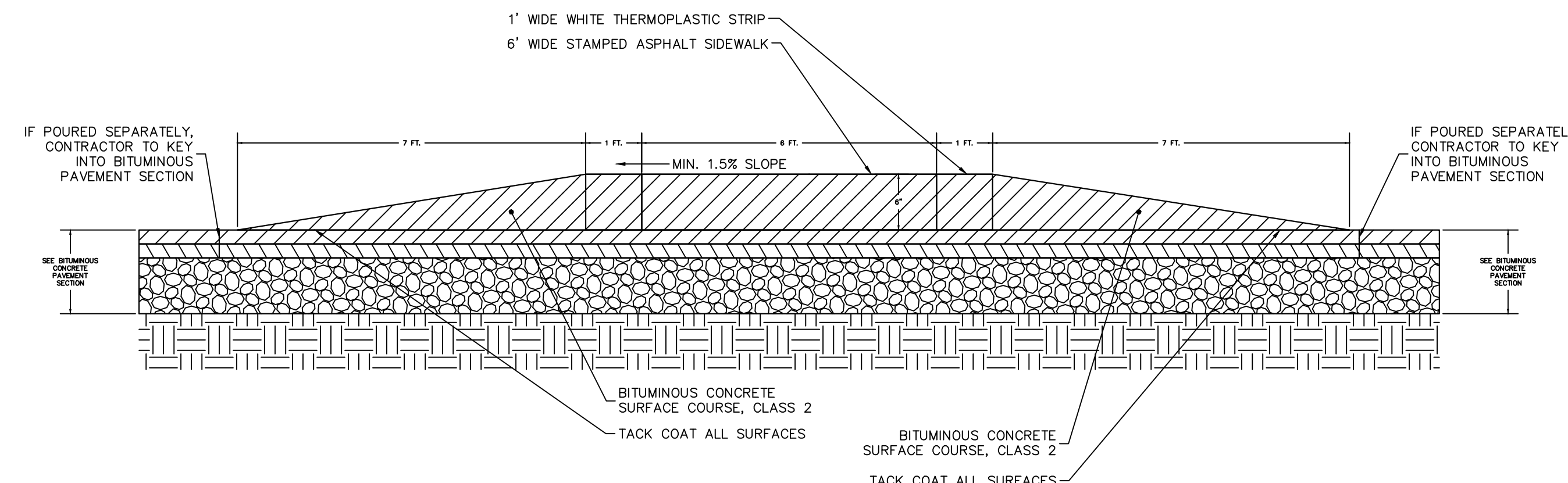
- NOTES:**
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
 - ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 - POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
 - SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 - BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
 - ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.

7 TRAFFIC SIGN POST
N.T.S.



- NOTES:**
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
 - ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 - POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
 - SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 - BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
 - HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.

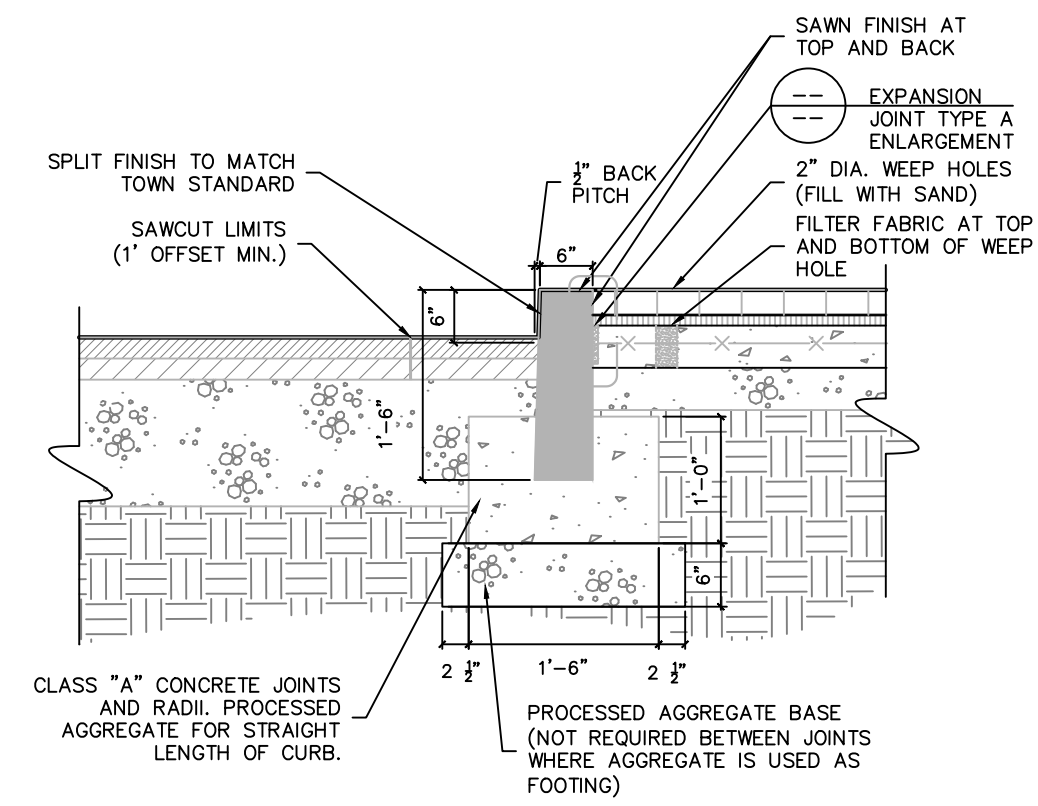
8 ADA ACCESSIBLE PARKING SIGN
N.T.S.



- NOTES:**
- BITUMINOUS CONCRETE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 818 SECTION 4.06, LATEST REVISION
 - RAISED PORTION TO BE FULL WIDTH OF ROADWAY
 - INSTALL THE EDGE OF THE DETECTABLE WARNING STRIP 6" (150) FROM THE EDGE OF ROAD
 - TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID IN THE DIRECTION OF PEDESTRIAN TRAVEL
 - DETECTABLE WARNING PLATES WITH TRUNCATED DOMES SHOULD BE INSTALLED AT ALL FLUSH CURB LOCATIONS
 - PROVIDE 3" X 6" HAUNCH IN ALL AREAS WHERE CONCRETE ABUTS BITUMINOUS AS SHOWN IN DETAIL ABOVE

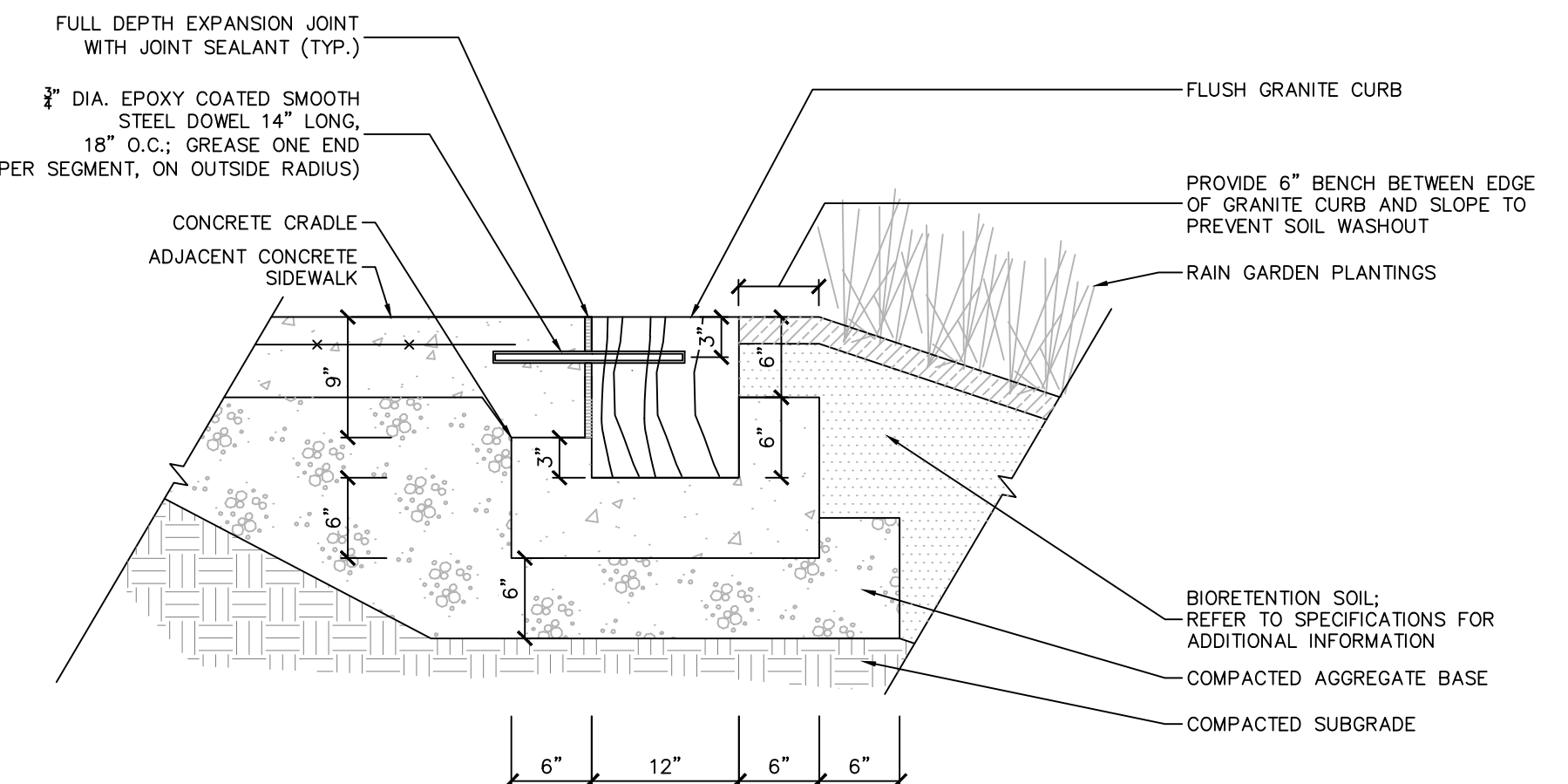
9 RAISED CROSSWALK
N.T.S.

Date	Description	No.
Revisions		
Signature		Date
LANGAN Langan Engineering and Environmental Services, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA WESTPORT CONNECTICUT		
Drawing Title SITE DETAILS I		
Project No. 140251201	Drawing No. CS501	
Date 09/14/2023		
Drawn By CMD		
Checked By DTG		



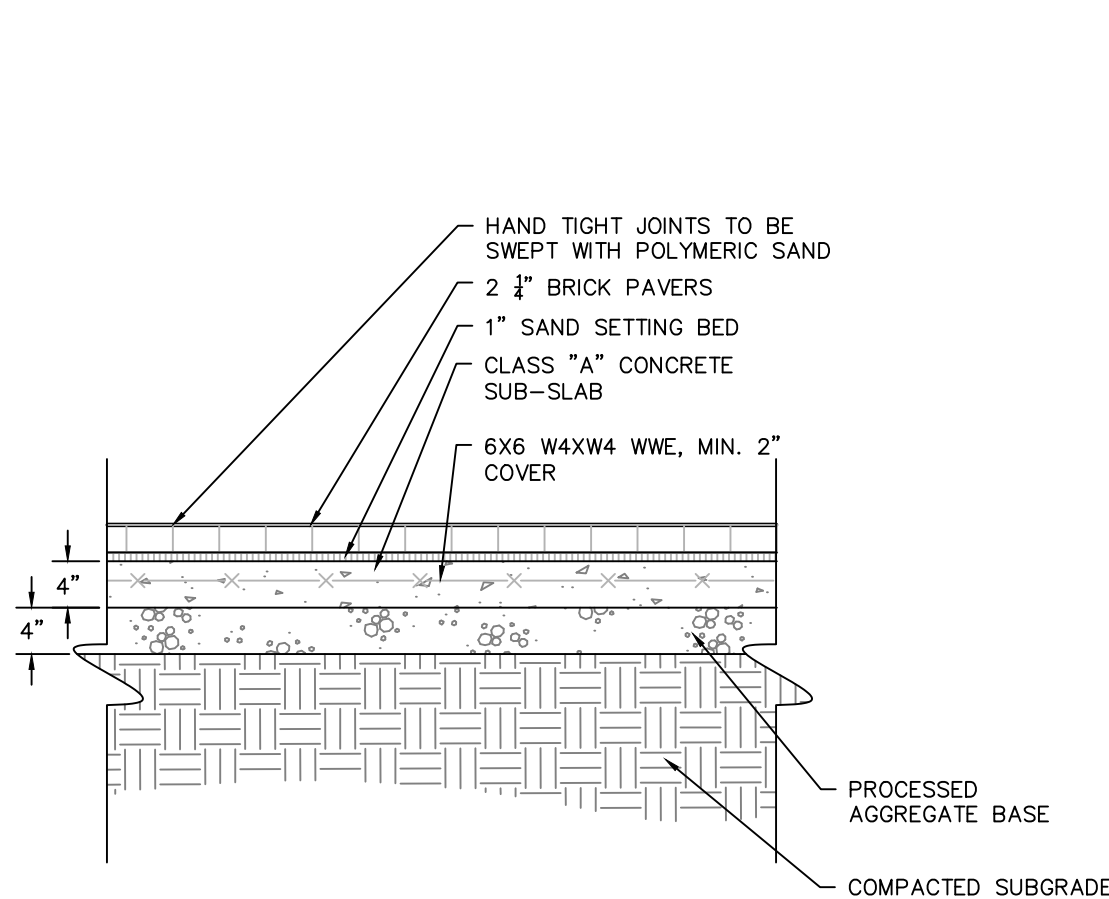
- NOTES:
- CURBING TO BE WILLIAMS STONE BLUE SKY (OR APPROVED EQUAL) TO MATCH EXISTING ADJACENT CURBING.
 - TOP, BOTTOM, AND ENDS OF CURB SEGMENTS TO BE SAWN, FRONT FACES OF CURB TO BE SPLIT, REAR FACES OF CURBS ADJACENT TO SITE HARDSCAPE TO BE SAWN.
 - GROUT ALL JOINTS TO MATCH STONE CURB.
 - CONTRACTOR TO SUBMIT PRODUCT DATA FOR REVIEW PRIOR TO INSTALLATION.

