



WESTPORT™

JOINT COMMITTEE PUBLIC MEETING
(Historic District Commission and Architectural Review Board)

Tuesday, September 6, 2022, 7:00 PM
DRAFT MINUTES

Members Present:

Ward French, ARB Co-Chair
Jon Halper, ARB Member
Vesna Herman, ARB Member
Manuel Castedo, ARB Member

Bill Harris, HDC Co-Chair
Martha Eidman, HDC Member
Scott Springer, HDC Member

Staff Present:

Donna Douglass, HDC Administrator

Notice is hereby given that the Joint Committee of the Historic District Commission and the Architectural Review Board held an electronic public meeting on **Tuesday, September 6, 2022**, at 7:00 PM for the following purpose:

1. To approve minutes from the July 5, 2022, meeting.
MOTION (made by French): To approve the minutes of the July 5, 2022, meeting.
SECOND: Springer
SEATED: French, Herman, Castedo, Springer
VOTE: Unanimously approved
2. To review and comment on the proposed signage at **135 Post Road East** (Parcel ID# C09/144/000) submitted by Jorge Guzman, Sign A Rama, for property owned by COMU Westport LLC, C/O Bayberry Property Management. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
No Action Taken.
3. To review and comment on the proposed façade modifications, construct new dormers, new windows, doors, awnings, roofing at **45 Jesup Road** (Parcel ID# C09/154//000) submitted by Elaine Daignault, for property owned by Town of Westport. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
MOTION (made by Springer): To approve the proposed façade modifications, construct new dormers, new windows, doors, awnings, roofing at 45 Jesup Road (Parcel ID# C09/154//000).
SECOND: Ward
SEATED: French, Halper, Herman, Castedo, Harris, Eidman, Springer
VOTE: Unanimously approved
4. To review and comment on the proposed signage at **15 Myrtle Avenue** (Parcel ID# D10/001/000) submitted by Martin Rogers, Marty Signs, for property owned by R W 15 Myrtle LLC. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.

MOTION (made by French): To approve the proposed signage at 15 Myrtle Avenue (Parcel ID# D10/001/000).

SECOND: Halper

SEATED: French, Halper, Herman, Castedo, Harris, Eidman, Springer

VOTE: Unanimously approved

5. To review and comment on the proposed Historic Residential Structures Special Permit §32-18 at **1 Elmstead Lane** (Parcel ID# G06/032/000) submitted by Gloria Gouveia, Land Use Consultants, for property owned by Elmstead Partners, LLC. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
Withdrawn by applicant.
6. To review and comment on the proposed Historic Residential Structures Special Permit §32-18 at **35 Wright Street** (Parcel ID# C09/042/000) submitted by Gloria Gouveia, Land Use Consultants, for property owned by Rosenberg Peter Trustee, C/O Cynthia Muller Revocable Trust. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
Postponed to the October 5, 2022, meeting.
7. To adjourn the meeting.
Meeting Adjourned at 8:44 PM

Bill Harris, HDC Chairman
Ward French, ARB Chairman
September 8, 2022

Village District Overlay (VDO) Zone Westport Center §36;

The purpose of this Village District Overlay (VDO) is to protect the distinctive character, landscape, and historic structures and development pattern within this Village District while encouraging a mixed use, walkable district that is attractive to residents, employees, and visitors. New construction or substantial rehabilitation in the Village District should be compatible with the existing character of the district and reinforce both the existing development patterns and connections to the Saugatuck River. (See copy of Westport Regulations §36-2 attached 9pgs)

**JOINT COMMITTEE
REVIEW and RECOMMENDATION**

PROPERTY ADDRESS: 22 MAIN STREET

OWNER OF RECORD: JIM RANDEL / 22 MAIN ASSOCIATES LLC Daytime Tel #: 1.203.454.4811

OWNER'S ADDRESS: 265 POST ROAD WEST, WESTPORT, CT 06880 E-mail: jrandel@randelesq.com

APPLICANT'S NAME (if different): FREDERICK WILLIAM HOAG ARCHITECT Daytime Tel #: 203.557.0803

If the applicant is unable to obtain property owner's signature, submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: 57 WILTON ROAD, 2ND FLOOR, WESTPORT, CT 06880 E-mail: blake@fwharch.com


Property Owner's Signature

Legal Representative Signature (As authorized by owner)

Required Review and Approvals for Properties Located in the VDO Zone:

- Certificate of Appropriateness (if property is located within a local historic district or designated a local historic property)
- Joint Committee Review and Recommendation of proposed design plans
- Compliance Alternative for Joint Committee Review (if applicant requests consideration of an alternative approach that satisfies the intent of the design principles but is not in compliance with design standards)
- Site Plan Approval by the Planning and Zoning Commission

Prior to Joint Committee Review and Recommendation Meeting, please submit the following: (Call for Meeting dates)

This application completed and the following required materials to Historic District Commission Office, Room108 203-341-1184.

- Submit a narrative, describing the project, including construction details, proposed materials and how the improvements are consistent with the style or how the improvements vary, a rationale of why the variation should be, approved under Sec 36-2.2.
- Seven (7) copies of the Historic Resources Inventory Form if the property is listed; (Available in HDC Office)
- Seven (7) copies of Site Plan (11" x 17").
- Seven (7) copies of Existing Style of the Building and
- Seven (7) copies of scaled Building Plans, including Existing Conditions Plans and Proposed Plans. (11" x 17").
- Seven (7) complete sets of photos showing the original Building(s) (if applicable), include photos of the Buildings to either side of the proposed project and the view from across the street. A contrasting demonstration of the Existing Building in current Streetscape and the Proposed Building within context of its surroundings.
- Also, submit such other material deemed appropriate by applicant to enable the Joint Committee to evaluate the design.
- E-mail an Electronic Version of ALL your submitted materials to ddouglass@westportct.gov

Joint Committee Recommendations to P&Z Commission are: _____

Joint Committee Chair's Signature: _____ Date: _____

September 20, 2022

Village District Overlay Zone Committee
Town of Westport

Re: 22 Main Street, Westport CT

Dear Committee Members,

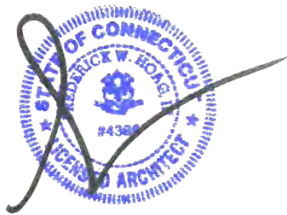
Attached is our application for the façade renovation of 22 Main Street. The property consists of a two-story masonry building fronting main street.

As part of the proposed renovation to attract a new tenant the building will be upgraded to FEMA flood proofing requirements. To meet these standards, the first story main street façade will be rebuilt to withstand flood forces. The remainder of the building will remain aesthetically unchanged. We are proposing to replace the storefront “in kind” however it is slightly adjusted to accommodate new structure and supply chain challenges. We have also applied the branding of the proposed tenant; Clarendon who is an established British art gallery having several dozen locations in the UK. Westport will be their first location in the United States.

We look forward to reviewing this proposed renovation with you

Sincerely,

Frederick William Hoag, Architect LLC



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P: 203.557.0803

HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Connecticut Commission on Culture & Tourism, One Constitution Plaza, 2nd Floor, Hartford, CT 06103

*** Note:** Please attach any additional or expanded information on a separate sheet.

GENERAL INFORMATION

Building Name (Common) _____

Building Name (Historic) _____

Street Address or Location _____

Town/City _____ Village _____ County _____

Owner(s) _____ Public Private

PROPERTY INFORMATION

Present Use: _____

Historic Use: _____

Accessibility to public: Exterior visible from public road? Yes No

Interior accessible? Yes No If yes, explain _____

Style of building _____ Date of Construction _____

Material(s) (Indicate use or location when appropriate):

<input type="checkbox"/> Clapboard	<input type="checkbox"/> Asbestos Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Wood Shingle	<input type="checkbox"/> Asphalt Siding
<input type="checkbox"/> Fieldstone	<input type="checkbox"/> Board & Batten	<input type="checkbox"/> Stucco	<input type="checkbox"/> Cobblestone	<input type="checkbox"/> Aluminum Siding
<input type="checkbox"/> Concrete (Type _____)	<input type="checkbox"/> Cut Stone (Type _____)	<input type="checkbox"/> Other _____		

Structural System

Wood Frame Post & Beam Balloon Load bearing masonry Structural iron or steel

Other _____

Roof (Type)

Gable Flat Mansard Monitor Sawtooth

Gambrel Shed Hip Round Other _____

(Material)

Wood Shingle Roll Asphalt Tin Slate Asphalt Shingle

Built up Tile Other _____

Number of Stories: _____ **Approximate Dimensions** _____

Structural Condition: Excellent Good Fair Deteriorated

Exterior Condition: Excellent Good Fair Deteriorated

Location Integrity: On original site Moved When? _____

Alterations? Yes No If yes, explain: _____

FOR OFFICE USE: Town # _____ Site # _____ UTM _____

District: S NR If NR, Specify: Actual Potential

PROPERTY INFORMATION (CONT'D)

Related outbuildings or landscape features:

- Barn Shed Garage Carriage House Shop Garden
- Other landscape features or buildings: _____

Surrounding Environment:

- Open land Woodland Residential Commercial Industrial Rural
- High building density Scattered buildings visible from site

- Interrelationship of building and surroundings:

- Other notable features of building or site (*Interior and/or Exterior*)

Architect _____ Builder _____

- Historical or Architectural importance:

- Sources:

Photographer _____ Date _____

View _____ Negative on File _____

Name _____ Date _____

Organization _____

Address _____

- Subsequent field evaluations:

Threats to the building or site:

- None known Highways Vandalism Developers Renewal Private
- Deterioration Zoning Other _____ Explanation _____

HISTORIC RESOURCE INVENTORY – BUILDINGS AND STRUCTURES

CONTINUATION SHEET

22 Main Street, Westport, CT

Architectural Description

The commercial building at 22 Main Street is a two-story brick building with a flat roof lined by a projecting cast stone cornice. A single narrow horizontal window spans the second story. This is lined by narrow trim. A slight overhang shields the tripartite store front featuring plate glass windows topped by transoms flanking a recessed entrance. The double doors each feature ten lights each. The building is clad in stucco.



View East

22 MAIN ST

WESTPORT, CT 06880

FLOOD PROOFING & FACADE RENOVATION

PROJECT DATA

PARCEL ID: #TAX ID	ZONE: BCD	LOT AREA: 1,618 SF	AYB: 1929
HEIGHT: 2 / 26'-0"	SETBACKS: Front 10'-0", Rear 6'-0", Side 6'-0"	HEIGHT: NO CHANGE	SETBACKS: Front 10'-0", Rear 6'-0", Side 6'-0"
BUILDING USE: M-MERCHANTILE	ZONING USE: RETAIL	BUILDING USE: NO CHANGE	ZONING USE: A-3 + B
EXISTING COVERAGE: 96.72%	PROPOSED COVERAGE: NO CHANGE	Basement: 984 SF	Basement: 0 SF
First Floor: 1,533 SF	First Floor: 1,533 SF	Second Floor: 1,560 SF	Second Floor: 1,560 SF
F.A.R.: Total: 4,077 SF	F.A.R.: Total: 3,093 SF	#%	#%

VICINITY MAP

SITE MAP



PROJECT TEAM

ARCHITECT:
 FREDERICK WILLIAM HOAG ARCHITECT
 57 WILTON ROAD, 2ND FLOOR
 WESTPORT CT 06880
 OFFICE PHONE: 203.557.0803
 CONTACT: FREDERICK HOAG
 RICK@FWHARCH.COM

OWNER:
 22 MAIN ASSOCIATES LLC
 #OWNER ADDRESS LINE 1
 265 POST ROAD WEST, WESTPORT, CT 06880
 CONTACT: JAMES RANDEL
 PH: 203.858.8986
 jrandel@randelesq.com

CIVIL:

STRUCTURAL:

MECHANICAL:

FOOD SERVICE:

SHEET INDEX

APPROVALS | ZONING VDO

ZONING APPROVALS VDO	
ARB-01	COVER SHEET
ARB-02	SITE SURVEY
ARB-03	EXISTING CONDITIONS PHOTOS
ARB-04	SURROUNDING CONTEXT
ARB-05	CLARENDON BRANDING EXISTING LOCATIONS
ARB-06	DEMO PLANS
ARB-07	DEMO ELEVATIONS
ARB-08	DEMO ELEVATIONS
ARB-09	PROPOSED PLANS
ARB-10	STOREFRONT DETAIL PLAN
ARB-11	STOREFRONT DETAIL PLAN
ARB-12	PROPOSED WEST ELEVATION
ARB-13	WEST STOREFRONT DETAIL ELEVATION
ARB-14	PROPOSED SOUTH ELEVATION
ARB-15	PROPOSED EAST ELEVATION
ARB-16	STOREFRONT HEAD & SILL DETAILS
ARB-17	STOREFRONT JAMB DETAILS
ARB-18	STOREFRONT DETAILS 3D VIEWS
ARB-19	PROPOSED RENDERING
ARB-20	STOREFRONT FLOOD GATE DETAILS 3D VIEWS

LIST OF REVISIONS / ISSUES



N.T.S.

APPROVALS	R	XX/XX/201X
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DATE OF ISSUE		9/20/22

Project # 220518
 Project Name:
 22 MAIN ST
 WESTPORT, CT 06880

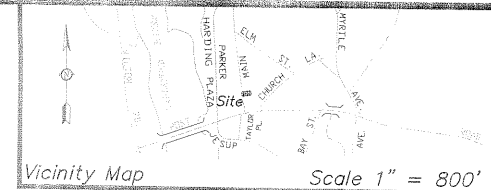
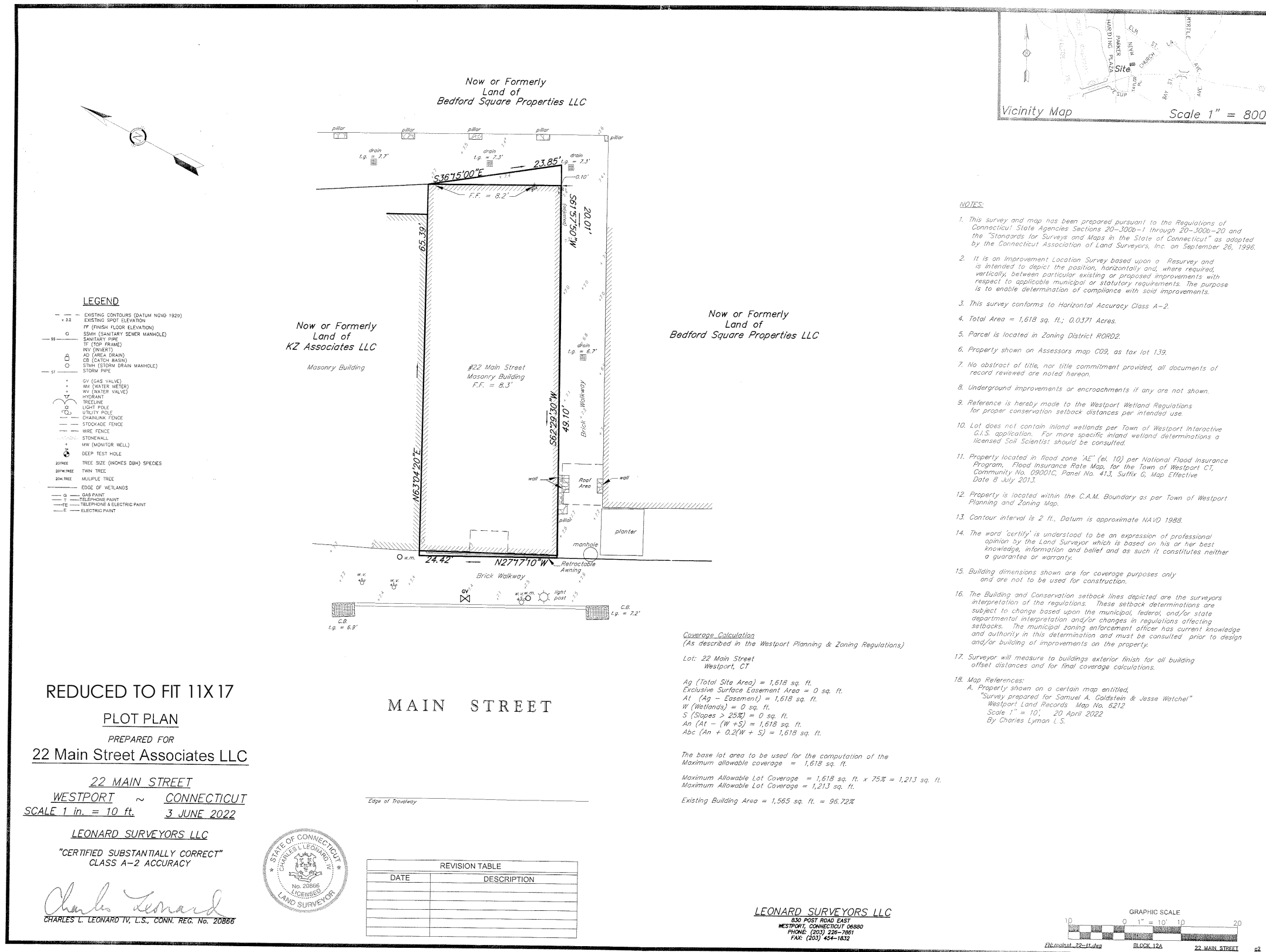
COVER SHEET