1 **6" GRANITE CURB**
N.T.S.

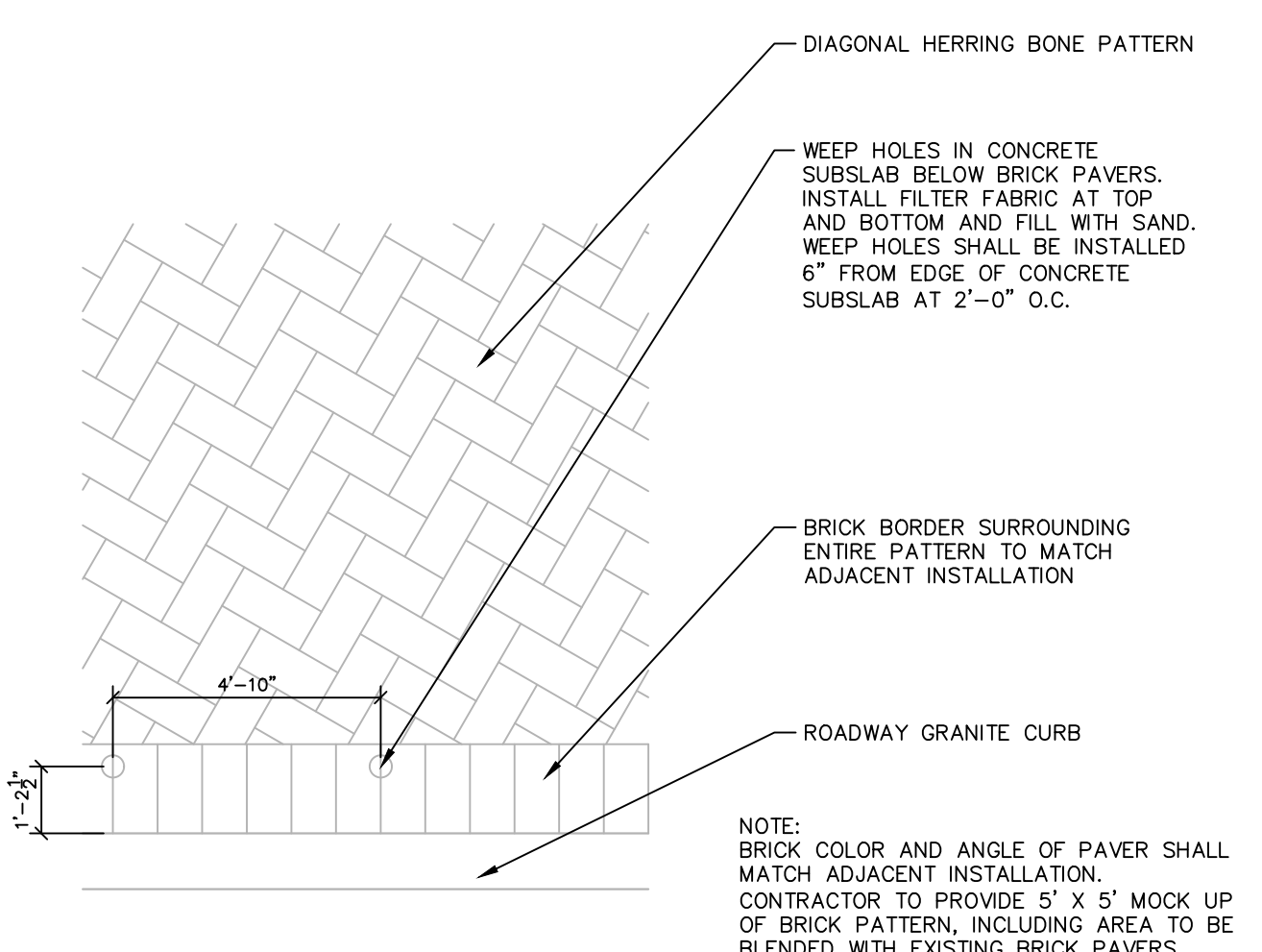


- NOTE:
- CONTRACTOR TO PROVIDE PRODUCT DATA FOR REVIEW PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE FULLY DETAILED SHOP DRAWINGS OF ALL FLUSH GRANITE CURBS FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE 10' MOCK-UP OF FLUSH CURB FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

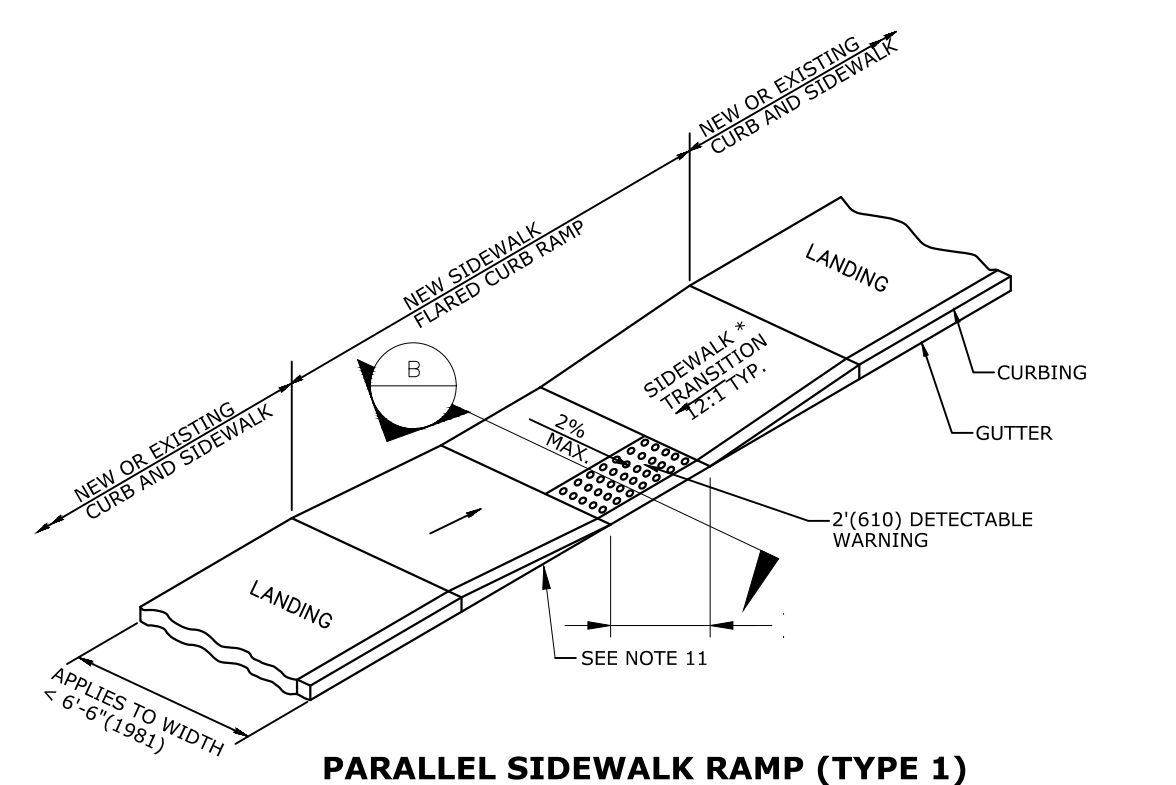
2 **FLUSH GRANITE CURB**
N.T.S.



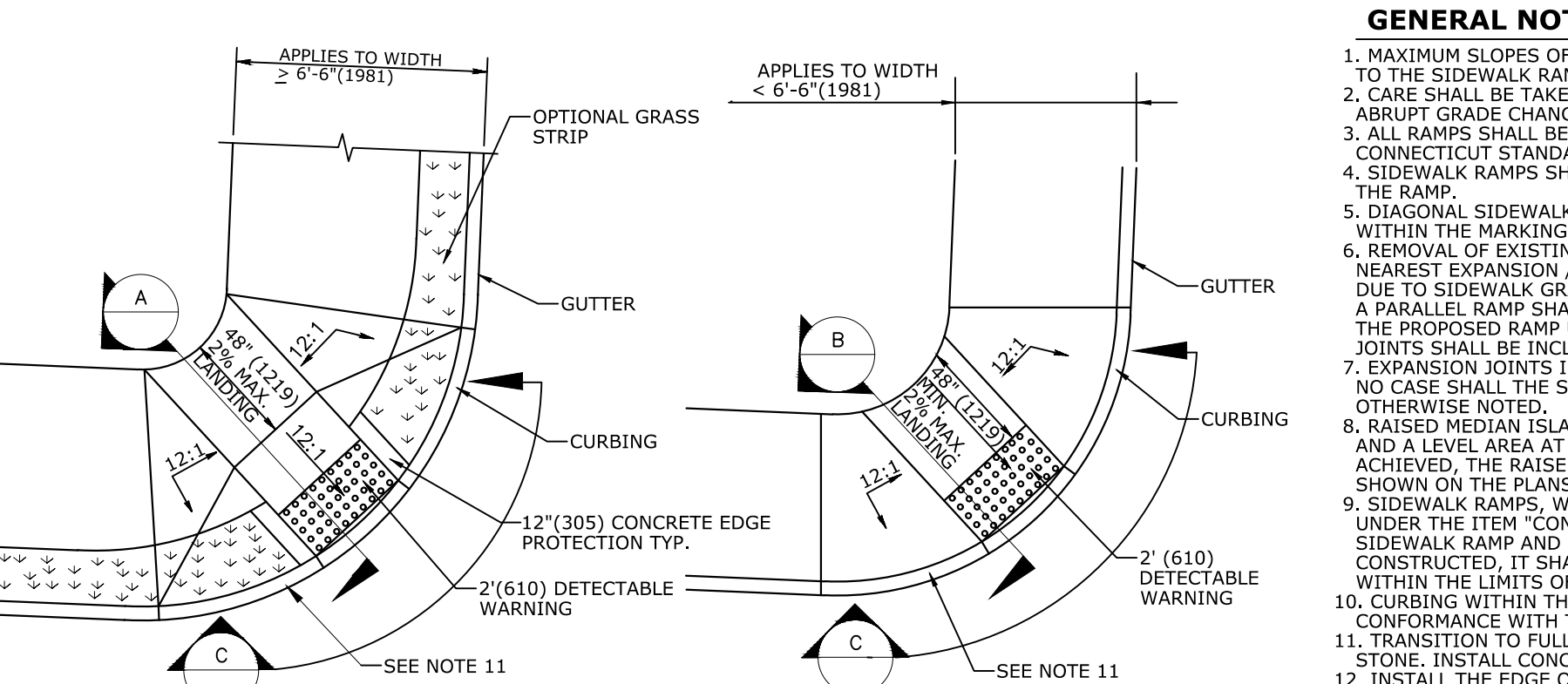
3 **BRICK PAVER**
N.T.S.



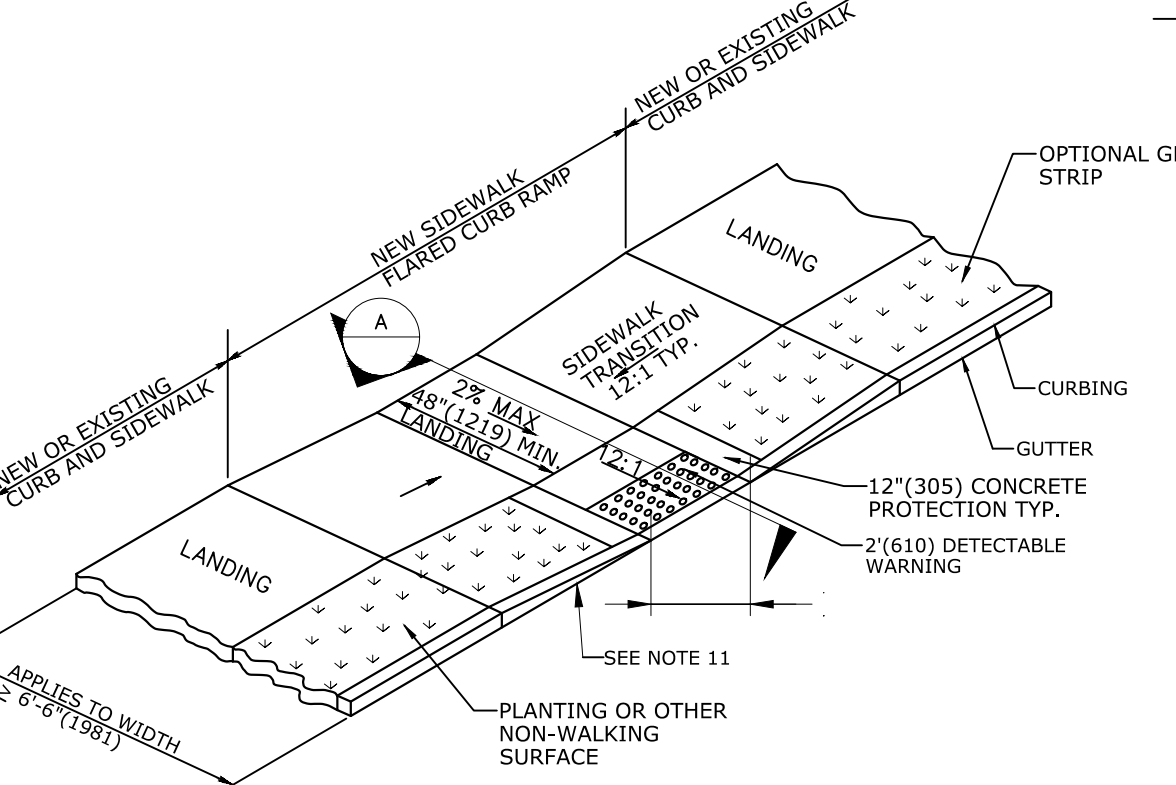
4 **BRICK PATTERN**
N.T.S.