ARB-01



FREDERICK WILLIAM HOAG
 ARCHITECT

57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P:203.557.0803



- LEGEND**
- - - EXISTING CONTOURS (DATUM NOV 1929)
 - + 32 EXISTING SPOT ELEVATION
 - FF (FINISH FLOOR ELEVATION)
 - SSMH (SANITARY SEWER MANHOLE)
 - SP SANITARY PIPE
 - TF (TOP FRAME)
 - IN (INVERT)
 - AD (AREA DRAIN)
 - CB (CATCH BASIN)
 - STMH (STORM DRAIN MANHOLE)
 - STP STORM PIPE
 - GV (GAS VALVE)
 - WM (WATER METER)
 - WV (WATER VALVE)
 - HYDRANT
 - TR (TREE)
 - LI (LIGHT POLE)
 - UP (UTILITY POLE)
 - STOCKPILE FENCE
 - WIRE FENCE
 - SM (STONEWALL)
 - MW (MONITOR WELL)
 - DM (DEEP TEST HOLE)
 - TREE SIZE (INCHES DBH) SPECIES
 - TWIN TREE
 - MULTIPLE TREE
 - EDGE OF WETLANDS
 - SP (SIGNAL POINT)
 - TP (TELEPHONE POINT)
 - TE (TELEPHONE-ELECTRIC POINT)
 - EP (ELECTRIC POINT)

- NOTES:**
1. This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 2. It is an Improvement Location Survey based upon a Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
 3. This survey conforms to Horizontal Accuracy Class A-2.
 4. Total Area = 1,618 sq. ft.; 0.0371 Acres.
 5. Parcel is located in Zoning District RORD2.
 6. Property shown on Assessors map CD9, as tax lot 139.
 7. No abstract of title, nor title commitment provided, all documents of record reviewed are noted hereon.
 8. Underground improvements or encroachments if any are not shown.
 9. Reference is hereby made to the Westport Wetland Regulations for proper conservation setback distances per intended use.
 10. Lot does not contain inland wetlands per Town of Westport Interactive C.I.S. application. For more specific inland wetland determinations a licensed Soil Scientist should be consulted.
 11. Property located in "flood zone AE" (el. 10) per National Flood Insurance Program, Flood Insurance Rate Map, for the Town of Westport CT, Community No. 090010, Panel No. 413, Suffix G, Map Effective Date 8 July 2013.
 12. Property is located within the C.A.M. Boundary as per Town of Westport Planning and Zoning Map.
 13. Contour interval is 2 ft., Datum is approximate NAVD 1988.
 14. The word "certify" is understood to be an expression of professional opinion by the Land Surveyor which is based on his or her best knowledge, information and belief and as such it constitutes neither a guarantee or warranty.
 15. Building dimensions shown are for coverage purposes only and are not to be used for construction.
 16. The Building and Conservation setback lines depicted are the surveyors interpretation of the regulations. These setback determinations are subject to change based upon the municipal, federal, and/or state departmental interpretation and/or changes in regulations affecting setbacks. The municipal zoning enforcement officer has current knowledge and authority in this determination and must be consulted prior to design and/or building of improvements on the property.
 17. Surveyor will measure to buildings exterior finish for all building offset distances and for final coverage calculations.
 18. Map References:
A. Property shown on a certain map entitled, "Survey prepared for Samuel A. Goldstein & Jesse Watchel" Westport Land Records Map No. 6212 Scale 1" = 10', 20 April 2022 By Charles Lyman L.S.

Coverage Calculation
(As described in the Westport Planning & Zoning Regulations)

Lot: 22 Main Street Westport, CT

Ag (Total Site Area) = 1,618 sq. ft.
 Exclusive Surface Easement Area = 0 sq. ft.
 At (Ag - Easement) = 1,618 sq. ft.
 W (Wetlands) = 0 sq. ft.
 S (Slopes > 25%) = 0 sq. ft.
 An (At - (W + S)) = 1,618 sq. ft.
 Abc (An + 0.2(W + S)) = 1,618 sq. ft.

The base lot area to be used for the computation of the Maximum allowable coverage = 1,618 sq. ft.

Maximum Allowable Lot Coverage = 1,618 sq. ft. x 75% = 1,213 sq. ft.
 Maximum Allowable Lot Coverage = 1,213 sq. ft.

Existing Building Area = 1,565 sq. ft. = 96.72%

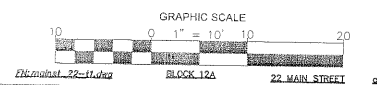
REDUCED TO FIT 11X17
PLOT PLAN
 PREPARED FOR
22 Main Street Associates LLC
 22 MAIN STREET
 WESTPORT ~ CONNECTICUT
 SCALE 1 in. = 10 ft. 3 JUNE 2022

LEONARD SURVEYORS LLC
 "CERTIFIED SUBSTANTIALLY CORRECT"
 CLASS A-2 ACCURACY
 Charles Leonard
 CHARLES L. LEONARD IV, L.S., CONN. REG. No. 20888



REVISION TABLE	
DATE	DESCRIPTION

LEONARD SURVEYORS LLC
 830 POST ROAD EAST
 WESTPORT, CONNECTICUT 06880
 PHONE: (203) 226-7861
 FAX: (203) 454-1832





1 WEST



3 SOUTH



2 SOUTH



4 SOUTH



5 EAST



6 EAST

PROFESSIONAL OF RECORD	
LEGEND	
APPROVALS	R XX/XX/201X
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DATE OF ISSUE	9/20/22
Project # 220518	
Project Name:	
22 MAIN ST	
WESTPORT, CT 06880	



1 ACROSS THE STREET



2 NEIGHBORING BUILDING



3 NEIGHBORING BUILDING

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22 MAIN ST
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Farrow & Ball Paint Mahogany No. 36



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 22 MAIN ST
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CLARENDON
FINE ART

1 EXISTING LOCATIONS IN UK | TENANT BRANDING EXAMPLES



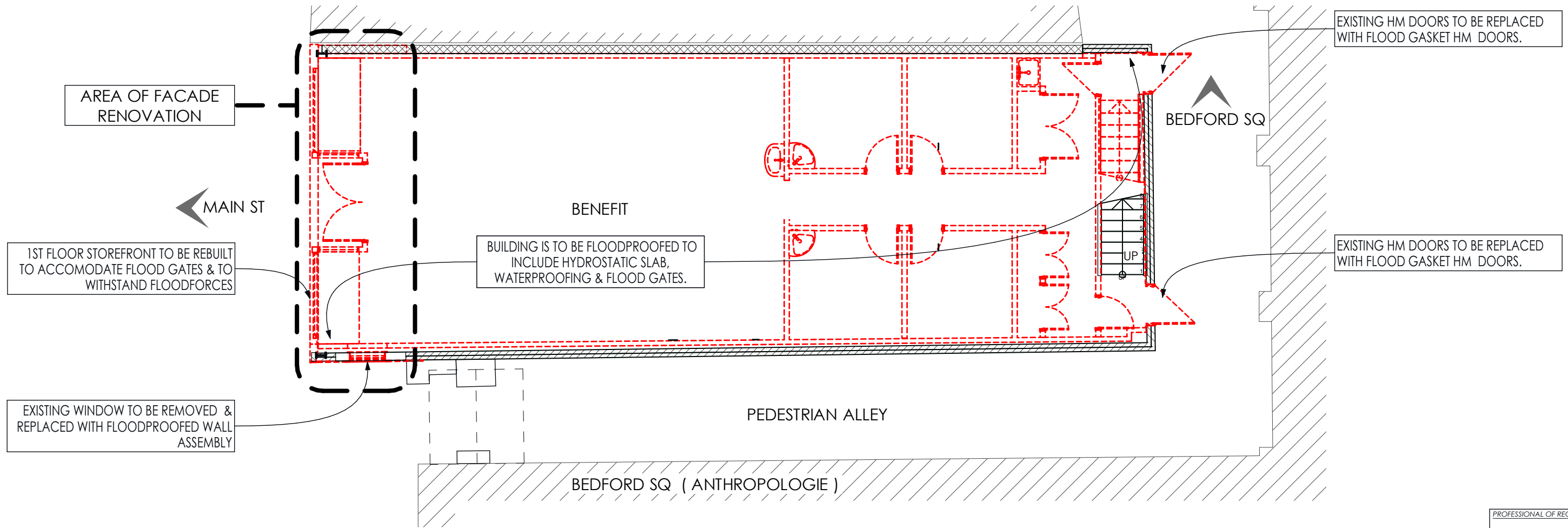
FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P:203.557.0803

/Volumes/Shared/Projects/220518-22 Main Flood Proofing/03-Project PLN/220518-22 Main FLOOD PROOFING VDO APP.pln **drawing to-scale when printed as formatted to 11X17**

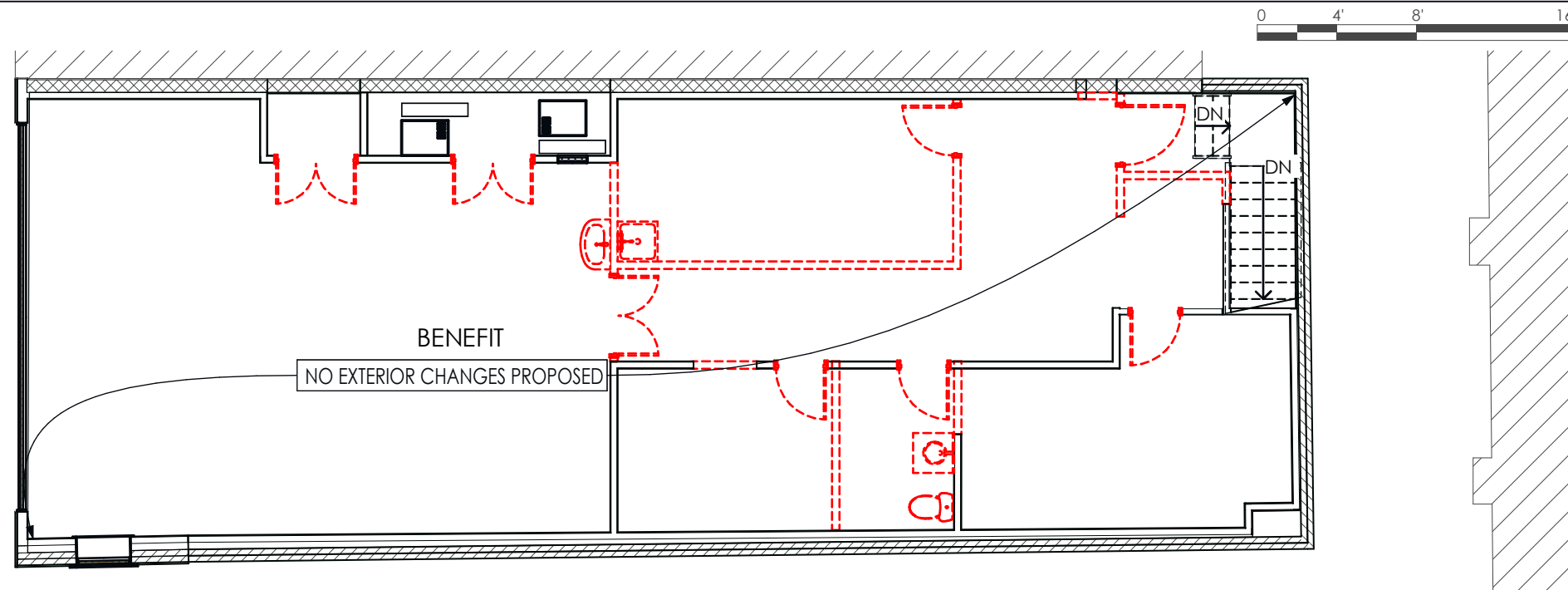
CLARENDON BRANDING | EXISTING LOCATIONS

ARB-05



1 FIRST FLOOR

SCALE: 1/8" = 1'-0"



2 SECOND FLOOR

SCALE: 1/8" = 1'-0"