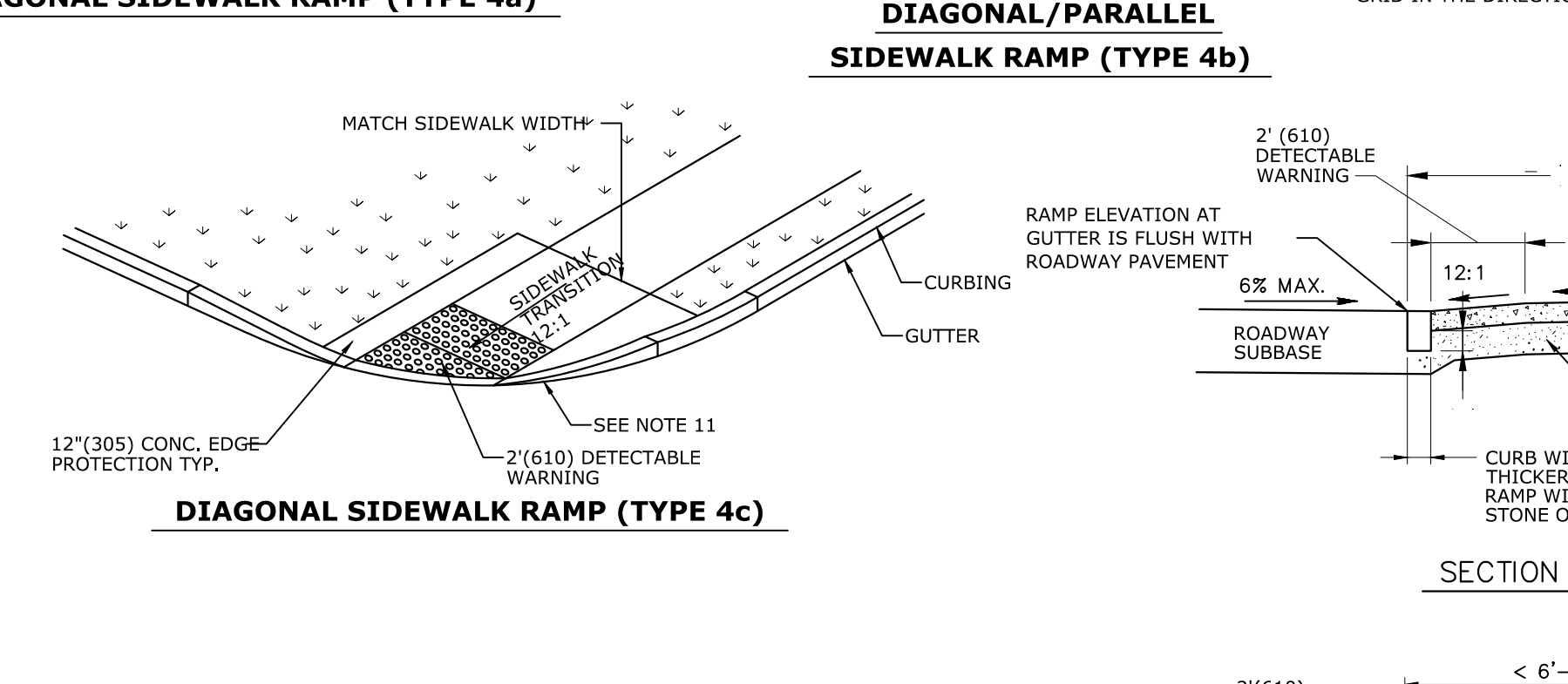
PARALLEL SIDEWALK RAMP (TYPE 1)



DIAGONAL SIDEWALK RAMP (TYPE 4a)
DIAGONAL/PARALLEL SIDEWALK RAMP (TYPE 4b)

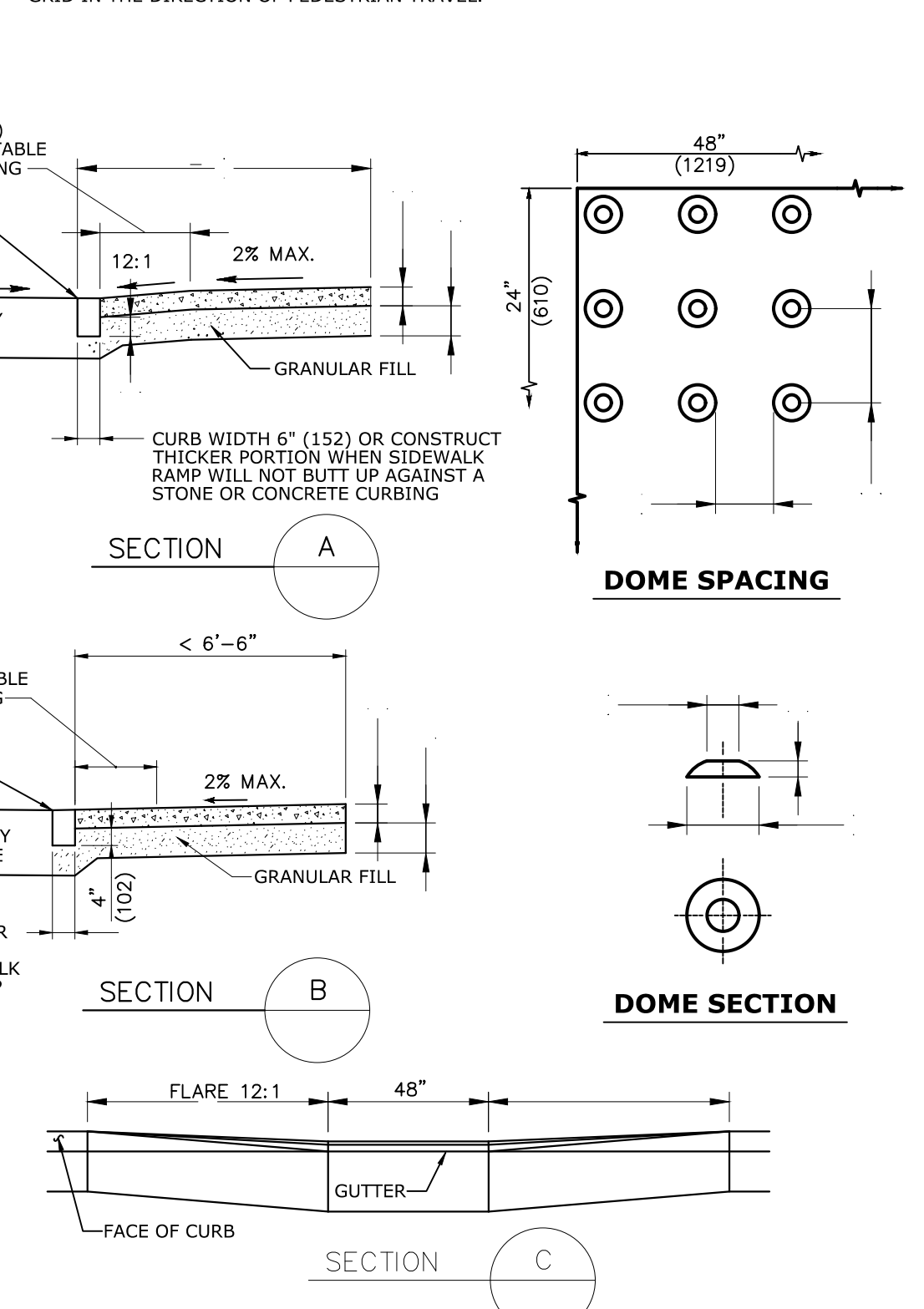


PERPENDICULAR SIDEWALK RAMP (TYPE 2)

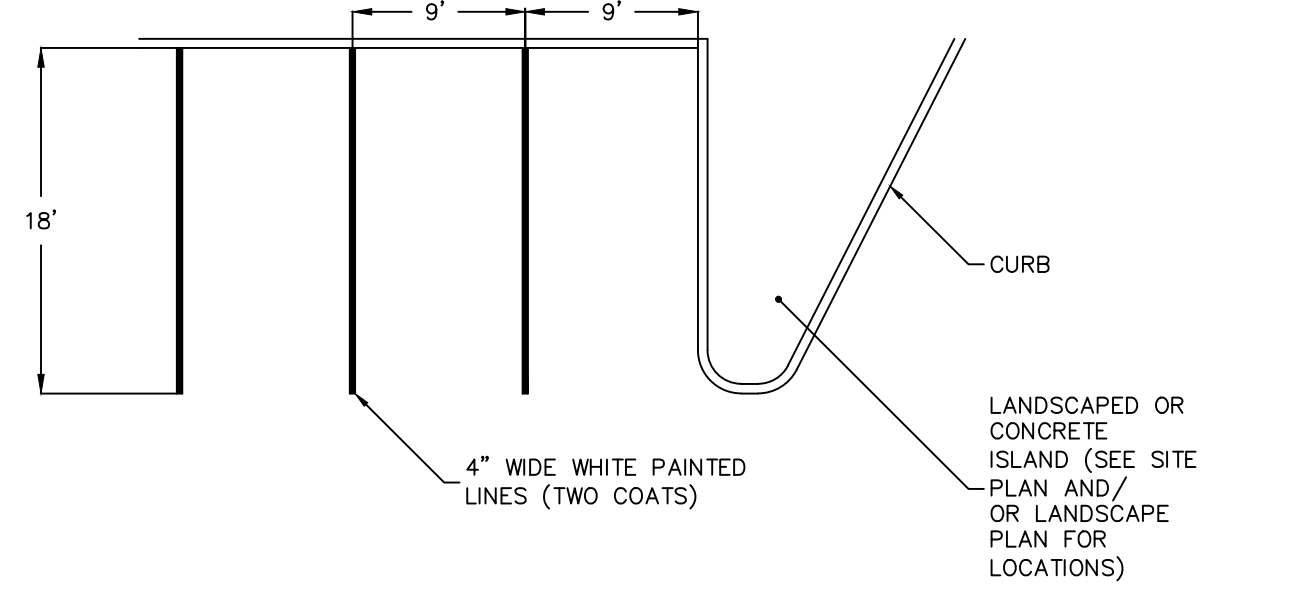


DIAGONAL SIDEWALK RAMP (TYPE 4c)

- GENERAL NOTES:**
- MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
 - CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
 - ALL RAMP SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
 - SIDEWALK RAMP SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
 - DIAGONAL SIDEWALK RAMP AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
 - REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION / CONTRACTION JOINT OR DUMMY JOINT. 12:1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECOGNITION OF THIS, A MINIMUM LIMIT OF 15' (4.57m) FOR A PARALLEL RAMP SHALL BE USED. REMOVAL SHALL NOT BE FURTHER THAN 2' (610) FROM THE PROPOSED RAMP UNLESS DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR DUMMY JOINTS SHALL BE INCLUDED IN THE COST OF "CONCRETE SIDEWALK".
 - EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' (3.66m) UNLESS OTHERWISE NOTED.
 - RAISED MEDIAN ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMP AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' (1219) LONG BETWEEN THE RAMP. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 - SIDEWALK RAMP, WHEN CONSTRUCTED IN CONJUNCTION WITH SIDEWALK, SHALL BE PAID FOR UNDER THE ITEM "CONCRETE SIDEWALK", INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS. WHEN JUST A SIDEWALK RAMP IS CONSTRUCTED, IT SHALL BE PAID FOR UNDER THE ITEM "SIDEWALK RAMP" INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK AND DETECTABLE WARNING STRIP.
 - CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 816 SECTIONS 8.11 AND 8.13.
 - TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
 - INSTALL THE EDGE OF THE DETECTABLE WARNING STRIP 6" (152) FROM THE EDGE OF ROAD.
 - TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID IN THE DIRECTION OF PEDESTRIAN TRAVEL.

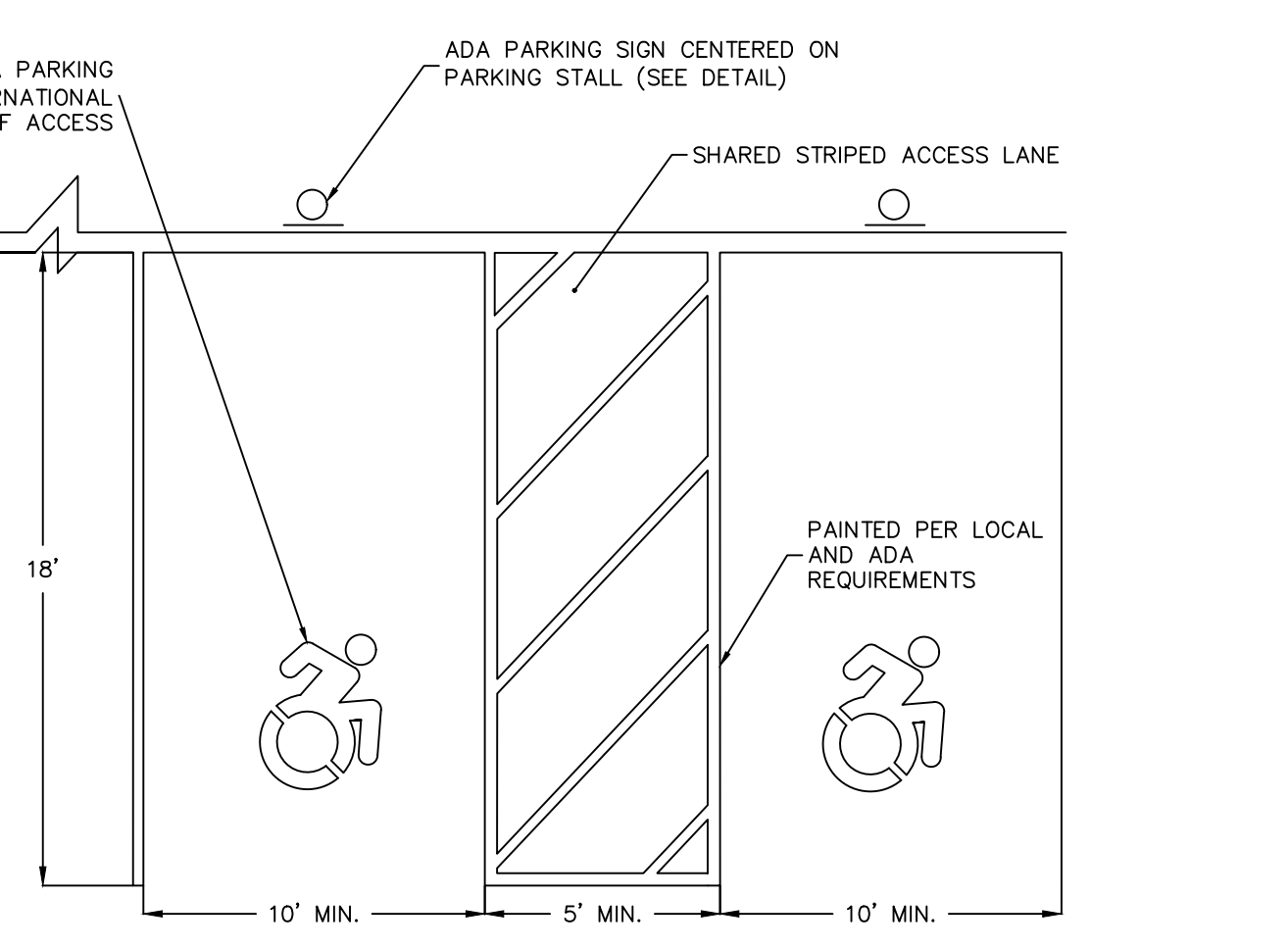


ACCESSIBLE SIDEWALK RAMPS
N.T.S.



- NOTES:
- TWO COATS OF TRAFFIC TYPE EPOXY PAINT SHALL BE USED FOR PARKING STALL STRIPING. ALLOW A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 - APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT.

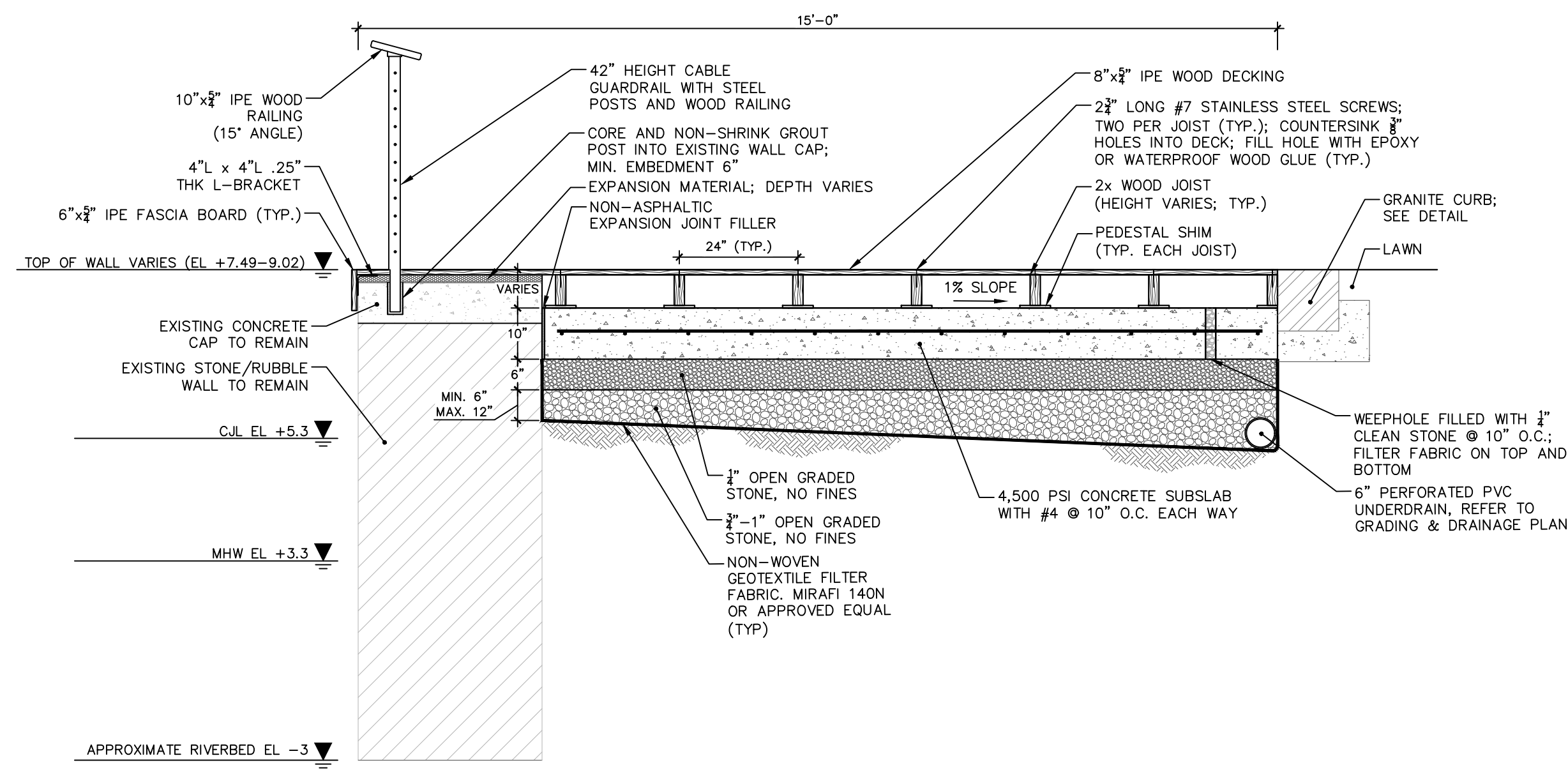
6 **PARKING STALL STRIPING**
N.T.S.



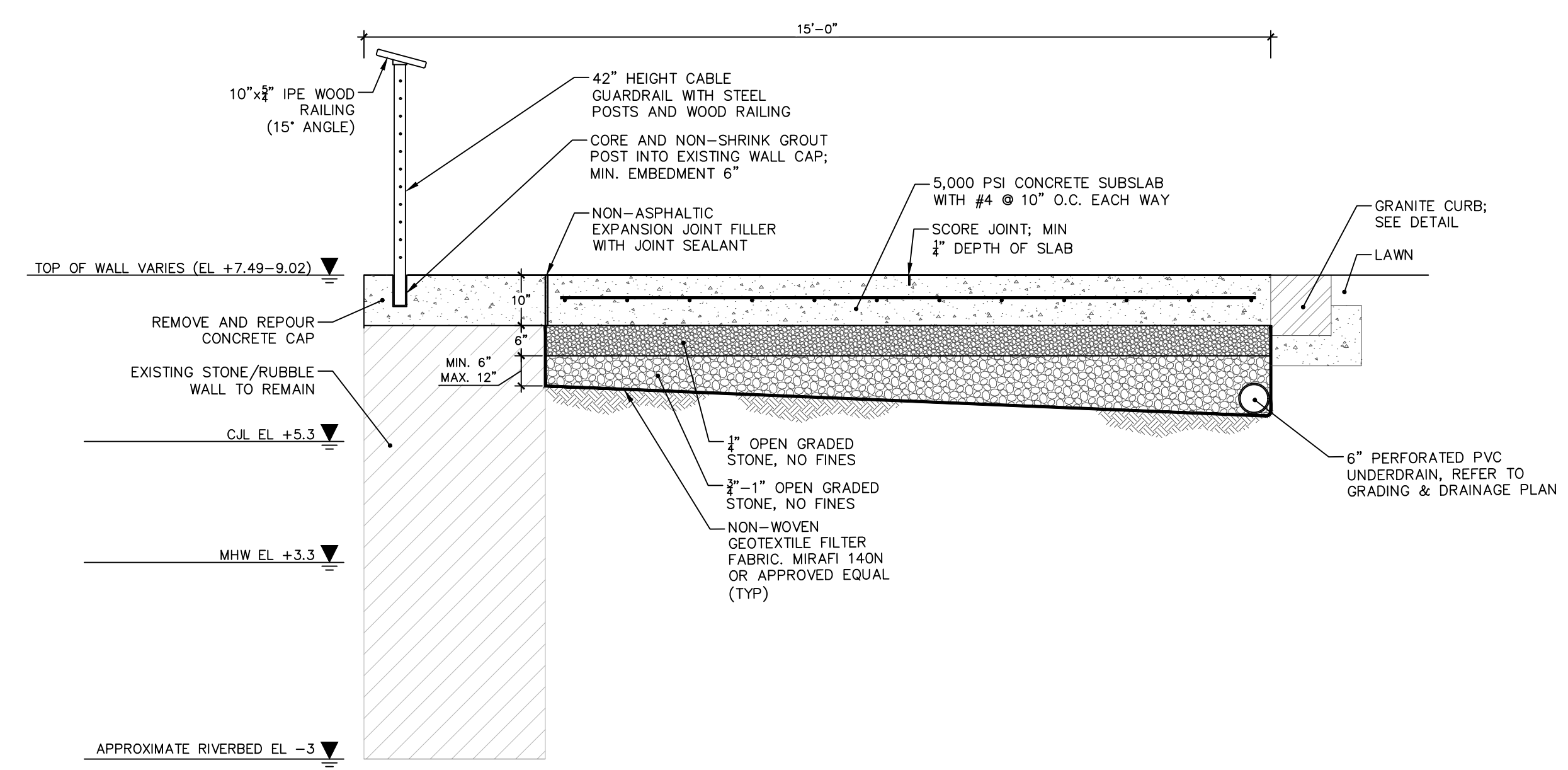
- NOTES:
- SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - TWO COATS OF TRAFFIC TYPE EPOXY PAINT SHALL BE USED FOR STRIPING. ALLOW A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 - APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT.
 - STANDARD ADA ACCESSIBLE PARKING SPOTS SHALL HAVE 5' WIDE ACCESS AISLE & 10' WIDE PARKING STALL.

7 **ADA PARKING STALL STRIPING**
N.T.S.