PROFESSIONAL OF RECORD

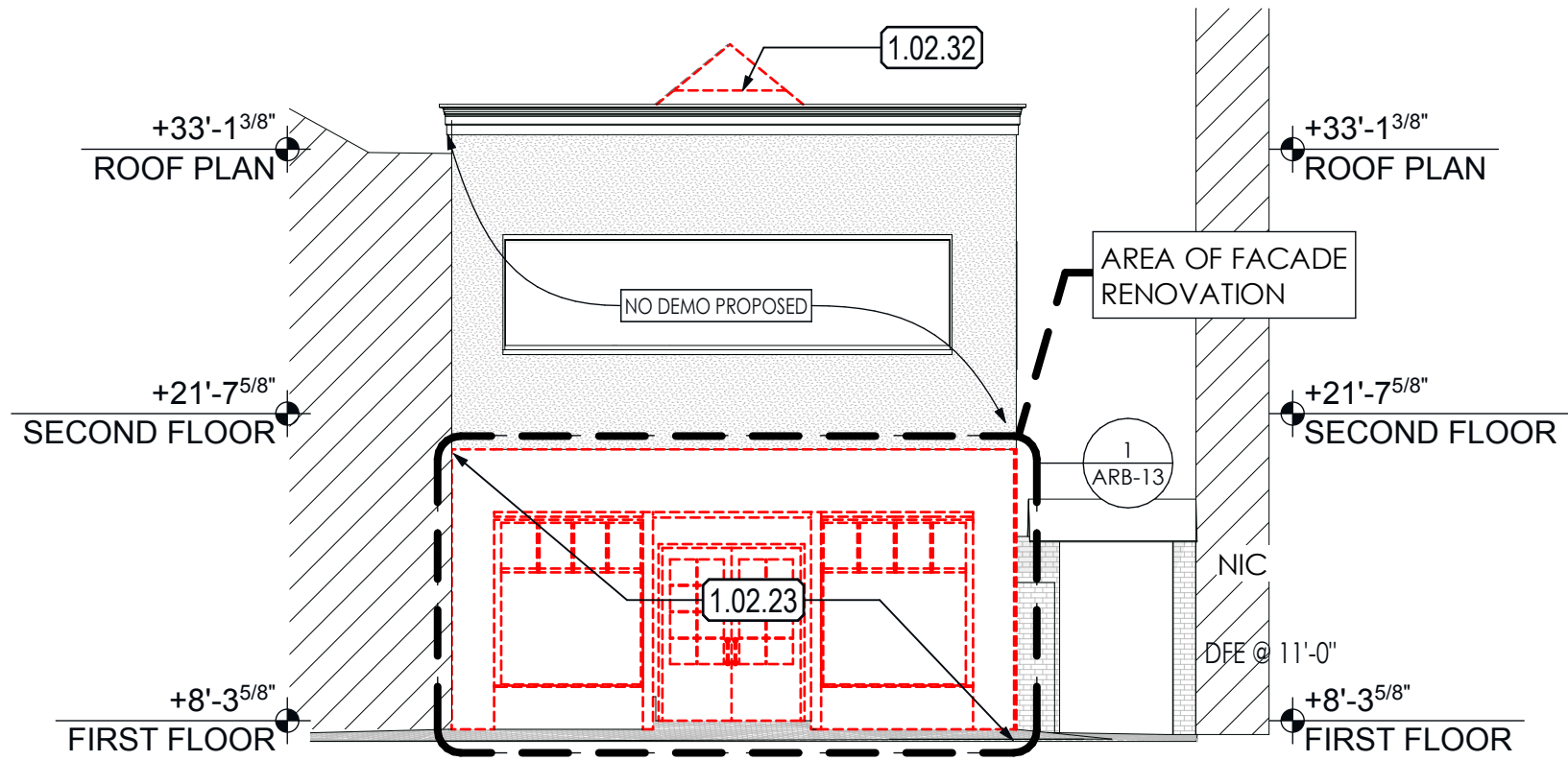
LEGEND

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DATE OF ISSUE		9/20/22

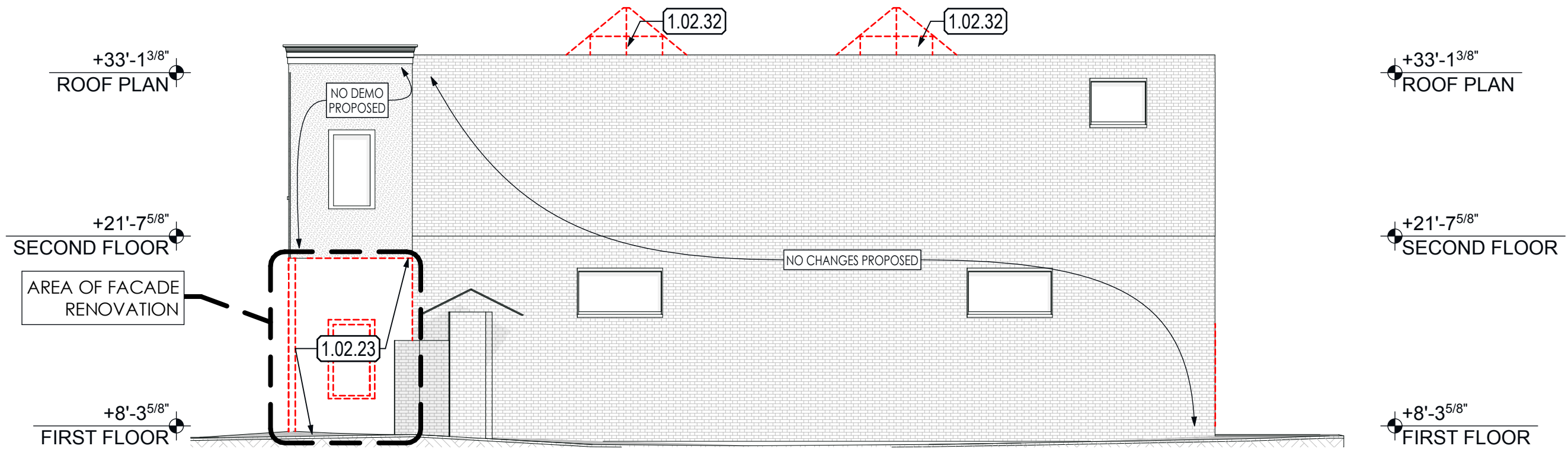
Project # 220518
Project Name:
22 MAIN ST
WESTPORT, CT 06880

KEYNOTES

- 1.02.23 **DEMO EXISTING STOREFRONT**
EXISTING STOREFRONT TO BE DEMOLISHED UP TO EXISTING SECOND FLOOR STRUCTURE AND REBUILT TO WITHSTAND FLOOD FORCES
- 1.02.32 **EXISTING SKYLIGHTS**
EXISTING SKYLIGHTS TO BE DEMOLISHED, COORD W/ ARCH



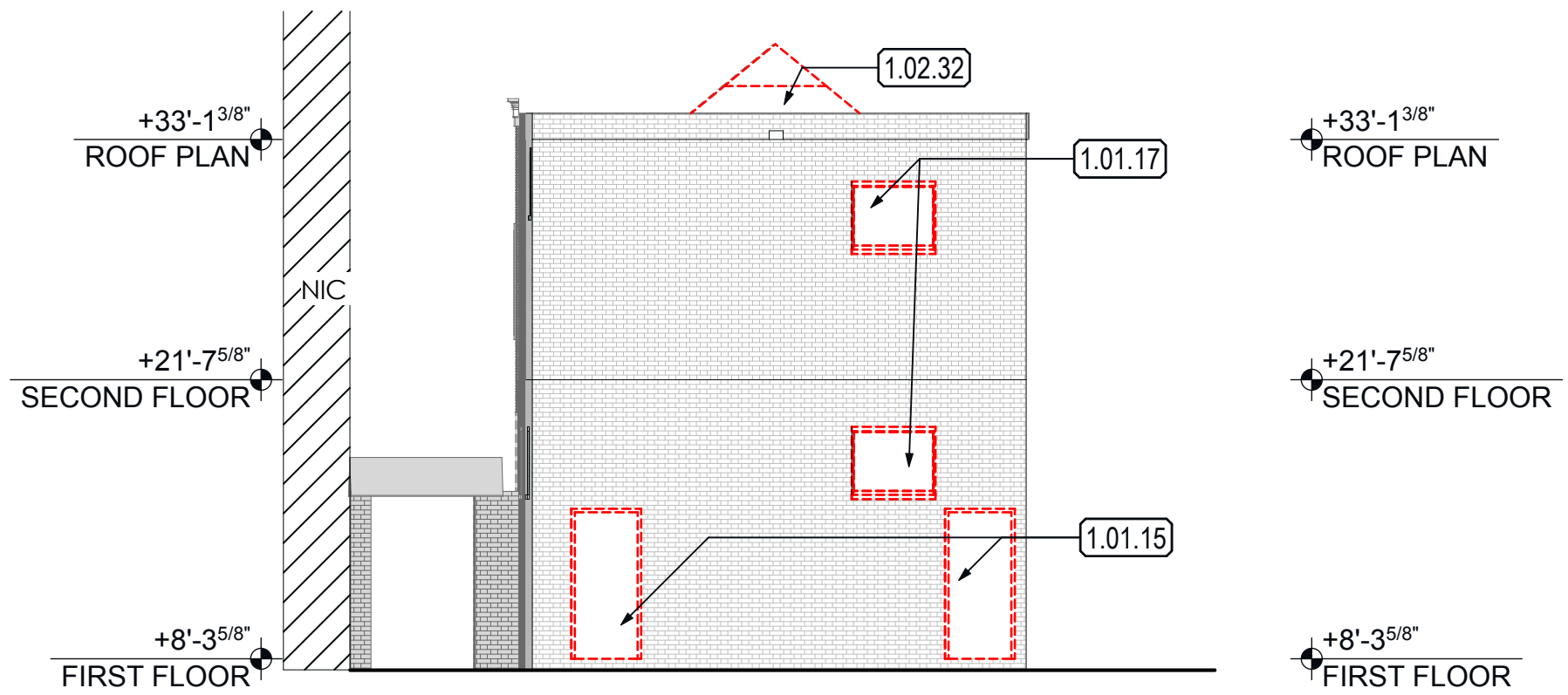
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

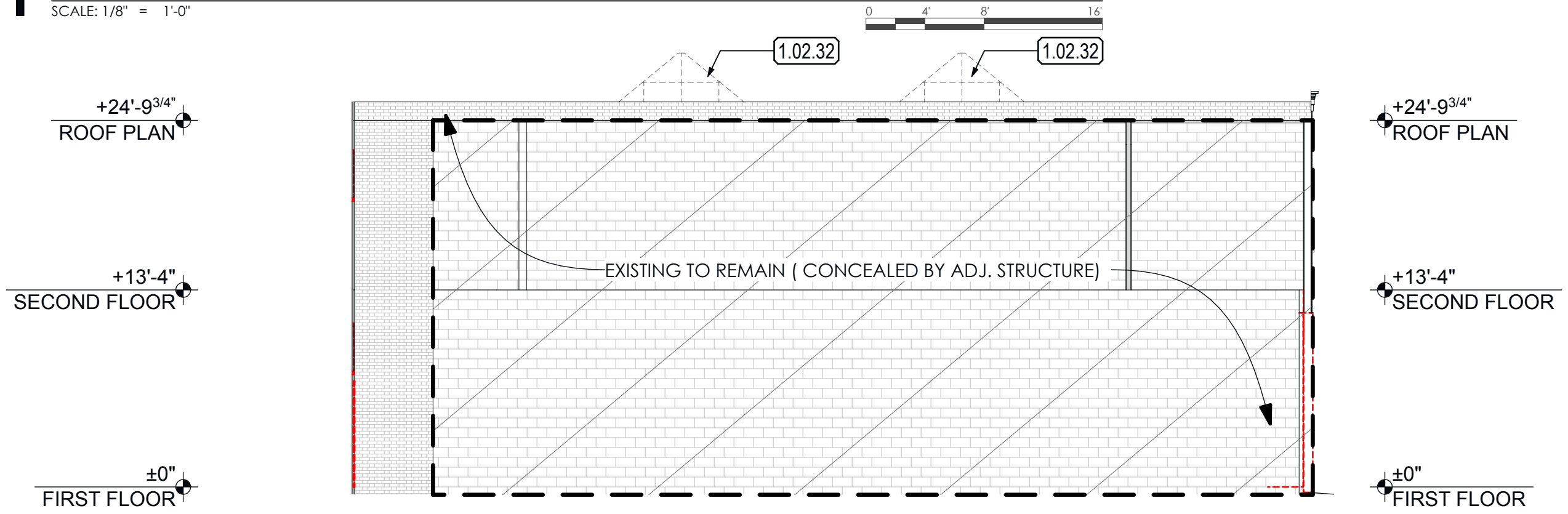
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Project # 220518
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WESTPORT, CT 06880



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

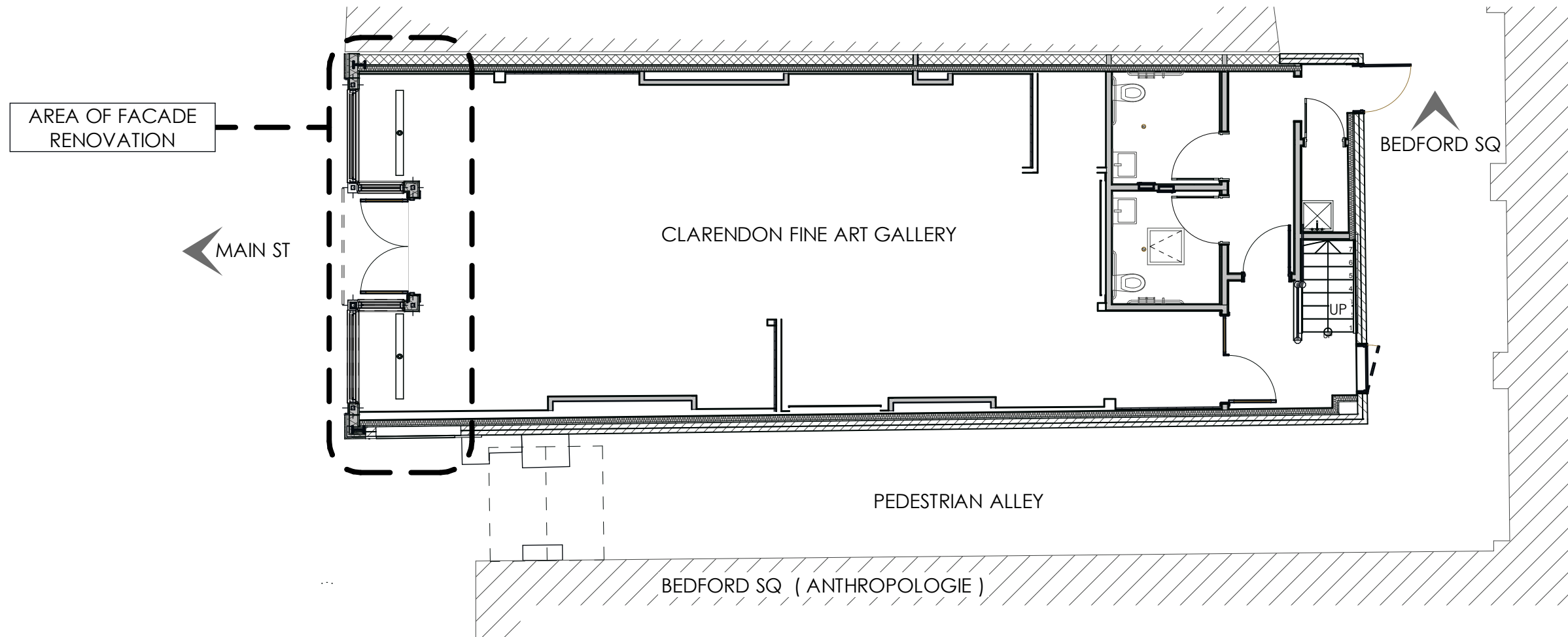
- KEYNOTES**
- 1.01.15 **EXISTING HM DOOR TO BE REPLACED**
EXISTING HM DOOR TO BE REMOVED & REPLACED W/ NEW FLOOD GASKETED DOOR. EXISTING M.O. SHALL BE PREPARED AS REQUIRED TO ACCOMODATE NEW DOOR PER MANUFACTURER.
 - 1.01.17 **DEMO EXISTING WINDOW**
REMOVE EXISTING WINDOWS AND INFILL WITH BRICK - EQUAL TO ADJACENT EXISTING WALL ASSEMBLY. NEW BRICK SHALL BE TOOTHED IN TO EXISTING. INTERIOR SIDE SHALL RECIEVE NEW GYP BD. FINISH TO ALIGN WITH EXISTING TO REMAIN.
 - 1.02.32 **EXISTING SKYLIGHTS**
EXISTING SKYLIGHTS TO BE DEMOLISHED, COORD W/ ARCH



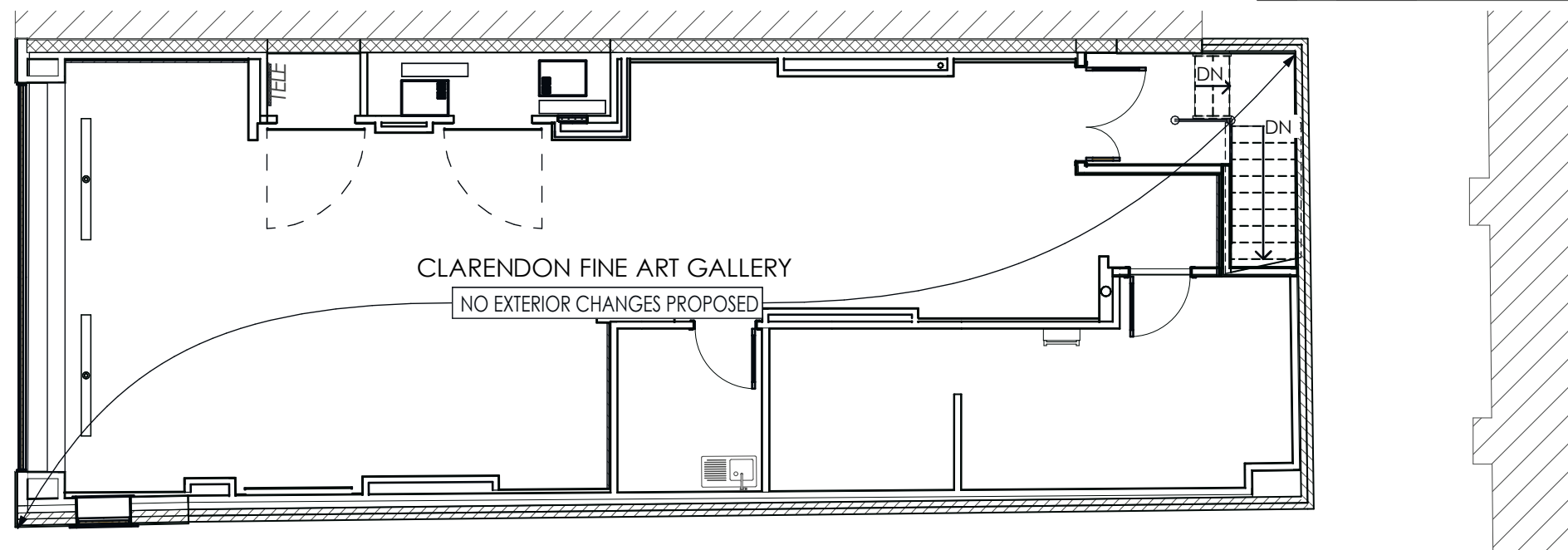
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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LEGEND	
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DESCRIPTION	DATE
DATE OF ISSUE	9/20/22

Project # 220518
Project Name:
22 MAIN ST
WESTPORT, CT 06880



1 FIRST FLOOR
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR
SCALE: 1/8" = 1'-0"

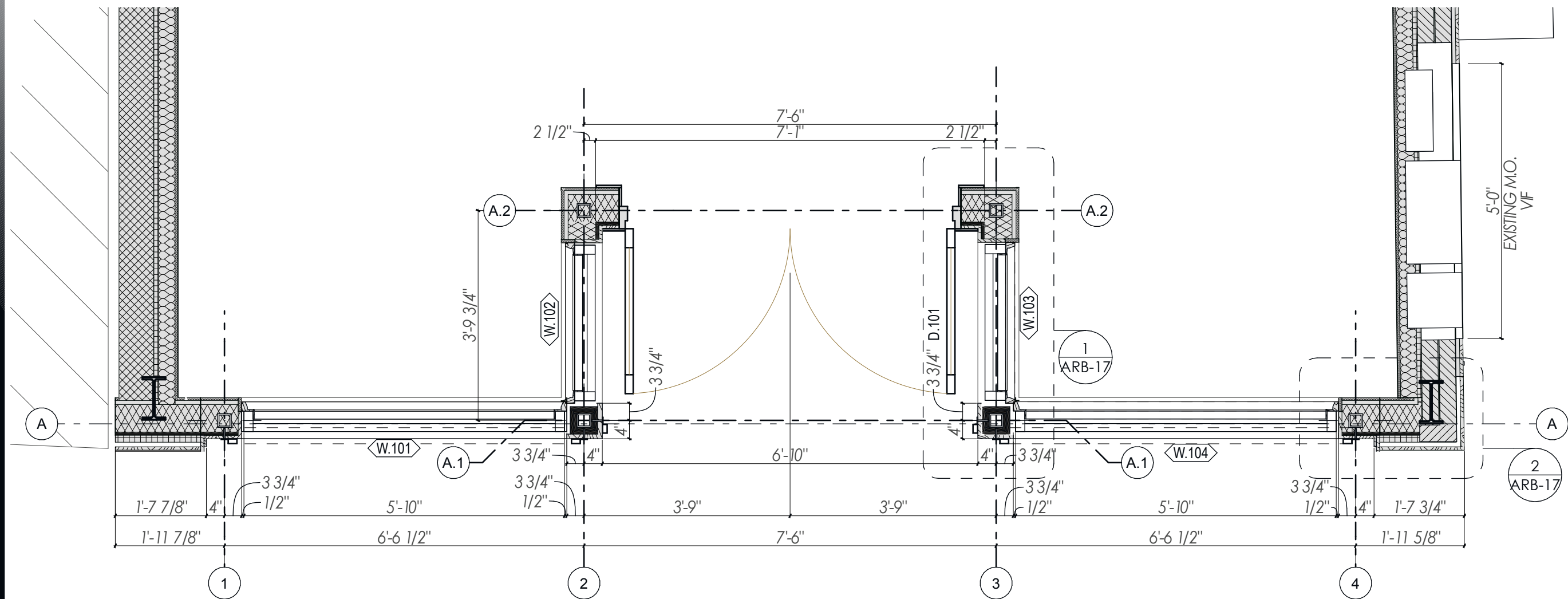


PROFESSIONAL OF RECORD	
LEGEND	
APPROVALS	R XX/XX/201X
ISSUED FOR BID	REVISIONS XX/XX/201X
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FREDERICK WILLIAM HOAG
ARCHITECT

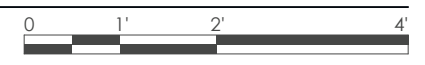
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/Volumes/Shared/Projects/220518-22 Main Flood Proofing/03-Project PLN/220518-22 Main FLOOD PROOFING VDO APP.pln **drawing to-scale when printed as formatted to 11X17**



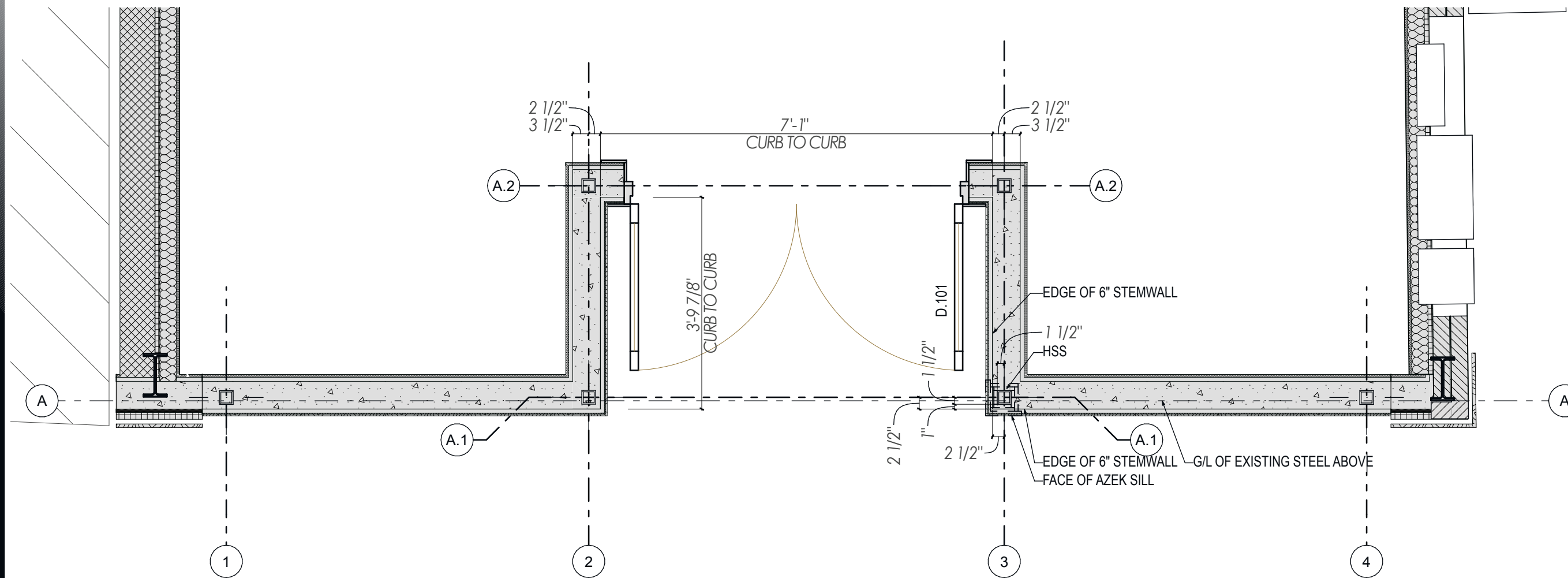
1 STOREFRONT DETAIL PLAN

SCALE: 1/2" = 1'-0"

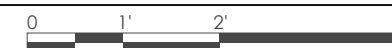



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Project # 220518
 Project Name:
22 MAIN ST
WESTPORT, CT 06880



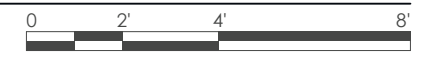
1 STOREFRONT DETAIL PLAN @ STEM WALL ELEV.
 SCALE: 1/2" = 1'-0"



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Project Name:	
22 MAIN ST WESTPORT, CT 06880	



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

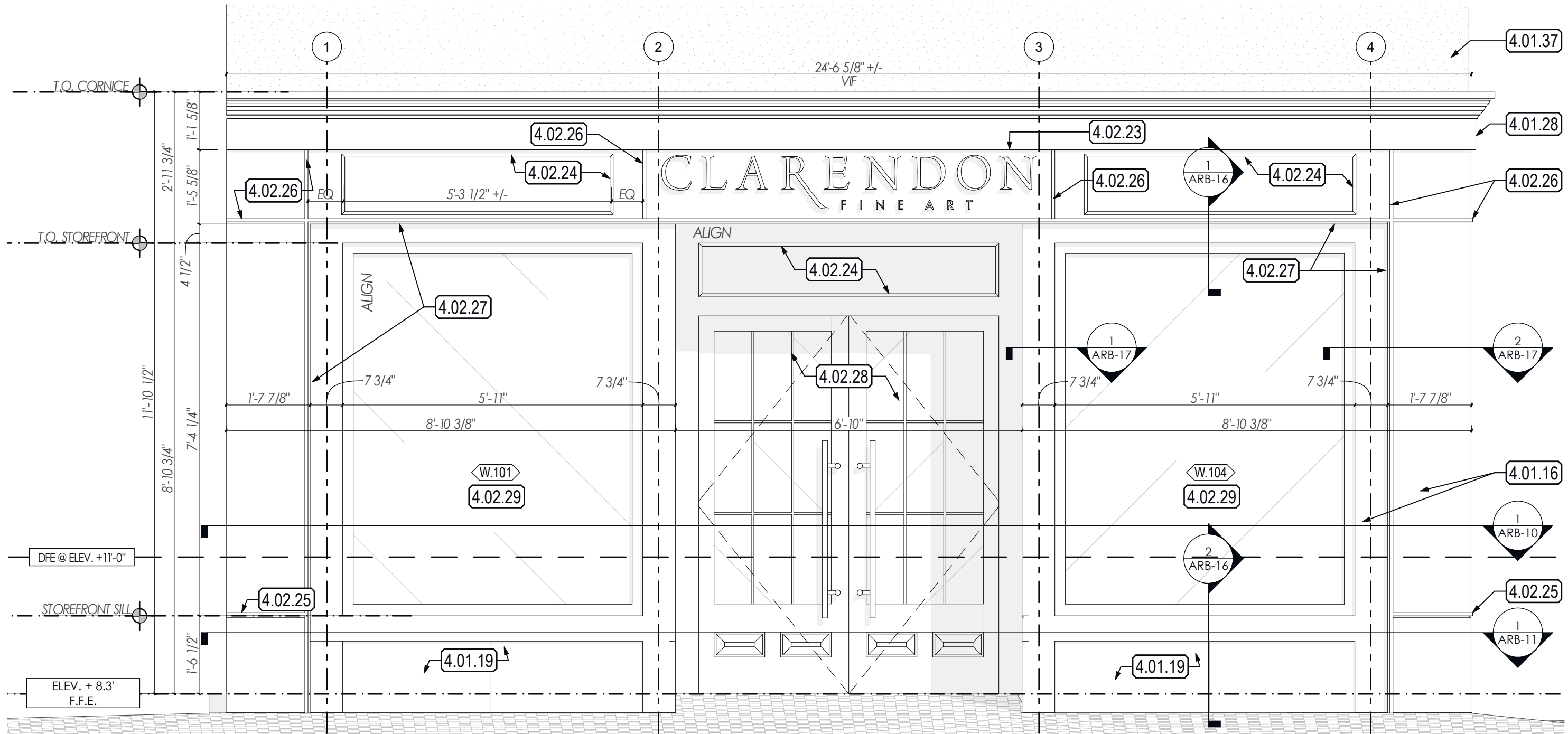


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Project Name:
**22 MAIN ST
WESTPORT, CT 06880**



1 WEST ELEVATION ENLARGED

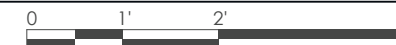
SCALE: 1/2" = 1'-0"

KEYNOTES

- 4.01.16 AZEK SIDING
3/4" AZEK SHEET CLADDING / SIDING
- 4.01.19 PORCELAIN TILE
PORCELAIN TILE TBD
- 4.01.28 TRIM
CORNICE / TRIM TBD
- 4.01.37 EXISTING STUCCO FINISH TO BE REPAIRED & PAINTED
EXISTING EPIS FINISH TO BE PATCHED & REPAIRED AS REQUIRED, TO PREPARE FOR FRESH COAT OF PAINT. EXISTING TEXTURE SHALL BE MATCHED. CONTRACTOR TO PROVIDE SAMPLE.
- 4.02.23 FRT PLYWD BLOCKING FOR TENANT SIGNAGE
IN ADDITION TO EXTERIOR WALL SHEATHING, AS INDICATED BY SHADED AREA, GC SHALL PROVIDE ADDITIONAL 3/4" PLYWD. BLOCKING

- 4.02.24 QTR RND APPLIED AZEK TRIM
PAINT AS SPECIFIED.
- 4.02.25 1X1 AZEK FLATSTOCK TRIM
PAINT AS SPECIFIED.
- 4.02.26 1X1 AZEK FLATSTOCK TRIM- BATTEN
BATTEN TO CONCEAL AZEK SHEET EXPANSION JOINT . PAINT AS SPECIFIED.
- 4.02.27 RECESSED WALL JAMB & HEAD TRIM (AZEK)
DECORATIVE AZEK TRIM FRAME @ JAMB & HEAD OF RECESSED STOREFRONT WALL. REFER TO DETAIL SECTIONS. PAINT AS SPECIFIED.
- 4.02.28 EXISTING DOOR TO BE REPAINTED & RECEIVE NEW HARDWARE