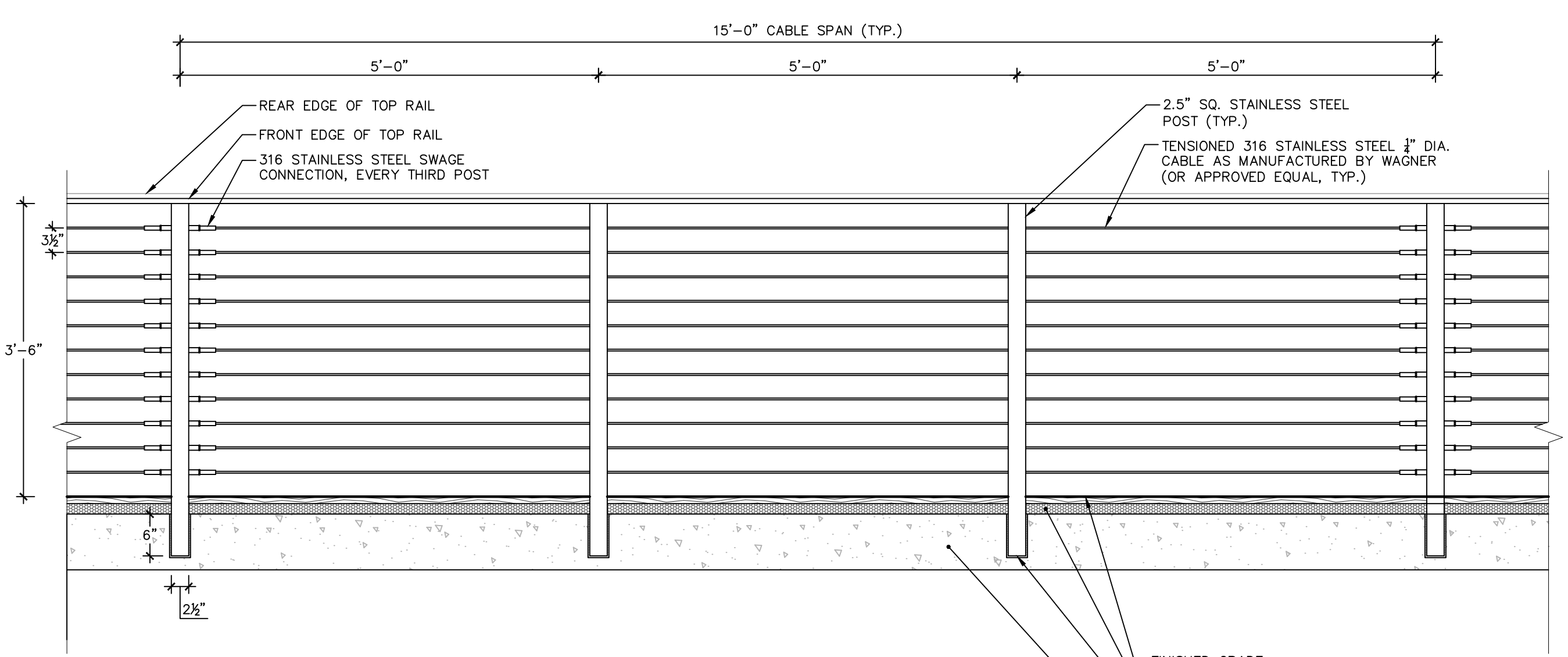
Date	Description	No.
Revisions		
Langan Engineering and Environmental Services, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project		
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA		
WESTPORT CONNECTICUT		
Drawing Title		
SITE DETAILS II		
Project No.	Drawing No.	
140251201	CS502	
Date	09/14/2023	
Drawn By	CMD	
Checked By	DTG	



1 **TYPICAL BOARDWALK SECTION AT WALL**
1/2"=1'-0"

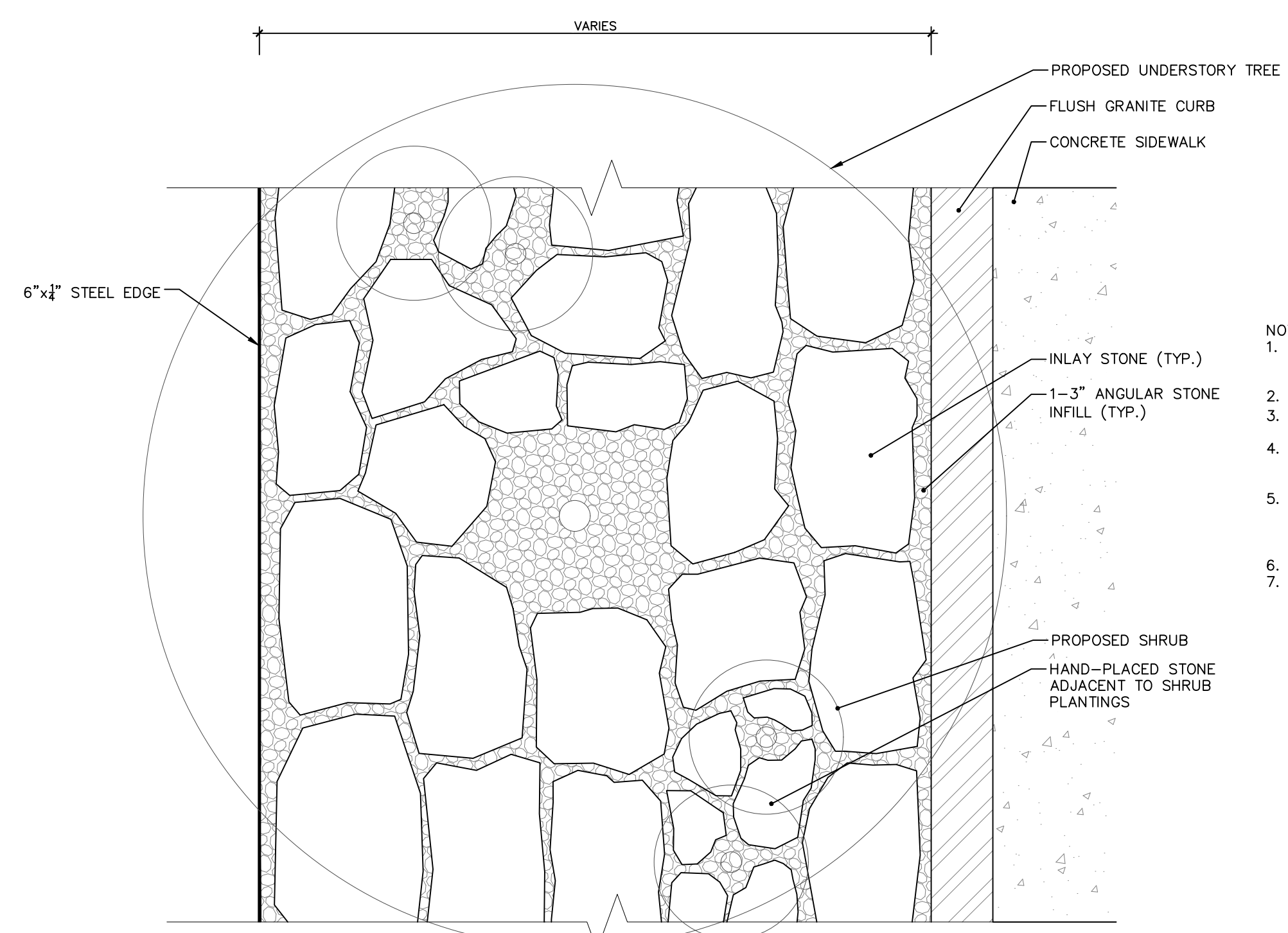


3 **TYPICAL SIDEWALK SECTION AT WALL**
1/2"=1'-0"



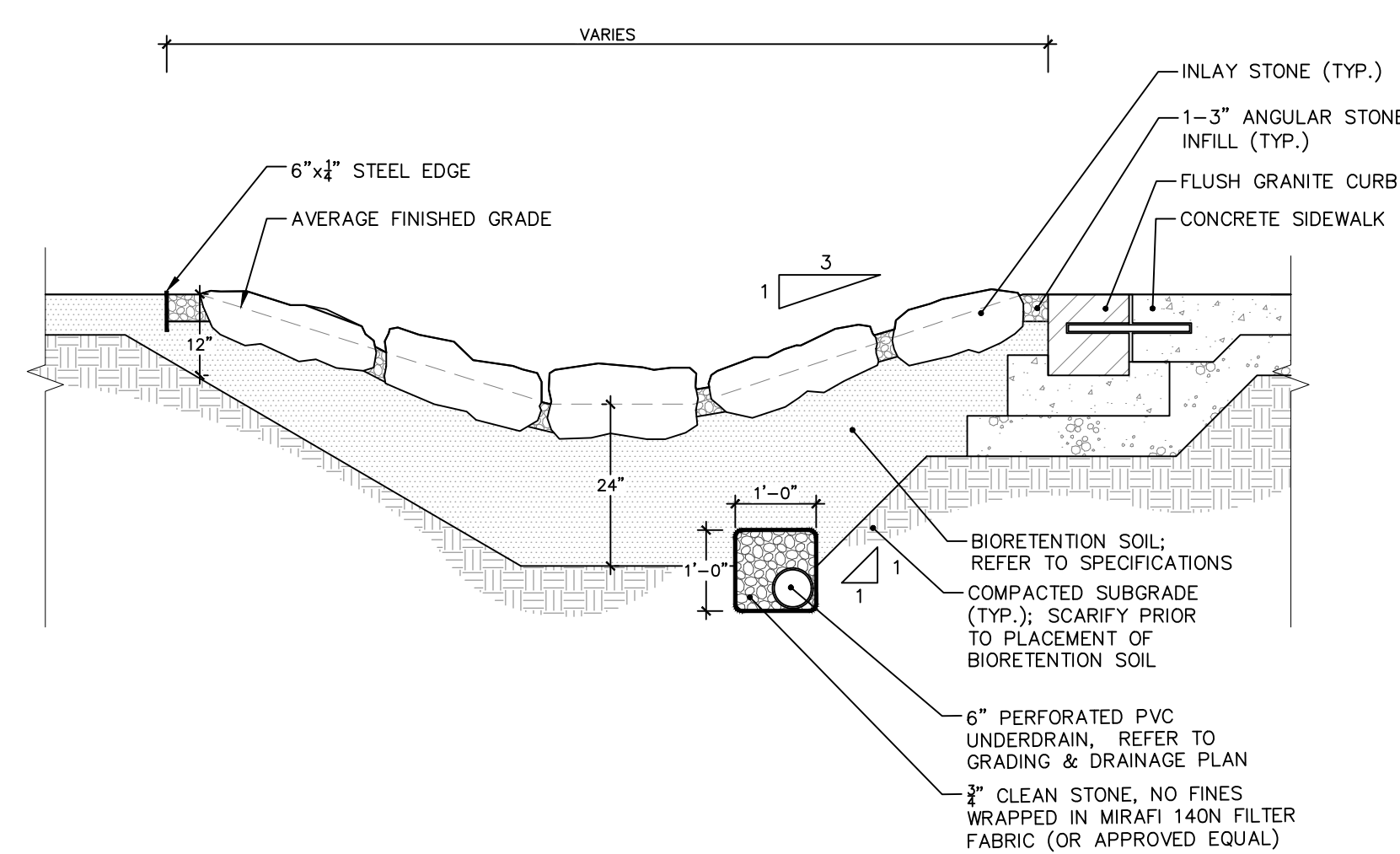
- NOTES:**
- CONTRACTOR TO SUBMIT FULLY DETAILED SHOP DRAWINGS OF ALL POST AND RAIL ELEMENTS, INCLUDING FOOTINGS, FOOTING CONNECTIONS, RAIL CONNECTIONS, AND CABLE RAIL SAG CALCULATIONS SIGNED AND SEALED BY A CONNECTICUT LICENSED STRUCTURAL ENGINEER FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE FULL RAILING LAYOUT INCLUDING ALL POST LOCATIONS FOR REVIEW PRIOR TO INSTALLATION.
 - 15' LENGTH IN-FIELD MOCK-UP TO BE PROVIDED FOR REVIEW PRIOR TO INSTALLATION. MOCK-UP TO INCLUDE THREE POSTS AND TWO FULL-TENSIONED CABLE SECTIONS.

5 **CABLE RAIL GUARDRAIL**
3/4"=1'-0"



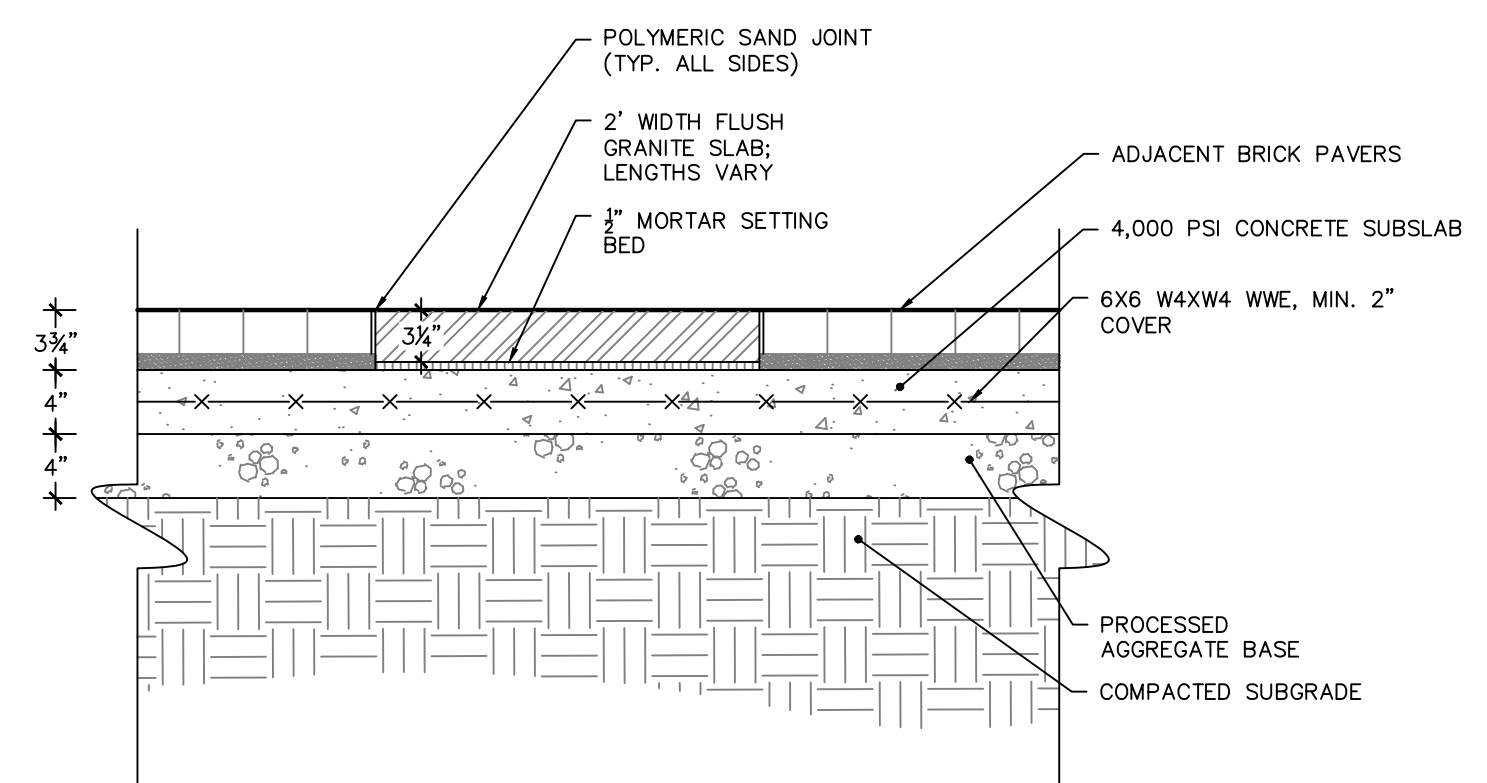
2 **TYPICAL RAIN GARDEN DETAIL**
N.T.S.

- NOTES:**
- STONE TO BE SELECTED FROM SINGLE QUARRY IN PRESENCE OF PROJECT LANDSCAPE ARCHITECT. STONE TO BE ANGULAR IN NATURE.
 - ALL BOULDERS TO BE HAND-PLACED.
 - EMBED MINIMUM 1/4 OF STONES INTO GROUND ON COMPACTED SURFACE.
 - CONTRACTOR TO SUBMIT PRODUCT DATA, PHOTO DOCUMENTATION, AND QUARRY SOURCE FOR REVIEW PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE 10' LENGTH MOCK-UP OF STONE INSTALLATION. MOCK-UP SHOULD DEMONSTRATE HOW BOULDERS INTERACT WITH ADJACENT HARDSCAPE, STEEL EDGE, AND PLANTINGS.
 - AVOID FOUR-WAY JOINTS IN ALL LOCATIONS.
 - STONE SIZING PARAMETERS:
BOULDERS:
20% OF MIX
MINIMUM SIZE: 36" LONG BY 24" WIDE;
MINIMUM HEIGHT: 24"
INLAY STONES:
60% OF MIX
MINIMUM SIZE: 24" LONG BY 18" WIDE,
MAXIMUM HEIGHT: 18"
HAND-PLACED STONE:
20% OF MIX (ADJACENT TO PLANTINGS)
MAXIMUM SIZE: 18" LONG BY 12" WIDE,
MAXIMUM HEIGHT: 12"



4 **TYPICAL RAIN GARDEN SECTION**
1/2"=1'-0"

- NOTES:**
- STONE TO BE SELECTED FROM SINGLE QUARRY IN PRESENCE OF PROJECT LANDSCAPE ARCHITECT. STONE TO BE ANGULAR IN NATURE.
 - ALL BOULDERS TO BE HAND-PLACED.
 - EMBED MINIMUM 1/4 OF STONES INTO GROUND ON COMPACTED SURFACE.
 - CONTRACTOR TO SUBMIT PRODUCT DATA, PHOTO DOCUMENTATION, AND QUARRY SOURCE FOR REVIEW PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE 10' LENGTH MOCK-UP OF STONE INSTALLATION. MOCK-UP SHOULD DEMONSTRATE HOW BOULDERS INTERACT WITH ADJACENT HARDSCAPE, STEEL EDGE, AND PLANTINGS.
 - AVOID FOUR-WAY JOINTS IN ALL LOCATIONS.
 - STONE SIZING PARAMETERS:
BOULDERS:
20% OF MIX
MINIMUM SIZE: 36" LONG BY 24" WIDE;
MINIMUM HEIGHT: 24"
INLAY STONES:
60% OF MIX
MINIMUM SIZE: 24" LONG BY 18" WIDE,
MAXIMUM HEIGHT: 18"
HAND-PLACED STONE:
20% OF MIX (ADJACENT TO PLANTINGS)
MAXIMUM SIZE: 18" LONG BY 12" WIDE,
MAXIMUM HEIGHT: 12"



- NOTES:**
- TOP FACE OF SLAB TO BE THERMAL FINISH; SIDES AND BOTTOM TO BE SAWN.
 - GRANITE COLOR TO MATCH ADJACENT CURBING.
 - TOP FACE OF SLABS TO RECEIVE ENGRAVING; FINAL DESIGN TO BE COORDINATED WITH TOWN DURING CONSTRUCTION.
 - CONTRACTOR TO SUBMIT PRODUCT DATA, PHYSICAL SAMPLES, AND SHOP DRAWINGS FOR ALL SLABS PRIOR TO INSTALLATION.

6 **FLUSH GRANITE SLAB**
1"=1'-0"

Date	Description	No.
Revisions		



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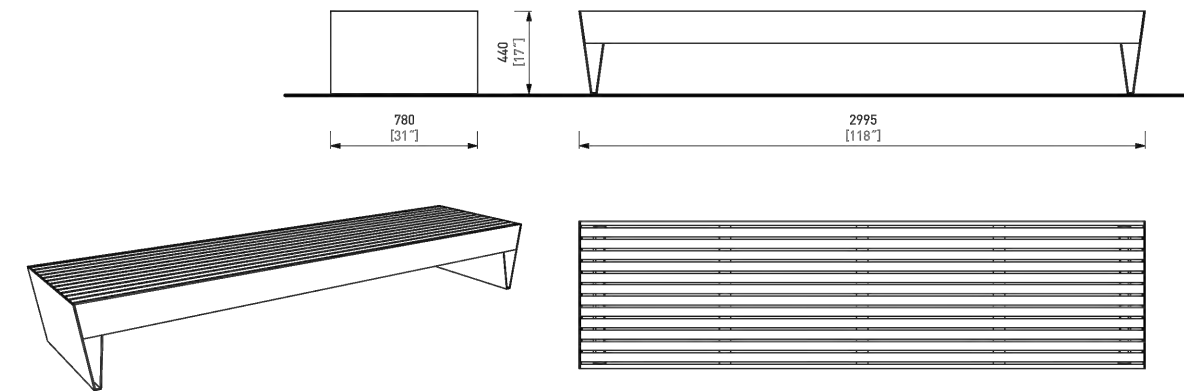
555 Long Wharf Drive
New Haven, CT 06511
T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA
WESTPORT
FAIRFIELD COUNTY CONNECTICUT
Drawing Title

SITE DETAILS III

Project No.	140251201	Drawing No.	CS503	
Date	09/14/2023	Drawn By		MJ
Checked By	MH			

- NOTES:
1. LBQ210 - BLOCQ AS MANUFACTURED BY MMCITE (OR APPROVED EQUAL)
 2. CONTRACTOR TO SUBMIT PRODUCT DATA AND PHYSICAL SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
 3. FRAME TO BE POWDERCOATED STEEL, SLATS TO BE WOOD



DATE: 11.01.2021 V.02

LBQ210 - BLOCQ

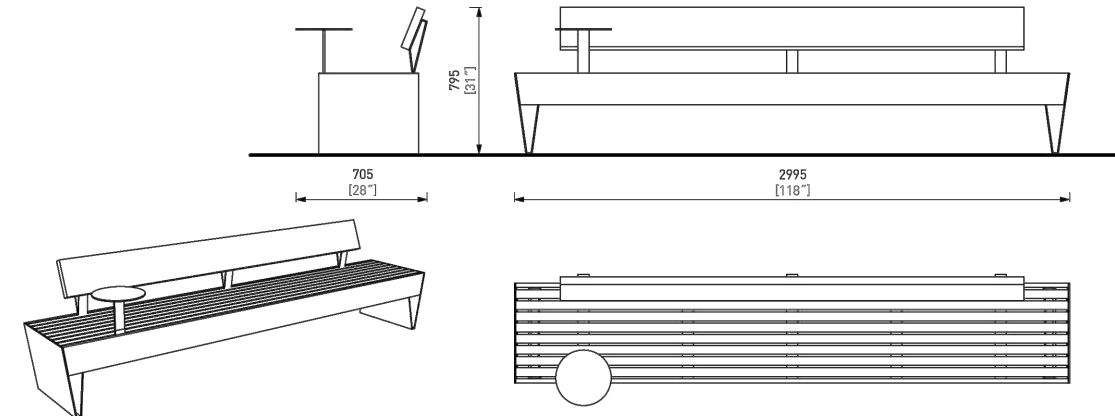
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●● mmcite

BENCH TYPE A

N.T.S.

- NOTES:
1. LBQ150-10-BLOCQ AS MANUFACTURED BY MMCITE (OR APPROVED EQUAL)
 2. CONTRACTOR TO SUBMIT PRODUCT DATA AND PHYSICAL SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
 3. FRAME TO BE POWDERCOATED STEEL, SLATS TO BE WOOD



DATE: 11.01.2021 V.02

LBQ150-10 - BLOCQ

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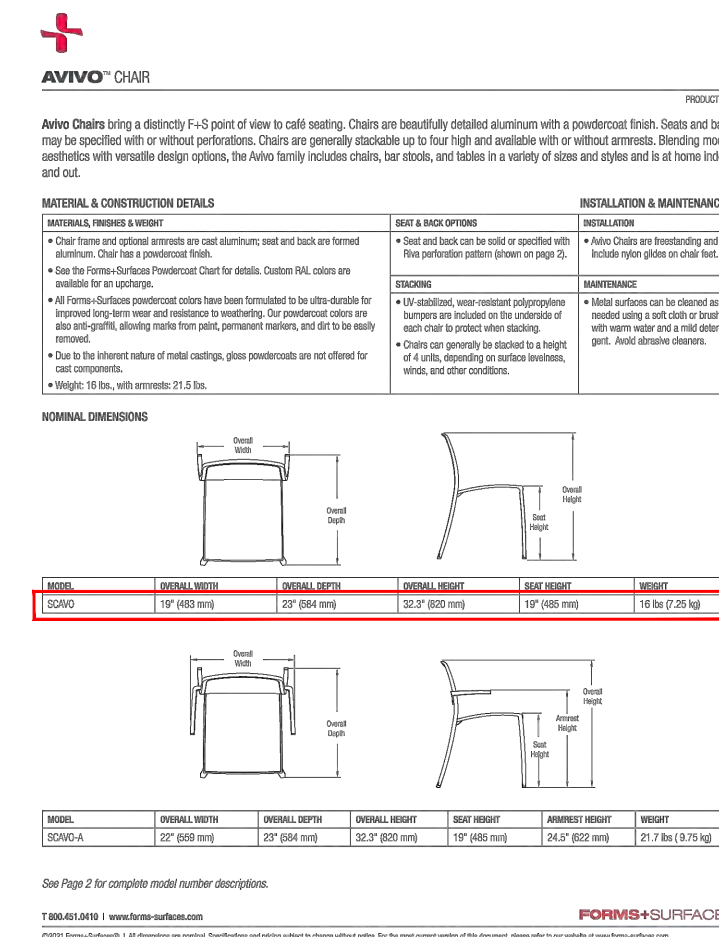
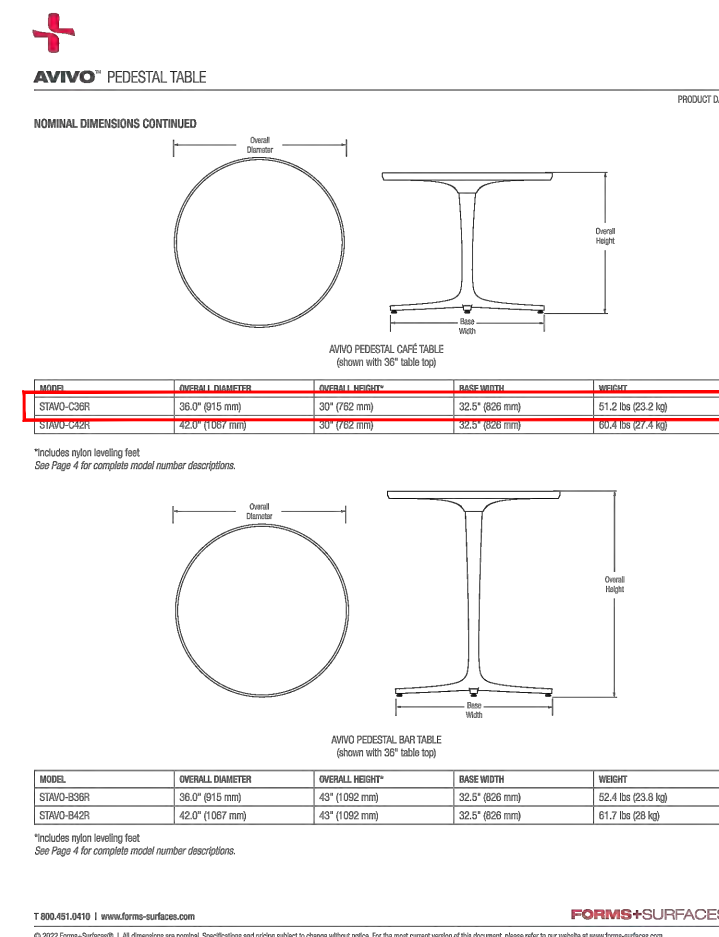
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BENCH TYPE B

N.T.S.