4.02.29 NEW KAWNEER CENTERGLAZED ALUM. STOREFRONT SYSTEM (BLACK)



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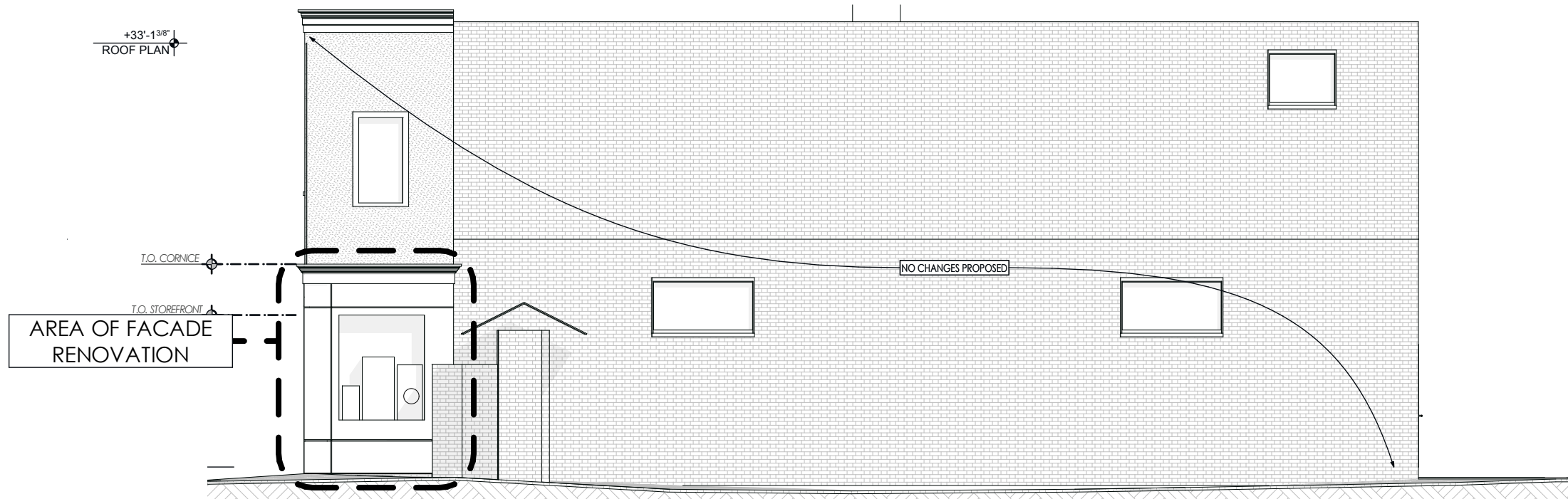
FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P:203.557.0803

WEST STOREFRONT DETAIL ELEVATION

ARB-13

+33'-13/8"
ROOF PLAN

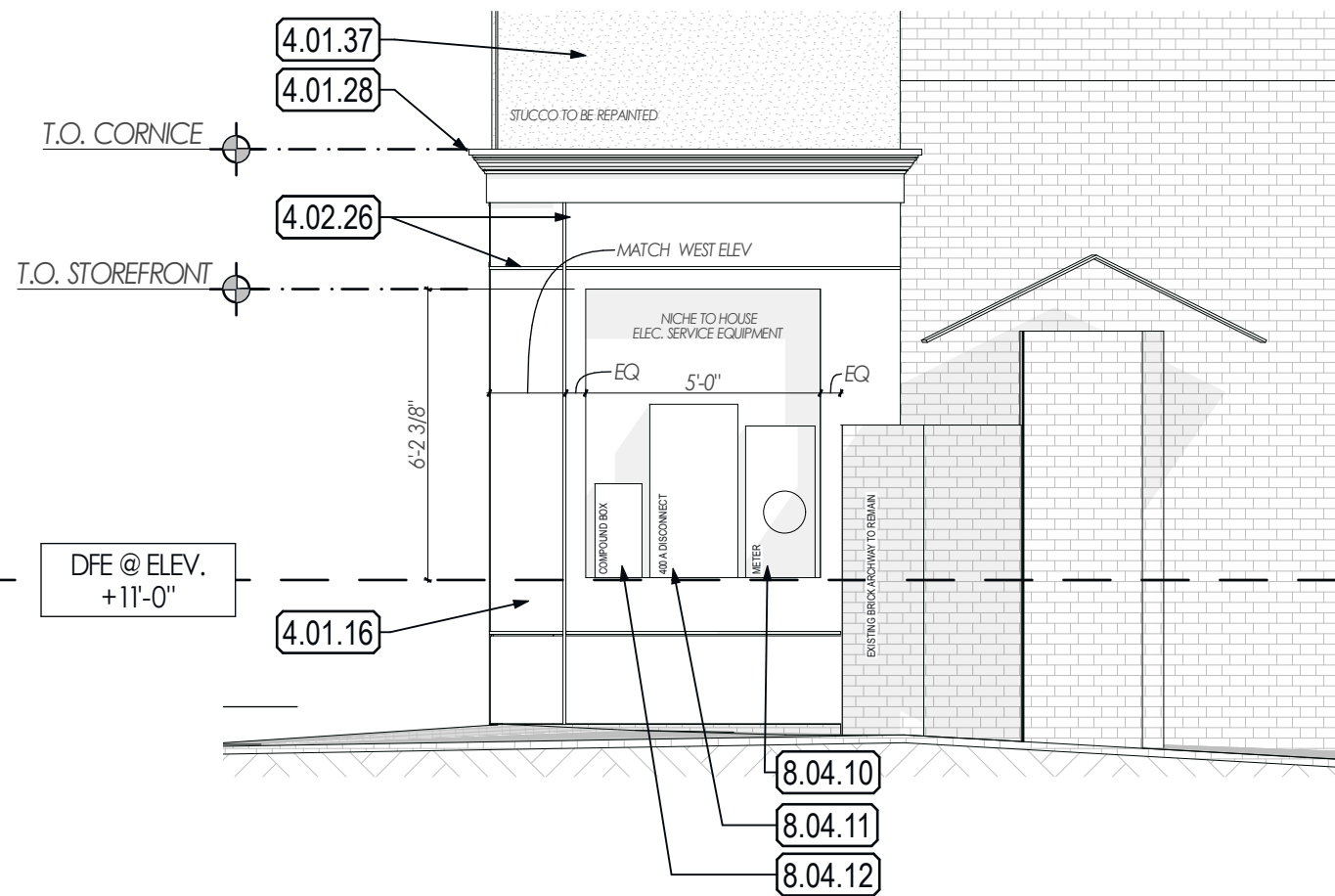


KEYNOTES

- 4.01.16 **AZEK SIDING**
3/4" AZEK SHEET CLADDING / SIDING
- 4.01.28 **TRIM**
CORNICE / TRIM TBD
- 4.01.37 **EXISTING STUCCO FINISH TO BE REPAIRED & PAINTED**
EXISTING EFIS FINISH TO BE PATCHED & REPAIRED AS REQUIRED. TO PREPARE FOR FRESH COAT OF PAINT. EXISTING TEXTURE SHALL BE MATCHED, CONTRACTOR TO PROVIDE SAMPLE.
- 4.02.26 **1X1 AZEK FLATSTOCK TRIM- BATTEN**
BATTEN TO CONCEAL AZEK SHEET EXPANSION JOINT . PAINT AS SPECIFIED.
- 8.04.10 **NEW ELECTRIC METER**
NEW ELECTRIC METER. LIVE PARTS MUST BE ABOVE FLOOD PLANE, MAX HEIGHT TO OPERABLE PARTS NO HIGHER THAN 6'-0"
- 8.04.11 **NEW ELECTRIC DISCONNECT**
NEW 400A MAIN SERVICE ENTRANCE DISCONNECT SWITCH, LIVE PARTS MUST BE ABOVE FLOOD PLANE, MAX HEIGHT TO OPERABLE PARTS NO HIGHER THAN 6'-7". REFER TO ELECTRICAL SHEETS. GC SHALL COORDINATE WITH UTILITY CO. PRIOR TO INSTALLATION.
- 8.04.12 **NEW ELECTRIC COMPOUND BOX**
NEW 24"X24"X12" ELECTRIC COMPOUND BOX TO BE INSTALLED ABOVE DFE

1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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Project # 220518
Project Name:
22 MAIN ST
WESTPORT, CT 06880

FREDERICK WILLIAM HOAG
ARCHITECT

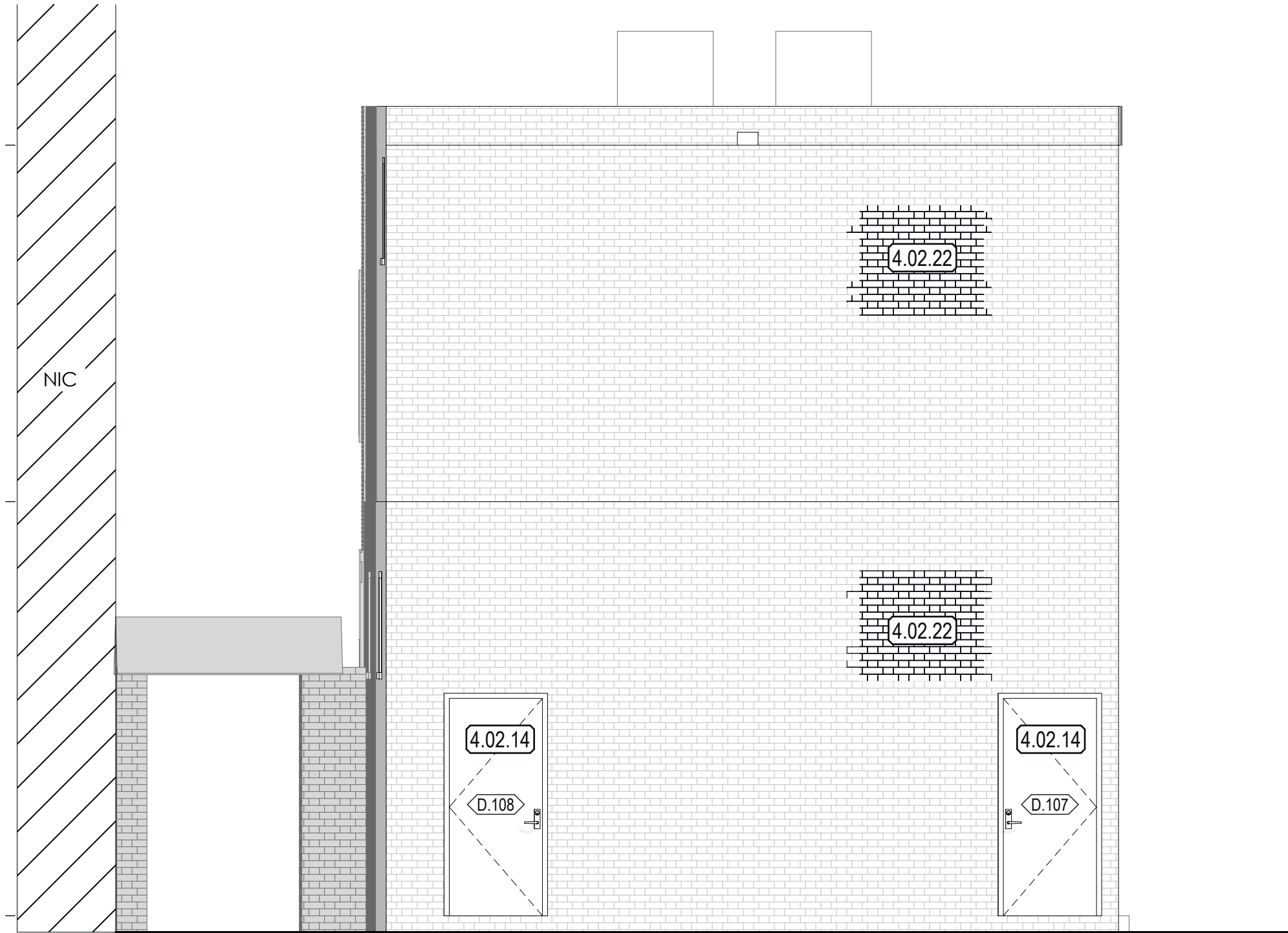
57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P:203.557.0803

PROPOSED | SOUTH ELEVATION

ARB-14

KEYNOTES

- 4.02.14 **NEW FLOODPROOF DOORS**
NEW GASKETED FLOOD DOORS EQUAL TO SAVANNAH TRIM
- 4.02.22 **BRICK INFILL (DEMO'D) M.O.**
WHERE EXISTING WINDOW IS SCHEDULED FOR DEMO, INFILL WITH BRICK - EQUAL TO ADJACENT EXISTING WALL ASSEMBLY. NEW BRICK SHALL BE TOOTHED IN TO EXISTING. INTERIOR SIDE SHALL RECIEVE NEW GYP BD. FINISH TO ALIGN WITH EXISTING TO REMAIN.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

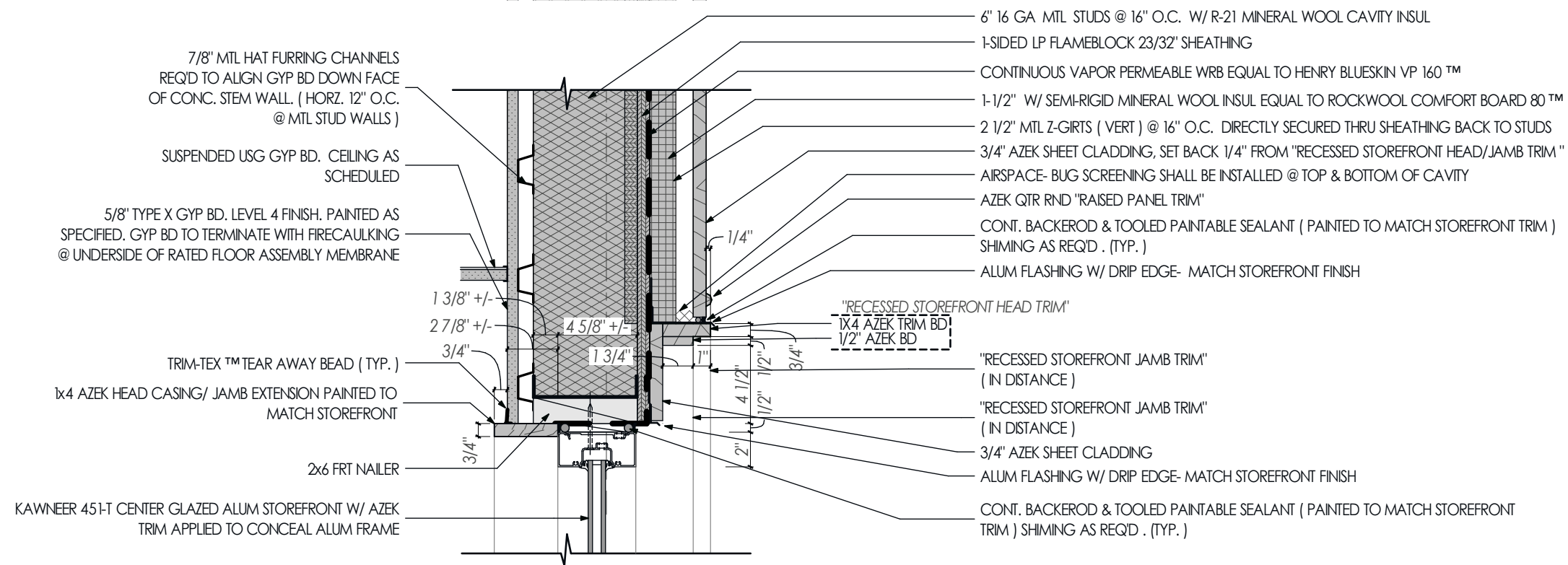


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22 MAIN ST
WESTPORT, CT 06880

FREDERICK WILLIAM HOAG
ARCHITECT

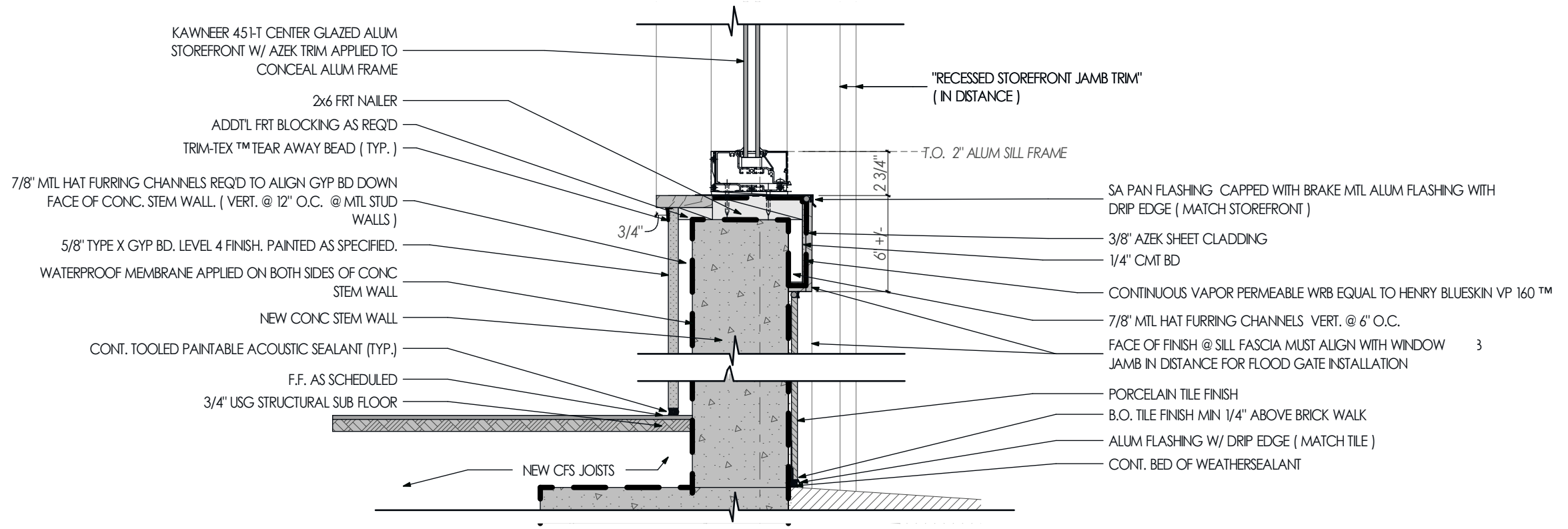
57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P:203.557.0803



ALL PVC TRIM & SIDING SHALL BE APPLIED SMOOTH SIDE OUT WITH FASTENERS PUTTIED, SANDED & PRIMED PRIOR TO FINAL PAINTED FINISH APPLICATION: COLOR SHALL BE AS SPECIFIED. (TYP.)

1 STOREFRONT HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



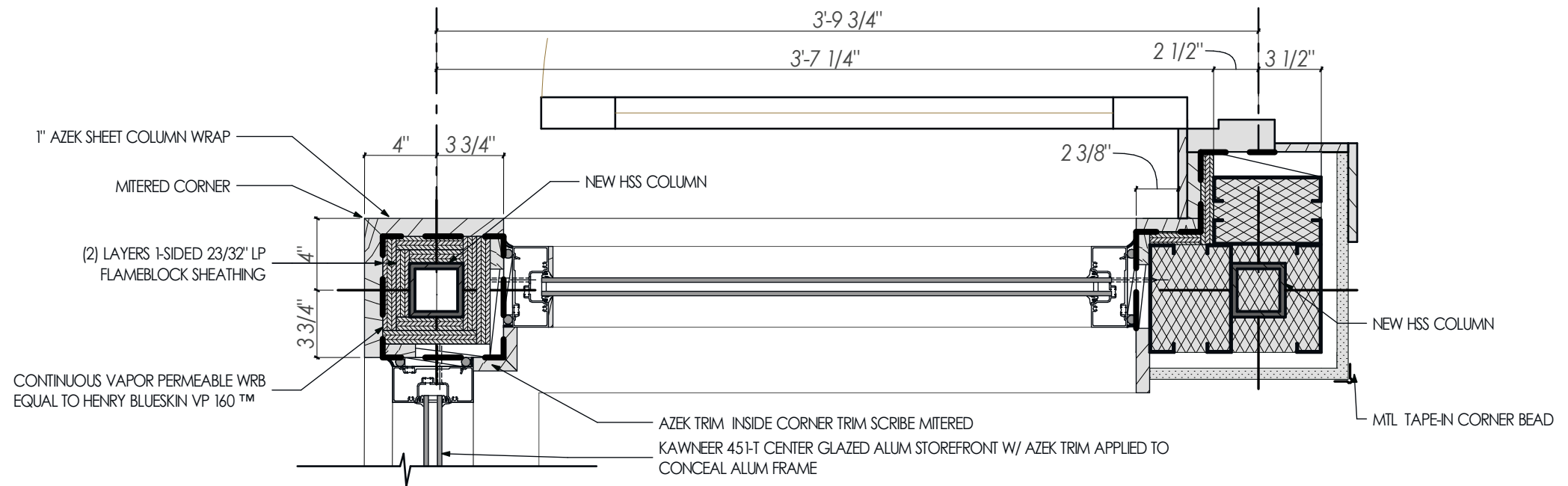
2 STOREFRONT SILL DETAIL

SCALE: 1 1/2" = 1'-0"



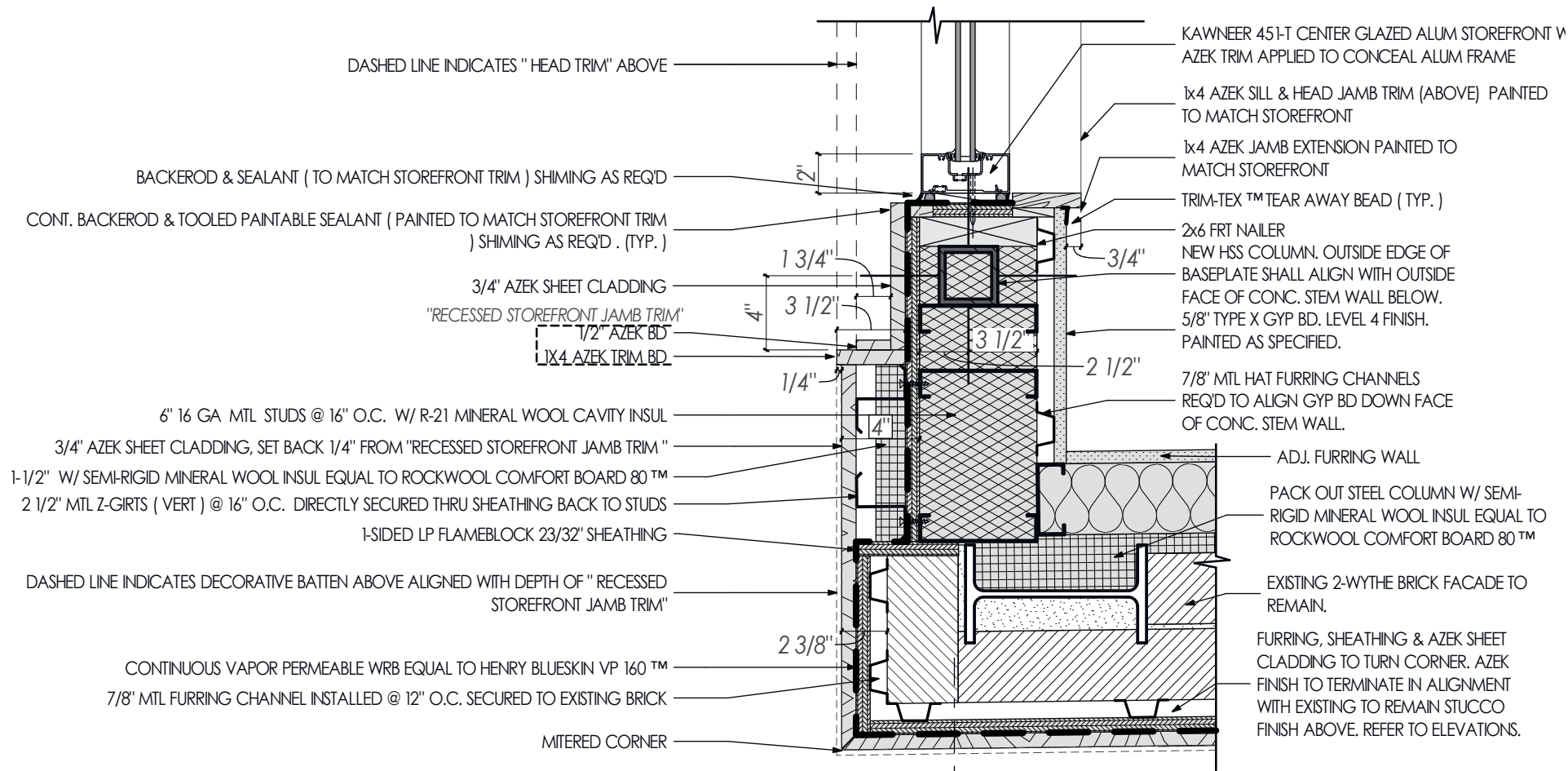
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Project # 220518
 Project Name:
 22 MAIN ST
 WESTPORT, CT 06880



1 STOREFRONT JAMB DETAIL | INSIDE & OUTSIDE CORNER

SCALE: 1 1/2" = 1'-0"



2 STOREFRONT JAMB DETAIL | RIGHT / LEFT

SCALE: 1 1/2" = 1'-0"



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Project # 220518
 Project Name:
 22 MAIN ST
 WESTPORT, CT 06880



1 EXTERIOR STOREFRONT- ALUMINUM STOREFRONT SYSTEM
NOT TO SCALE



2 EXTERIOR STOREFRONT DETAIL VIEW
NOT TO SCALE

- AZEK CORNICE
- APPLIED "DECORATIVE BATTEN"
- APPLIED "RECESSED WALL HEAD TRIM"
- APPLIED "RECESSED WALL JAMB TRIM"
- KAWNEER 2"x4-1/2" CENTER GLAZED BLACK ALUMINUM STOREFRONT SYSTEM
- PORCELAIN TILE BASE

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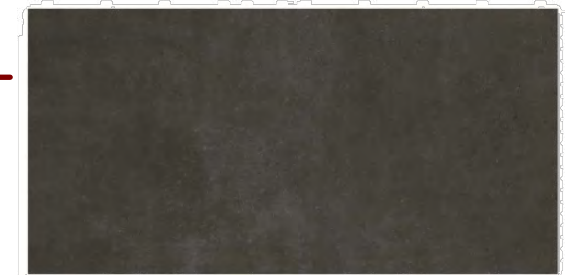
Project # 220518
Project Name:
22 MAIN ST
WESTPORT, CT 06880



Farrow & Ball Paint Wevet No.273



Farrow & Ball Paint Mahogany No. 36



NEMO Tundra Black 12x24
TILE + STONE SKU#: TUNDRA04

1 MAIN STREET FACADE RENDERING

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Project # 220518
Project Name:
22 MAIN ST
WESTPORT, CT 06880



REMOVABLE FLOOD GATES

1 EXTERIOR STOREFRONT- FLOODGATES ON

NOT TO SCALE

REMOVABLE FLOOD GATE ATTACHMENT PLATES DOWN TO GRADE SECURED BACK TO STRUCTURAL @ RECESSED DOOR ALCOVE



REMOVABLE FLOOD GATE ATTACHMENT PLATES SECURED BACK TO STRUCTURAL POSTS AROUND WINDOW PERIMETER

2 DETAIL VIEW + FLOOD GATE ATTACHMENTS

NOT TO SCALE

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DATE OF ISSUE		9/20/22

Project # 220518
 Project Name:
 22 MAIN ST
 WESTPORT, CT 06880

Historic Residential Structures Special Permit §32-18

The purpose of this regulation is to further the preservation, rehabilitation, restoration, reconstruction and/or adaptive re-use of historic residential structures and associated historic accessory structures in Westport residential districts. The Planning and Zoning Commission may, by grant of a Special Permit/HRS, authorize the use, setback, height and coverage incentives of this section in those circumstances where applicable zoning regulations have the practical effect of discouraging the preservation historic buildings and historic accessory structures.

JOINT COMMITTEE - ARB/HDC

**Historic Residential Structures Special Permit §32-18
REVIEW AND RECOMMENDATION**

Date: SEPTEMBER 21, 2022

PROPERTY ADDRESS: 35 WRIGHT STREET

OWNER OF RECORD: CYNTHIA LEIDNER MULLER, REV. TRUST Daytime Tel: C/O 203-454-8008

OWNER'S ADDRESS: 35 WRIGHT STREET Email: C/O GLORIA@LANDUSE-CT.COM

APPLICANT'S NAME (if different): GLORIA GOUVEIA, LAND USE CONSULTANTS Daytime Tel: 203-454-8008

If the applicant is unable to obtain property owner's signature, please submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: 131 KINGS HIGHWAY NORTH Email: GLORIA@LANDUSE-CT.COM

see authorization
Property Owner's Signature

Gloria Gouveia
Legal Representative's Signature (As authorized by owner)

PLANNING & ZONING STAFF NOTIFICATION OF SPECIAL PERMIT APPLICATION

- Appears to comply
- Appears not to comply
- Need more information

P&Z Staff Name

Date of P&Z Review

SUBMIT this completed form and seven (7) folded sets of the following materials to the Historic District Commission

(HDC) Office, Room 108, 10 days prior to scheduled meeting. (Meetings are held the first Tuesday of the month).

- Site Plans (11" x 17")
- Narratives describing the project, including construction details and proposed materials
- Existing plans drawn to scale, size (11" x 17")
- Proposed building plans drawn to scale, size (11" x 17")
- An electronic copy of entire set of submission materials and application form sent to HDC staff administrator

BRING the following materials with you to the meeting:

- Contextual photos of the site and existing conditions
- Other such materials as the applicant may deem appropriate to enable the Joint Committee to evaluate the design of the proposed project

Joint Committee Recommendation to Planning and Zoning Commission:

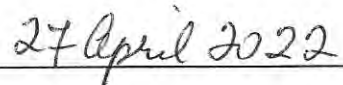
Chair's Signature: _____ Date: _____

OWNER'S AUTHORIZATION

To Whom It May Concern:

As Delegated Agent for The Cynthia Leidner Muller Revocable Trust Agreement #1, the Owner of record of 35 Wright Street, Westport, CT 06880, I hereby authorize Gloria Gouveia d/b/a Land Use Consultants, and J.P. Franzen Associates, Architects to represent the Trust's interests in the matter of applications to and permits from the Town of Westport, CT 06880, for property located at 35 Wright Street, Westport, CT 06880.