NOTES:

1. AVVO PEDESTAL TABLE AND CHAIR AS MANUFACTURED BY FORMS+SURFACES (OR APPROVED EQUAL)
2. CONTRACTOR TO SUBMIT PRODUCT DATA AND PHYSICAL SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
3. FRAME TO BE POWDERCOATED ALUMINUM, TABLES AND CHAIRS TO BE PERFORATED



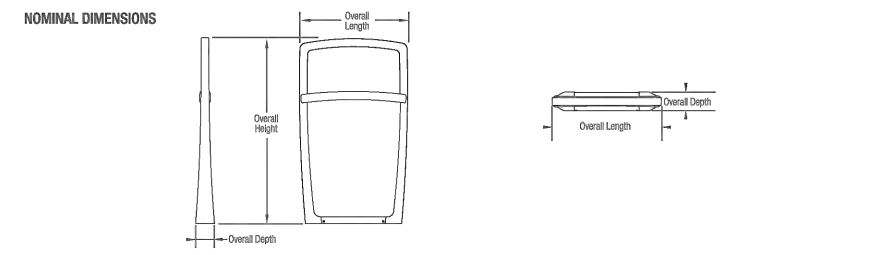
MOVEABLE TABLE AND CHAIRS

N.T.S.

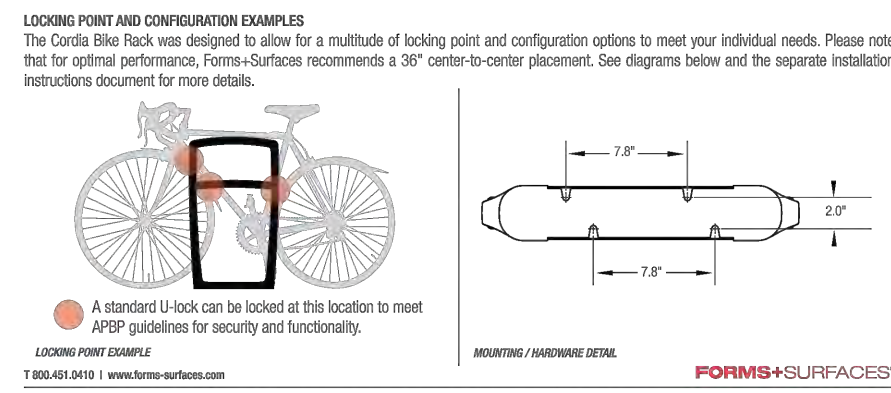
- NOTES:
1. CORDIA BIKE RACK AS MANUFACTURED BY FORMS+SURFACES (OR APPROVED EQUAL)
 2. CONTRACTOR TO SUBMIT PRODUCT DATA AND PHYSICAL SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
 3. FRAME TO BE POWDERCOATED ALUMINUM
 4. BIKE RACKS TO BE MOUNTED INTO CONCRETE



MATERIALS & FINISHES	FINISHES	DETAILS & SCOPE	INSTALLATION & MAINTENANCE	MAINTENANCE
<ul style="list-style-type: none"> • Slats: made of corrosion-resistant cast aluminum with powdercoat finish. • Cover plate, available in multiple finishes to match from stainless steel to powdercoat to match the body. 	<ul style="list-style-type: none"> • See the Forms+Surfaces Powdercoat Chart for options. Custom RAL colors are available for an extra fee. • Slats: to be chosen from a range of metal finishes, glass, powdercoat or to match the cast components. 	<ul style="list-style-type: none"> • Each installation of the Cordia Bike Rack must be surface mounted with expanded anchors. Stainless steel anchors and straps resistant to rust and corrosion are used as specified. 	<ul style="list-style-type: none"> • Cordia Bike Racks must be installed on a flat, level surface. See the installation manual for details. 	<ul style="list-style-type: none"> • Metal surfaces can be cleaned with mild soap and water. Avoid abrasive cleaners.



OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
27' 0.00" (8130 mm)	23" (584 mm)	34" (863 mm)	27 lbs (12.2 kg)



FORMS+SURFACES

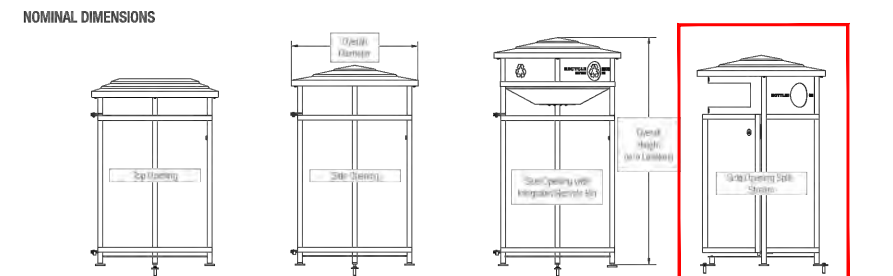
BIKE RACK

N.T.S.

- NOTES:
1. URBAN RENAISSANCE RECEPTACLE AS MANUFACTURED BY FORMS+SURFACES (OR APPROVED EQUAL)
 2. CONTRACTOR TO SUBMIT PRODUCT DATA AND PHYSICAL SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
 3. FRAME TO BE POWDERCOATED STAINLESS STEEL
 4. TOTAL QUANTITY: 8



MATERIAL & CONSTRUCTION DETAILS	FRAME & ASSEMBLY	USE	FINISHES	INSTALLATION & MAINTENANCE
<ul style="list-style-type: none"> • Recycled plastic litter and recycling receptacles are made from recycled plastic bottles and other waste. 	<ul style="list-style-type: none"> • Receptacles have a heavy gauge steel frame with an internal plastic frame. • Slats with wood grain are for optional use. 	<ul style="list-style-type: none"> • Use in a range of heavy gauge steel receptacles with an internal plastic frame. • Slats with wood grain are for optional use. 	<ul style="list-style-type: none"> • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an extra fee. 	<ul style="list-style-type: none"> • Receptacles can be used for litter and recycling. • For surface mounting, stainless steel anchors and straps are used.

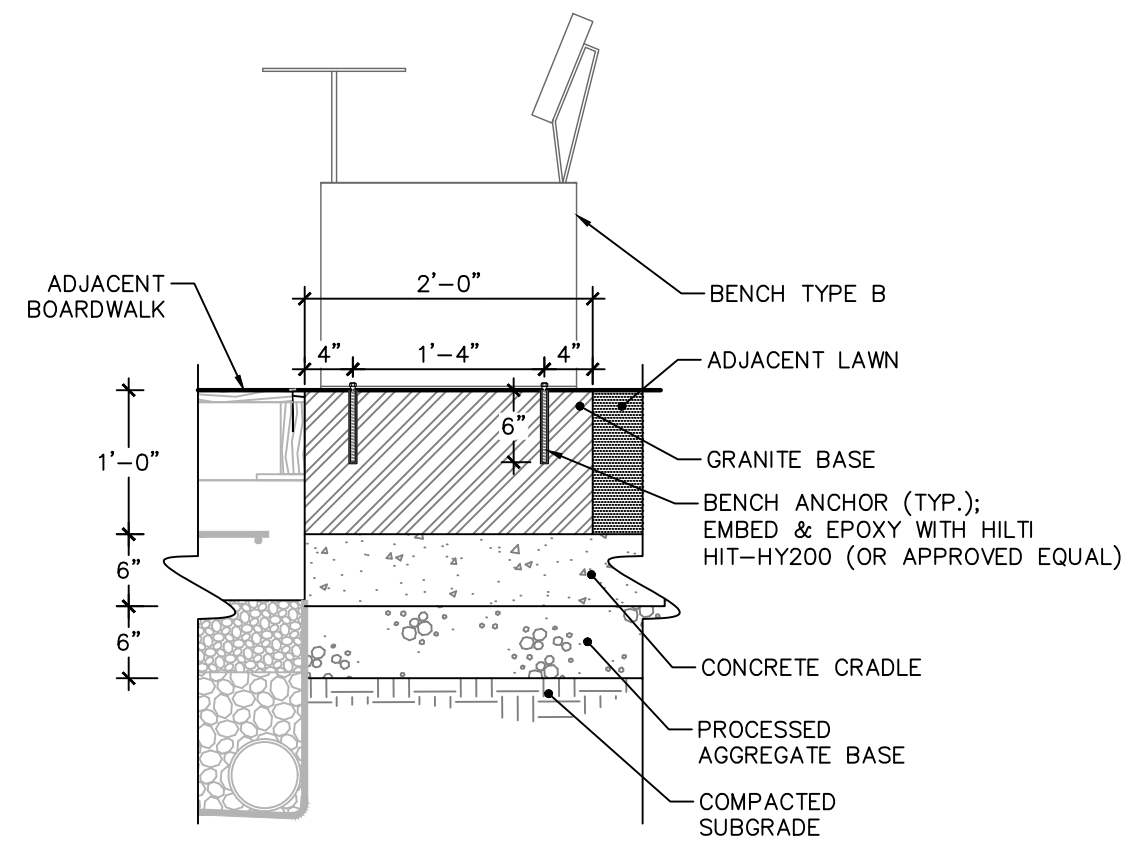


MODEL	OVERALL HEIGHT	OVERALL WIDTH	OVERALL WEIGHT	CAPACITY
URBAN-010	28" (711 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-020	34" (863 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-030	40" (1016 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-040	46" (1168 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-050	52" (1321 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-060	58" (1473 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)
URBAN-070	64" (1626 mm)	14" (354 mm)	14.4 lbs (6.5 kg)	20 gallons (75.7 liters)

FORMS+SURFACES

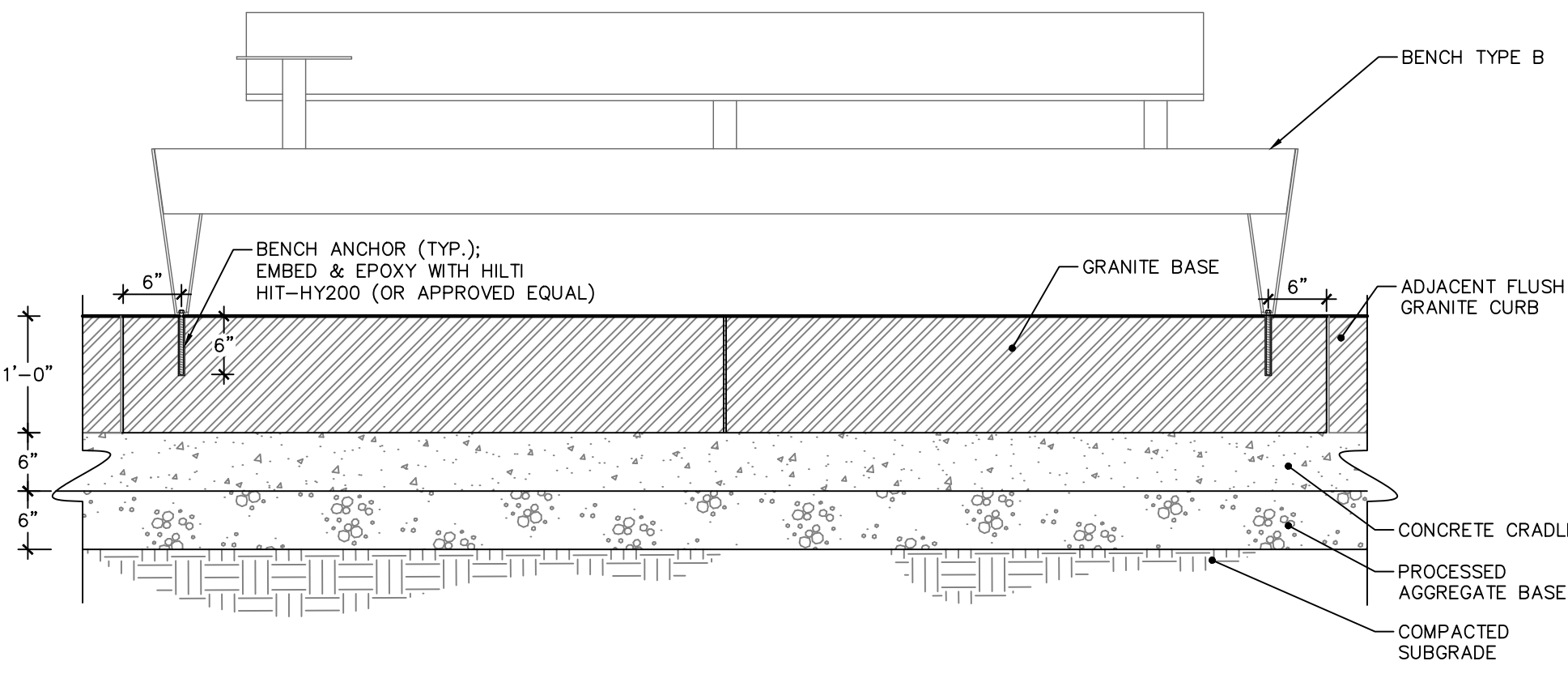
LITTER & RECYCLING RECEPTACLE

N.T.S.