Carl Anton Muller

DATE

Delegated Agent

The Cynthia Leidner Muller Revocable Trust #1

THE CYNTHIA LEIDNER MULLER REVOCABLE TRUST AGREEMENT #1

DELEGATION OF AUTHORITY

WHEREAS, the Cynthia Leidner Muller Revocable Trust Agreement #1 (the "Trust") is a Pennsylvania trust governed by Trust Agreement dated March 30, 2012 (the "Trust Deed");

WHEREAS, Peter Rosenberg presently is the sole trustee of the Trust (the "Trustee");

WHEREAS, the Trust owns that certain residential real property located at 35 Wright Street, Westport, Connecticut 06880 (the "Property");

WHEREAS, Section 1 of Part III of the Trust Deed empowers the Trustee to employ legal and investment counsel, custodians, accountants and other agents for the transaction of any business of the Trust;

WHEREAS, the Trustee wishes to delegate to Carl Muller (the "Agent") authority to enter into any agreements or contracts with third parties, and to execute on behalf of the Trustee any and all documents necessary or desirable, for the construction, remodeling, or other physical improvement of the Property, subject to the restrictions and limitations set forth herein, and the Agent wishes to accept such delegation of authority.

NOW, THEREFORE, in consideration of the foregoing, the Trustee hereby delegates as follows:

1. The Trustee hereby delegates to the Agent authority to enter into any agreements or contracts with third parties (including, but not limited to, architects and contractors), and execute any and all documents necessary or desirable, on behalf of the Trustee in regard to the construction, remodeling, or other physical improvement of the Property.

2. This Delegation of Authority shall remain in effect until revoked by written instrument signed by the Trustee and delivered to the Agent. Any third party without actual notice of the revocation of this Delegation of Authority shall be entitled to assume that it is in full force and effect.

3. This Delegation of Authority may be executed by facsimile, email or other electronic transmission and in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

4. The Agent hereby accepts the foregoing delegation subject to the terms and conditions set forth above.

5. This Delegation of Authority shall be governed by the laws of the Commonwealth of Pennsylvania, and shall be effective as of the date set forth below.



PETER ROSENBERG, Trustee 6/24/2021 Date



CARL MULLER, Agent Date

35 WRIGHT ST – NARRATIVE

According to historic records, the Main House was built ca.1845 by Zalman Sanford, who is shown as owner on a 1855 map of Westport. The building is a two-story, 3-bay-by-2-bay Greek Revival style residence.

The property is located on the South side of Wright Street between Post Road West and Orchard Lane. The lot is long and narrow and slopes gently up to the South. The slope is bifurcated by a low stone wall between the house and cottage.

The Main House is located only about 30' from the public way as was typical of the period. An accessory structure is located to the rear of the house, about 200' from the public way and close to the Westerly property line, affording a clear view of the depth of the lot and gardens from the Main House.

We are proposing a comprehensive rehabilitation of the two main buildings on the property.

The renovation of and additions to the Main House have been the subject of a Certificate of Appropriateness approved by the HDC and setback variances granted by the Zoning Board of Appeals.

The accessory structure (referenced on plans as “cottage”) is of indeterminate age but was likely constructed around the turn of the 19th century. There are no records of the structure’s use prior to the 1940’s. It was formerly and most recently used as a studio for architect Theodore C. Muller and his wife, artist, and landscape designer Helen Muller, who remained in residence on the property until 1991. The structure is in severely deteriorated condition.

Our proposal is to deconstruct the “cottage”, salvage elements such as portions of the foundation which may be eligible for re-use in the reconstruction which will otherwise follow the design template of the existing easterly and northerly elevations.

Although what remains of the existing outbuilding is not reminiscent of any particular style or period of architecture, our intention is to preserve and/or restore distinctive exterior features based on the family’s recollections, pictorial documentation from the last 50 years and existing conditions.

We are requesting considerations under Section 32-18 of the Westport Zoning Regulations for side setbacks to retain the building siting and to enlarge the floor area for use as an accessory dwelling. The proposal is for the building to be expanded to 980 square feet and converted to a dwelling of sufficient size that the floor plan will conveniently accommodate a walker or a wheelchair. The accessory dwelling will be served by an alternative energy source in the form of solar panels.

In addition to the requisite Preservation Easement to be provided for the accessory structure's renovation and conversion to use as a dwelling under Section 32-18 of the Westport Zoning Regulations, the property owners/applicants are also proposing the provision of the additional benefit of a Preservation Easement for the Main House.

Respectfully submitted by:

Gloria Gouveia, LAND USE CONSULTANTS

September 21, 2022



HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: Stacey Vairo, National Register and State Register Coordinator,
Connecticut Commission on Culture & Tourism, One Constitution Plaza, 2nd Floor, Hartford, CT 06103

* Note: Please attach any additional or expanded information on a separate sheet.

GENERAL INFORMATION

Building Name (Common) _____
 Building Name (Historic) Zalman Sanford House No. 1
 Street Address or Location 35 Wright Street
 Town/City Westport Village _____ County Fairfield
 Owner(s) Cynthia M. Muller Public Private

PROPERTY INFORMATION

Present Use: Residential
 Historic Use: Residential
 Accessibility to public: Exterior visible from public road? Yes No
 Interior accessible? Yes No If yes, explain _____
 Style of building Greek Revival Date of Construction 1845

Material(s) (Indicate use or location when appropriate):

Clapboard Asbestos Siding Brick Wood Shingle Asphalt Siding
 Fieldstone Board & Batten Stucco Cobblestone Aluminum Siding
 Concrete (Type _____) Cut Stone (Type _____) Other _____

Structural System

Wood Frame Post & Beam Balloon Load bearing masonry Structural iron or steel
 Other _____

Roof (Type)

Gable Flat Mansard Monitor Sawtooth
 Gambrel Shed Hip Round Other _____

(Material)

Wood Shingle Roll Asphalt Tin Slate Asphalt Shingle
 Built up Tile Other _____

Number of Stories: 2 Approximate Dimensions _____

Structural Condition: Excellent Good Fair Deteriorated

Exterior Condition: Excellent Good Fair Deteriorated

Location Integrity: On original site Moved When? _____

Alterations? Yes No If yes, explain: Side and rear ell, enclosed front ent., att. bay window, att. garage

FOR OFFICE USE: Town # _____ Site # _____ UTM _____

District: S NR If NR, Specify: Actual Potential

PROPERTY INFORMATION (CONT'D)

Related outbuildings or landscape features:

- Barn Shed Garage Carriage House Shop Garden
- Other landscape features or buildings: _____

Surrounding Environment:

- Open land Woodland Residential Commercial Industrial Rural
- High building density Scattered buildings visible from site

• Interrelationship of building and surroundings:

See Continuation Sheet

• Other notable features of building or site (*Interior and/or Exterior*)

See Continuation Sheet

Architect _____ Builder _____

• Historical or Architectural importance:

See Continuation Sheet

• Sources:

See Continuation Sheet

Photographer PAL Inc. _____ Date 10/4/2011

View _____ Negative on File _____

Name _____ Date 10/4/2011

Organization PAL Inc. _____

Address 210 Lonsdale Avenue, Pawtucket, RI 02860

• Subsequent field evaluations:

Threats to the building or site:

- None known Highways Vandalism Developers Renewal Private
- Deterioration Zoning Other _____ Explanation _____

STATE OF CONNECTICUT

COMMISSION ON CULTURE & TOURISM
STATE HISTORIC PRESERVATION OFFICE

One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM

For Buildings and Structures

FOR OFFICE USE ONLY

TOWN NO.: SITE NO.:
UTM: 18/____/____/____/____/____
QUAD:
DISTRICT: NR: Actual
 Potential

CONTINUATION SHEET

Item Number: _____ Date: October 2011

PAL, Pawtucket, RI 02860

35 Wright Street, Westport, CT

Interrelationship of building and surroundings:

The house occupies a level grass lawn and faces north towards Wright Street. The lot is raised about a foot above street level and supported by a low fieldstone retaining wall. Evergreen shrubs and tall trees line the east and west sides of the property. Several smaller shrubs are along the foundation of the house. A gravel driveway runs along the west side of the lot.

Other notable features of building or site (*Interior and/or Exterior*):

The building is a two-story, three-bay-by-two-bay, Greek Revival style residence. The asphalt shingle-clad, front-gable roof has a wide rake boards and shallow gable returns and a brick chimney at the center of the roof ridge. The walls are clad in clapboard and rest on a stone block foundation. The main entrance is recessed within a pedimented addition attached to the west bay of the north (facade) elevation which contains a panel door with full-height sidelights and a four-light transom. The entry is framed by fluted columns in the annex. Windows primarily consist of six-over-six double-hung sash with narrow wood trim and lintels. A rectangular louvered opening is located in the gable on the facade. A two-story ell and a one-story attached garage built in the 1960s extends from the east elevation of the house. The garage features a row of single pane windows in the entablature on the north elevation. The additions alter the original plan of the house; however the original block is visible. Minor alterations include the replacement of some materials, like the windows.

Historical or Architectural importance:

The house was constructed ca. 1845 by Zalman Sanford, who is labeled as the owner on the 1855 map of Westport. It was sold to Francis Bennett, a river boat captain, in 1854. It also appears on the 1867 map of Westport, where it is listed as the house of Capt. E.F. Bennett. Bennett sold the property to Capt. Peter Buckley, also a riverboat captain, the same year. Due to a lack of documentation, ownership information at the turn of the twentieth century is unknown. By 1923, the property is occupied by a teacher Robert W. and his wife Emily B. Fuller. The Fullers continued to occupy the property until 1950. By 1955, the house was occupied by Theodore C. Muller. Muller remained on the property until 1991. Cynthia M. Muller is the current owner of the property.

Sources:

Beers, J.H. & Co. Atlas of the County of Fairfield. 1867; Cunningham, Jan. Kings Highway North HD NR. Hartford: Connecticut Historical Commission, 1997; Hopkins, G.M. Atlas of the County of Fairfield. 1879; Sanborn Fire Insurance Maps. 1891-1940; Westport Directory (W.D.). Loveland, CO: US West Marketing Resources, 1991; W.D. Chicago, IL: Johnson Publishing Co., 1985; W.D. Providence, RI: C. DeWitt White Co., 1917-1918; W.D. New Haven: The Price & Lee Co., 1923-1974. WHD files.

STATE OF CONNECTICUT

**COMMISSION ON CULTURE & TOURISM
STATE HISTORIC PRESERVATION OFFICE**

One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM

For Buildings and Structures

CONTINUATION SHEET

Item Number: _____ Date: October 2011

PAL, Pawtucket, RI 02860

35 Wright Street, Westport, CT

PHOTOGRAPHS



View of the north elevation.

FOR OFFICE USE ONLY

TOWN NO.: _____ SITE NO.: _____

UTM: 18/____/____/____/____/____

QUAD: _____

DISTRICT: _____ NR: Actual
Potential



PROPOSED RENOVATION/ADDITION TO COTTAGE BUILDING MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880

DRAWING LIST

General

G1 COVER SHEET

Site

EXS1 EXISTING A-2 SURVEY

SP1 PROPOSED SITE PLAN AND STONE WALLS

Demolition

EXR1 DEMOLITION PLANS AND EXTERIOR ELEVATIONS


COTTAGE

CA1 PROPOSED CRAWL, FIRST FLOOR
AND ROOF PLANS

CA2 PROPOSED EXTERIOR ELEVATIONS

6 TOTAL DRAWINGS

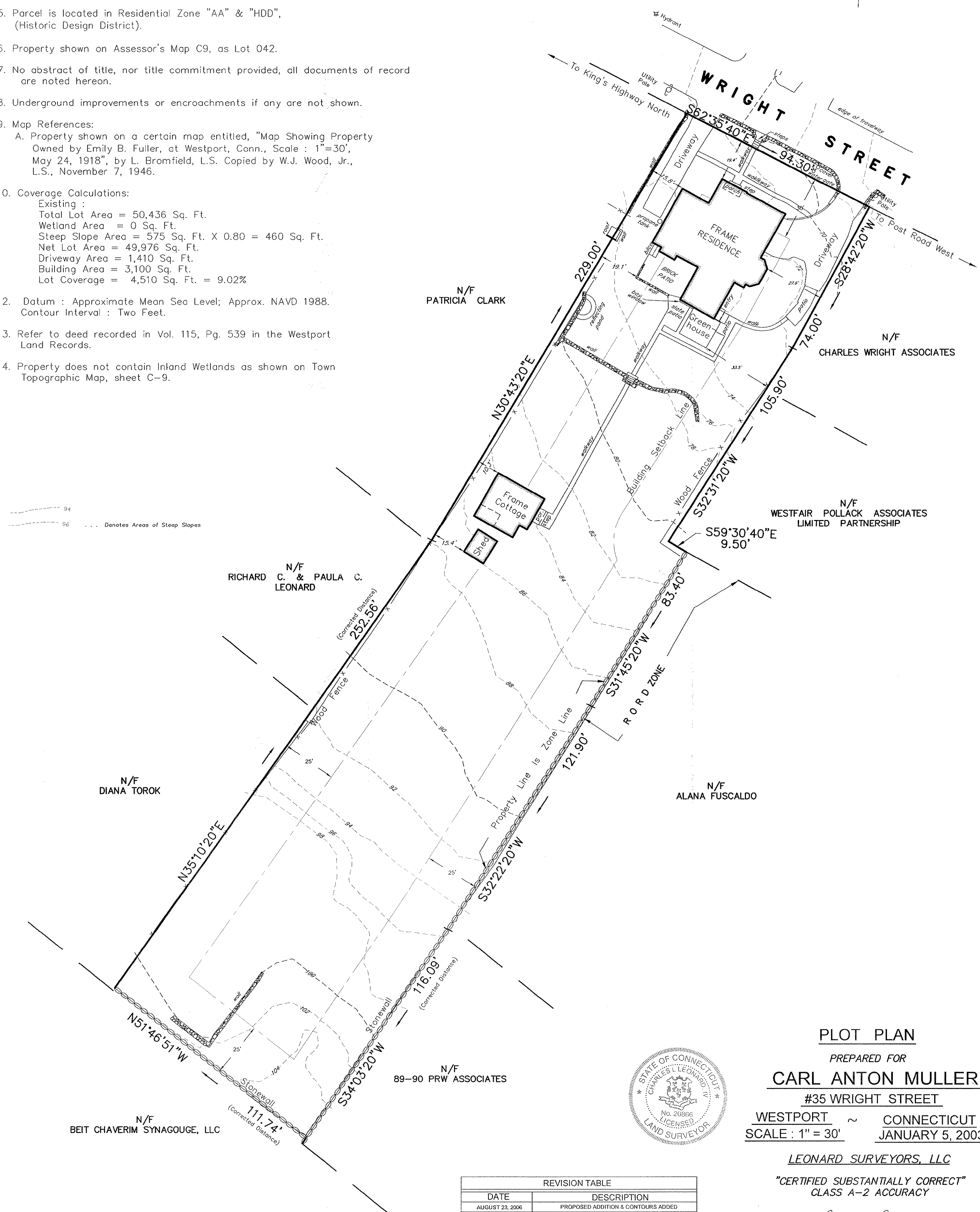
ISSUED FOR TOWN REVIEW 1/12/22

PROJECT: PROPOSED RENOVATION/ADDITION TO COTTAGE BUILDING MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880	DATE: JAN. 12, 2022	J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. TIDE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: 0303 259-0529 WWW.FRANZENARCHITECTS.COM		SCALE: NONE DRAWN BY: DRW JOB NO. 071221 DRAWING NO.
DRAWING TITLE: COVER SHEET				G1