BENCH TYPE B - SECTION A

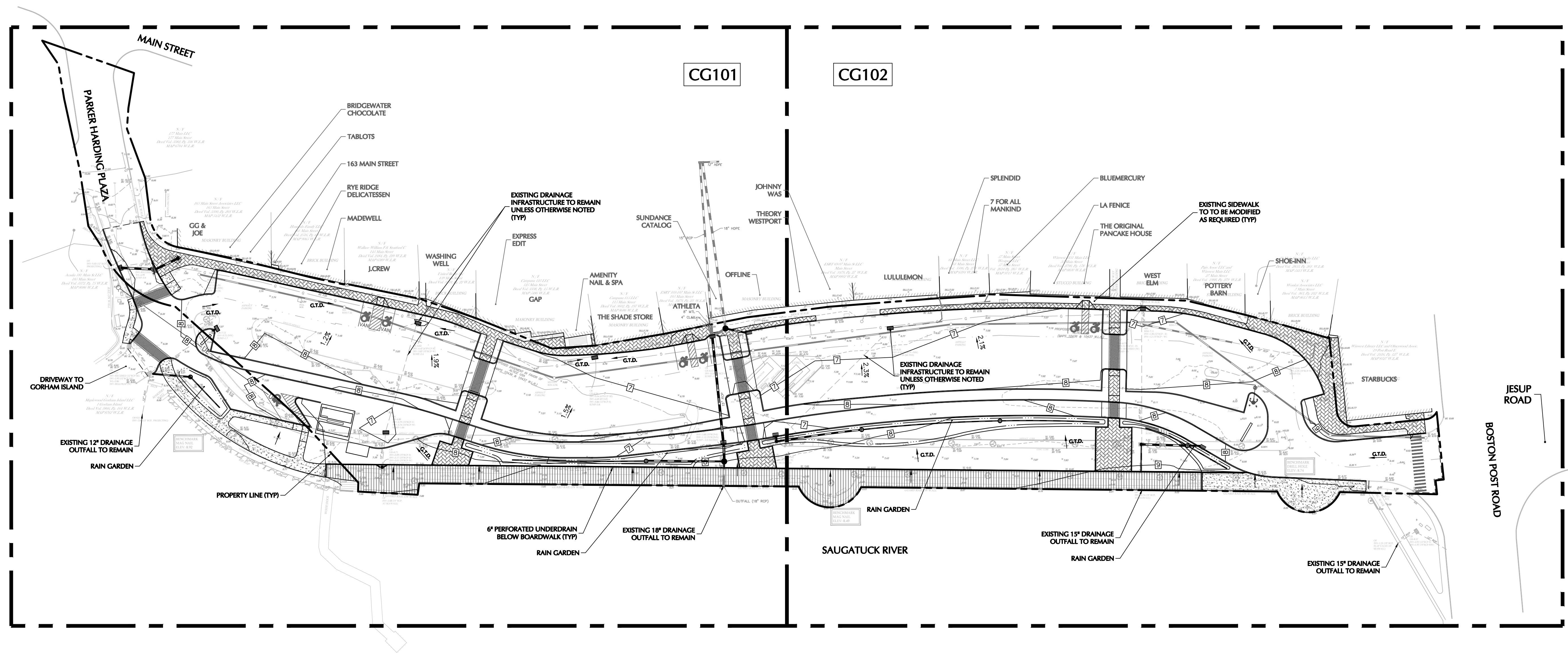
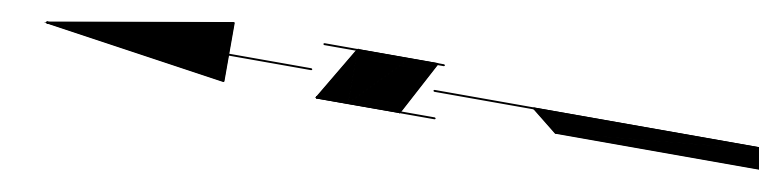
3/4"=1'-0"




BENCH TYPE B - SECTION B

3/4"=1'-0"

Date	Description	No.
Revisions		
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Project RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA WESTPORT CONNECTICUT		
Drawing Title SITE DETAILS IV		
Project No.	140251201	CS504
Date	09/14/2023	
Drawn By	MI	
Checked By	MI	

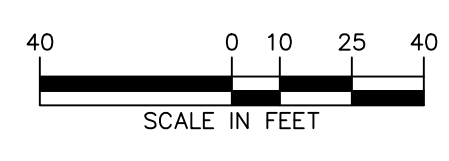


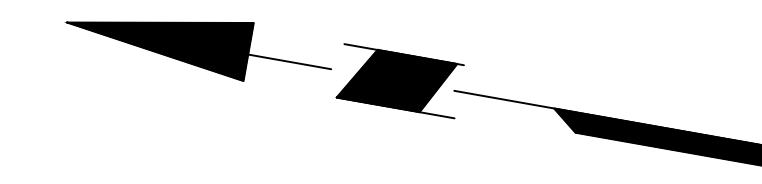
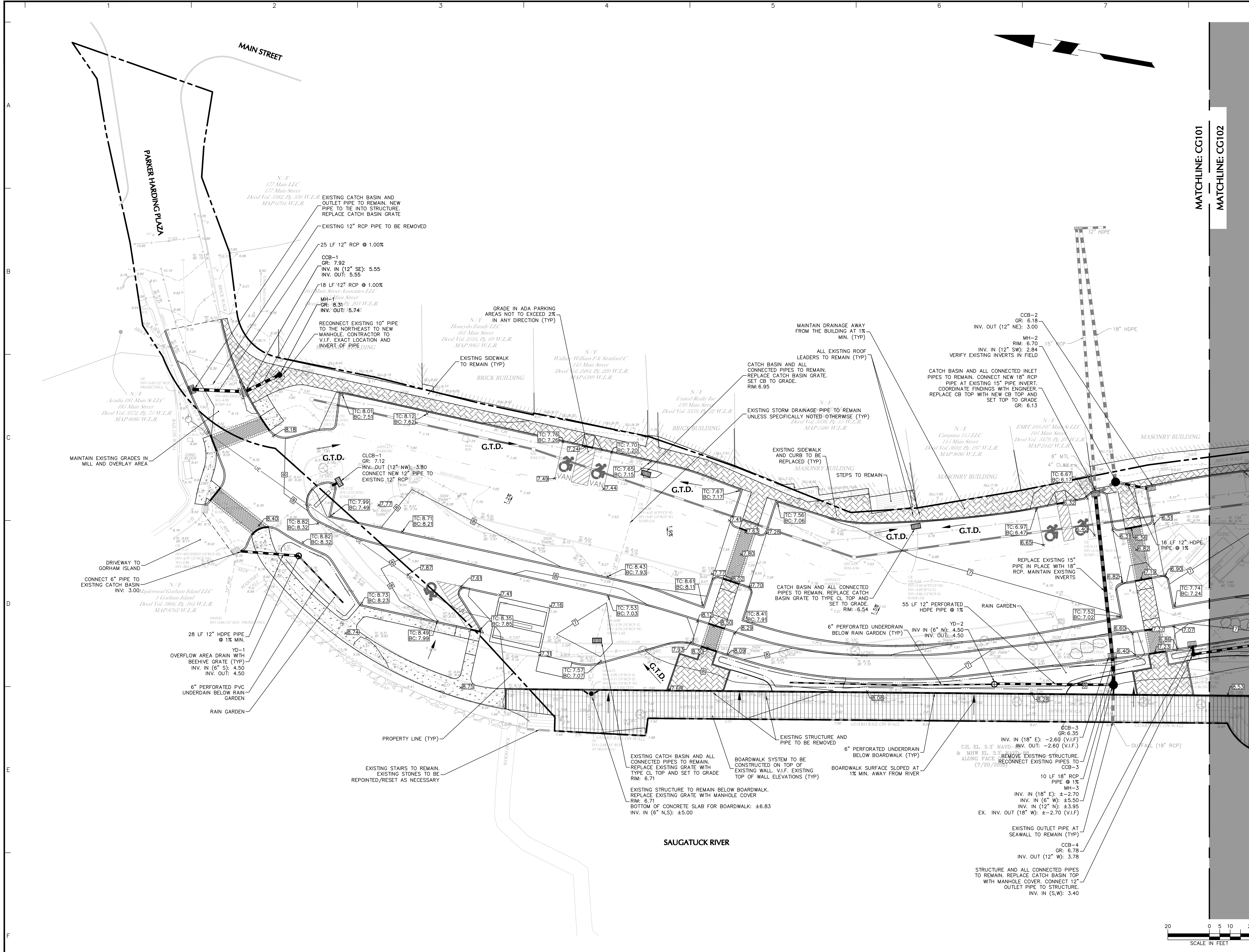
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Revisions		
		
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Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA
 WESTPORT
 FAIRFIELD COUNTY CONNECTICUT
 Drawing Title

OVERALL GRADING & DRAINAGE PLAN

Project No. 140251201	CG100
Date 09/14/2023	
Drawn By ALF	
Checked By DTG	





MATCHLINE: CG101
 MATCHLINE: CG102

Date	Description	No.
Revisions		

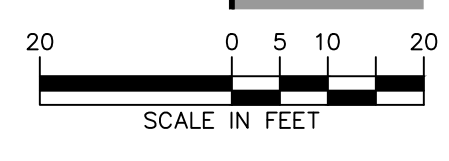


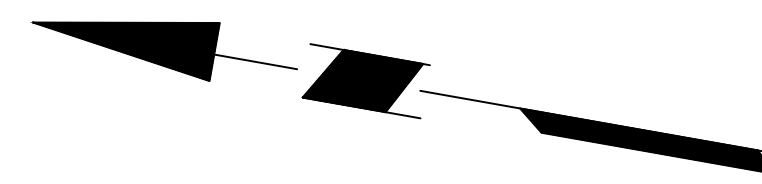
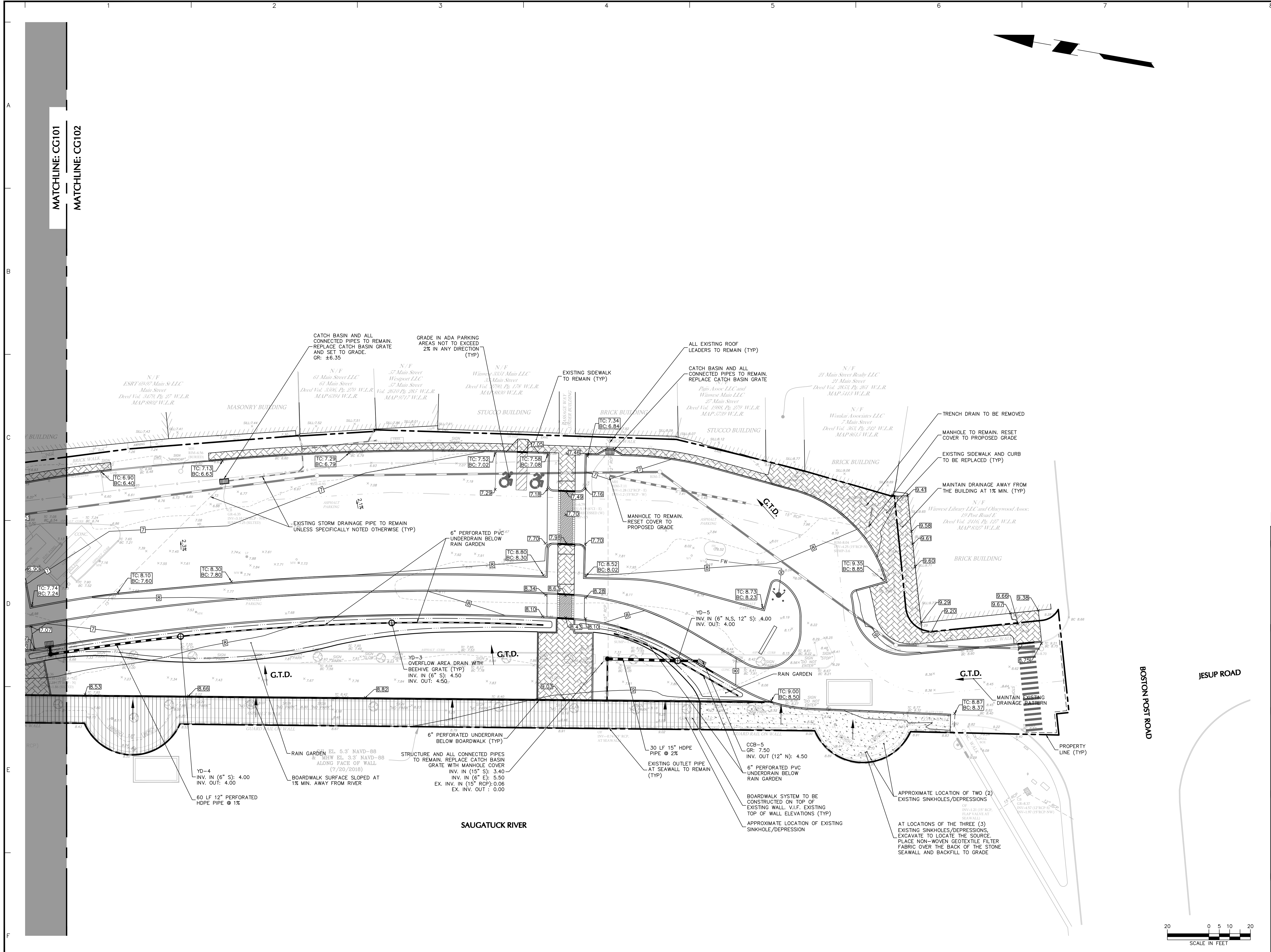
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Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA
 WESTPORT CONNECTICUT

GRADING & DRAINAGE PLAN I

Project No. 140251201	Drawing No. CG101
Date 09/14/2023	
Drawn By ALF	
Checked By DTG	





MATCHLINE: CG101
MATCHLINE: CG102

Project No. 140251201

Date	Description	No.
Revisions		
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Project
RECONNECTING THE RIVERFRONT: PARKER HARDING PLAZA

WESTPORT CONNECTICUT

FAIRFIELD COUNTY
Drawing Title
GRADING & DRAINAGE PLAN II

Project No. 140251201	Drawing No. CG102
Date 09/14/2023	
Drawn By ALF	
Checked By DTG	