NOTES:

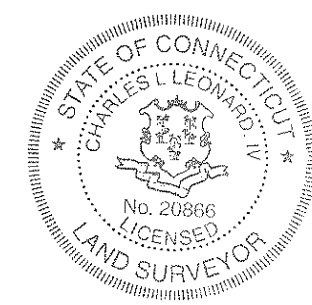
1. This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
3. This survey conforms to Horizontal Accuracy Class A-2.
4. Total Area = 50,436 Sq. Ft.; 1.158 Acres.
5. Parcel is located in Residential Zone "AA" & "HDD", (Historic Design District).
6. Property shown on Assessor's Map C9, as Lot 042.
7. No abstract of title, nor title commitment provided, all documents of record are noted herein.
8. Underground improvements or encroachments if any are not shown.
9. Map References:
A. Property shown on a certain map entitled, "Map Showing Property Owned by Emily B. Fuller, at Westport, Conn., Scale: 1"=30', May 24, 1918", by L. Bromfield, L.S. Copied by W.J. Wood, Jr., L.S., November 7, 1946.
10. Coverage Calculations:
Existing:
Total Lot Area = 50,436 Sq. Ft.
Wetland Area = 0 Sq. Ft.
Steep Slope Area = 575 Sq. Ft. X 0.80 = 460 Sq. Ft.
Net Lot Area = 49,976 Sq. Ft.
Driveway Area = 1,410 Sq. Ft.
Building Area = 3,100 Sq. Ft.
Lot Coverage = 4,510 Sq. Ft. = 9.02%
12. Datum: Approximate Mean Sea Level; Approx. NAVD 1988.
Contour Interval: Two Feet.
13. Refer to deed recorded in Vol. 115, Pg. 539 in the Westport Land Records.
14. Property does not contain Inland Wetlands as shown on Town Topographic Map, sheet C-9.

94 Denotes Areas of Steep Slopes
96 Denotes Areas of Steep Slopes



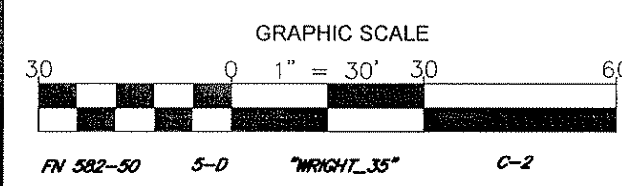
PLOT PLAN

PREPARED FOR
CARL ANTON MULLER
#35 WRIGHT STREET
WESTPORT ~ CONNECTICUT
SCALE: 1" = 30' JANUARY 5, 2003



LEONARD SURVEYORS, LLC
"CERTIFIED SUBSTANTIALLY CORRECT"
CLASS A-2 ACCURACY
Charles Leonard
CHARLES L. LEONARD IV, P.E. & L.S., CONN. REG. NO. 20888

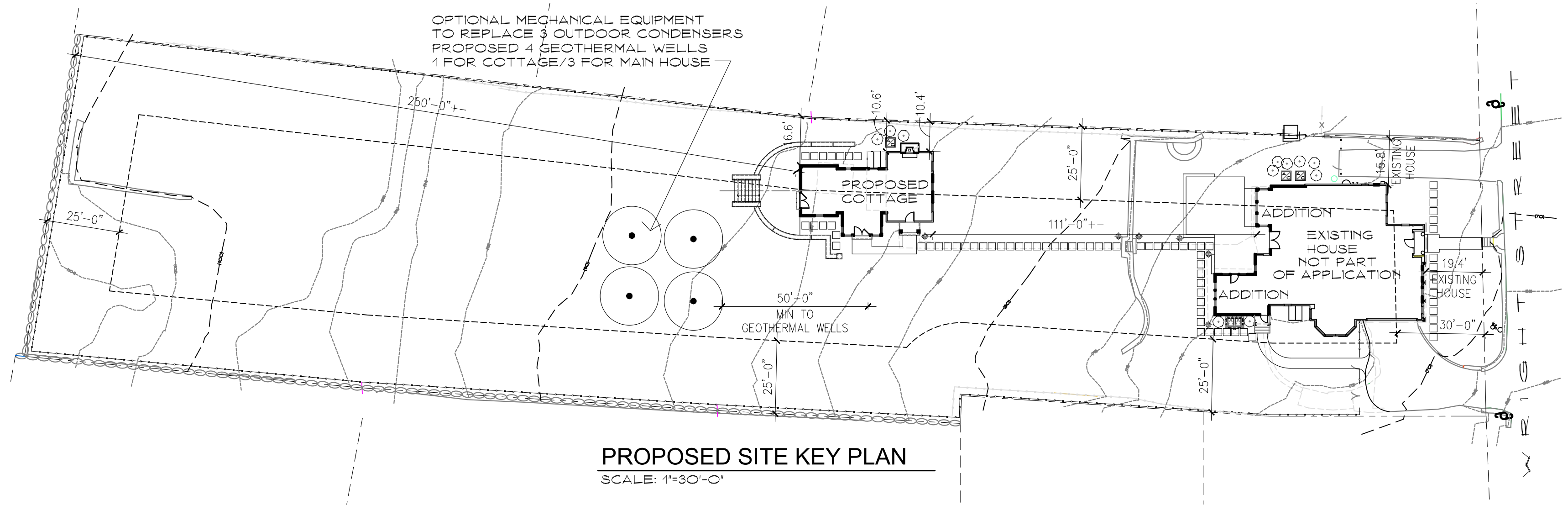
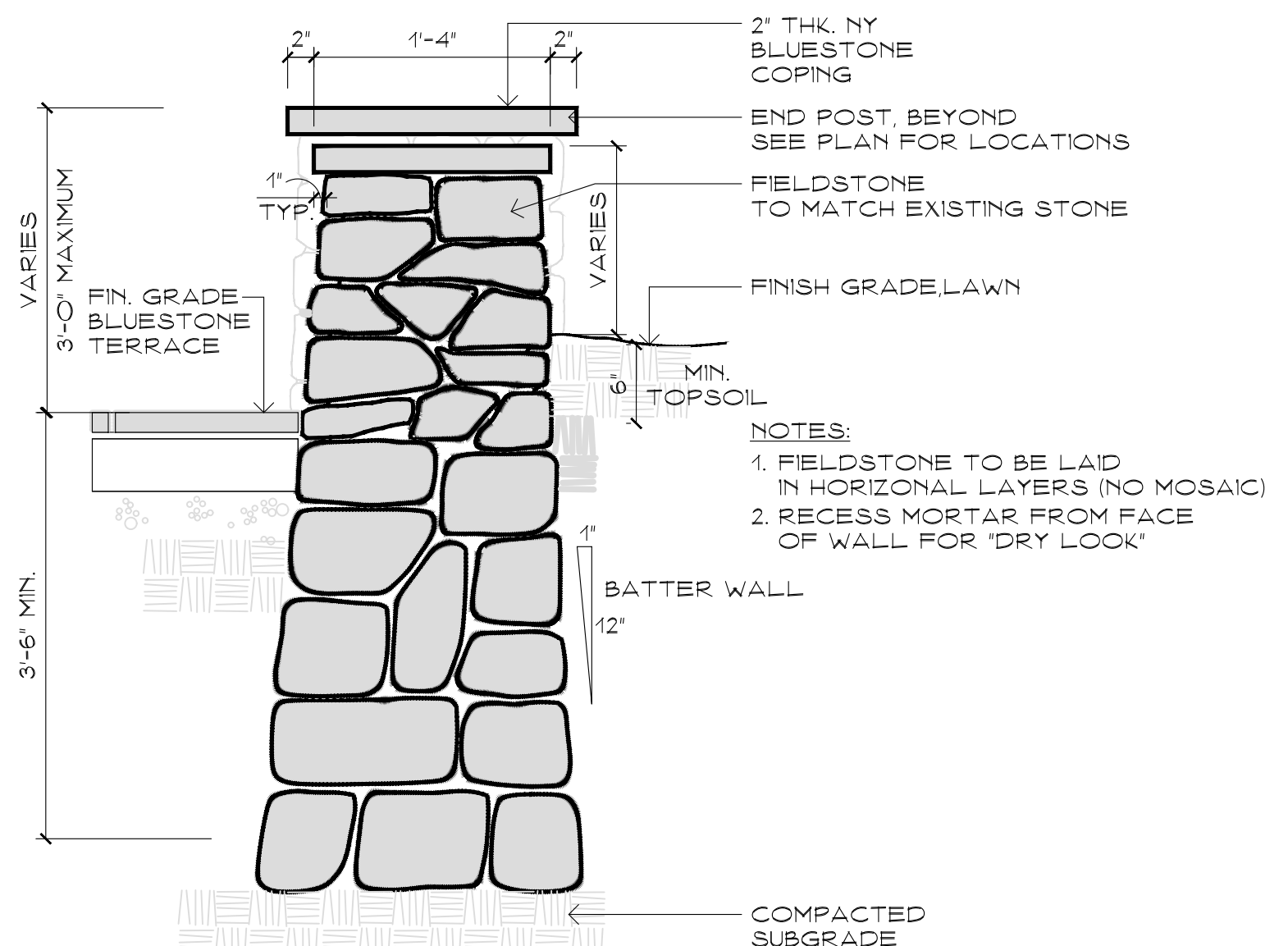
REVISION TABLE	
DATE	DESCRIPTION
AUGUST 23, 2006	PROPOSED ADDITION & CONTOURS ADDED
MAY 5, 2008	REVISED PROPOSED ADDITION ADDED
4 DEC 2021	UPDATE & FIELD TOPOGRAPHY



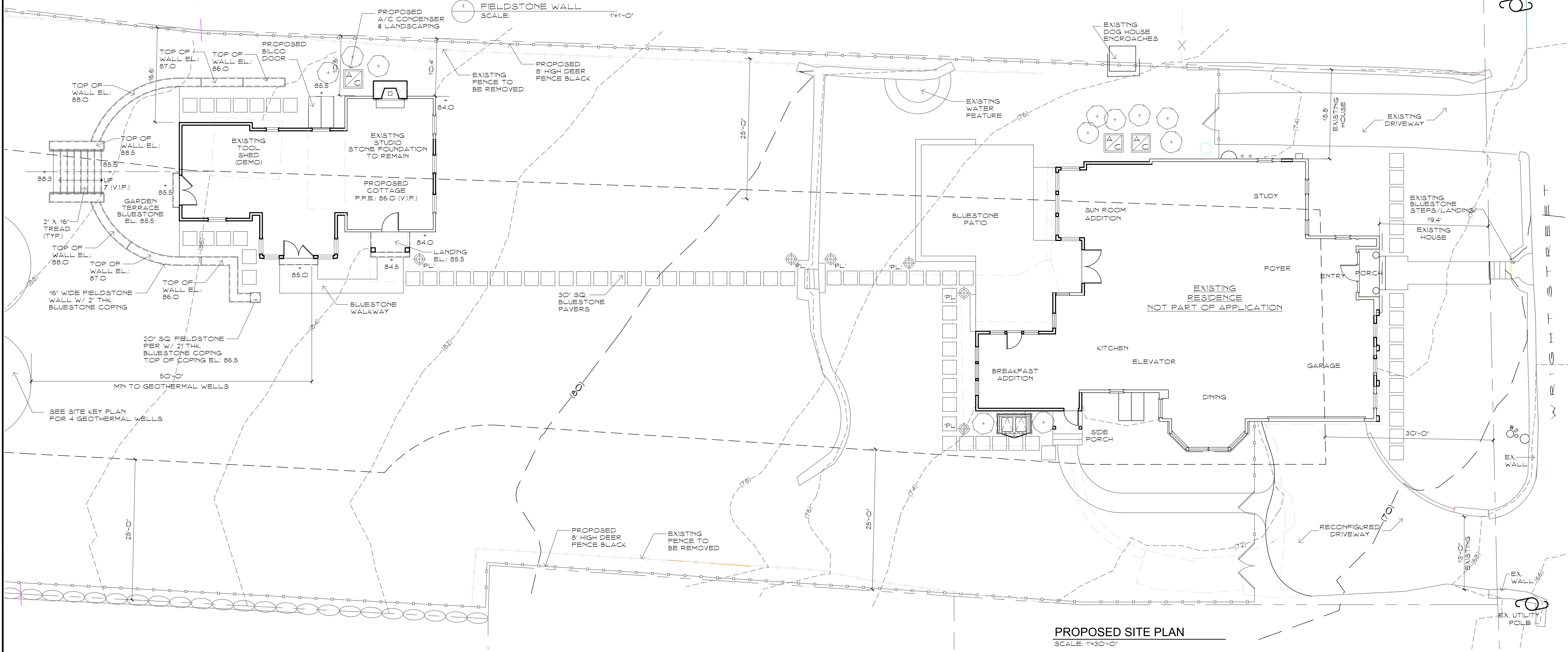
LEONARD SURVEYORS, LLC
830 POST ROAD EAST
WESTPORT, CONNECTICUT 06890
PHONE: (203) 228-7761
FAX: (203) 454-1652

ISSUED FOR TOWN REVIEW 4/12/22

PROJECT: PROPOSED RENOVATION/ADDITION TO COTTAGE BUILDING MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880	DATE: APRIL 12, 2022	J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. TIDE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: (203) 259-0529 WWW.FRANZENARCHITECTS.COM	SCALE: 1"=30'-0"
DRAWING TITLE: EXISTING A-2 SURVEY			DRAWN BY: DRW
			JOB NO. 071221
			DRAWING NO. EXS1



PROPOSED SITE KEY PLAN
SCALE: 1"=30'-0"

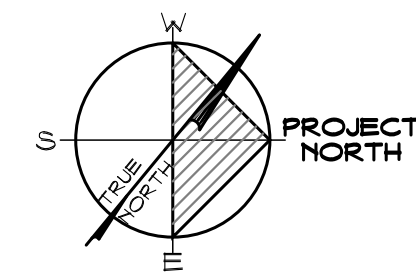


PROPOSED SITE PLAN
SCALE: 1"=30'-0"

LOT COVERAGE CHART

LOT SIZE NET	49,976 SF
LOT COVERAGE MAX	25%
EXISTING	9.02%
PROPOSED	
HOUSE	2,672 SF
DRIVEWAYS	1,389 SF
COTTAGE	1,057 SF
TOTAL	5,098 SF / 49,976 AF
PROPOSED COVERAGE	10.20%
FAR	NA

NOTE: INFORMATION FOR THIS PLAN WAS TAKEN FROM MAP TITLED PLOT PLAN, PREPARED FOR CARL ANTON MULLER DATED JANUARY 5, 2003, REVISED 4 DEC. 2021 SCALE 1"=30'-0" PREPARED BY LEONARD SURVEYORS, LLC 803 POST RD EAST WESTPORT, CT



PROJECT: PROPOSED RENOVATION/ADDITION TO COTTAGE BUILDING MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880
DRAWING TITLE: PROPOSED SITE PLAN AND STONE WALLS

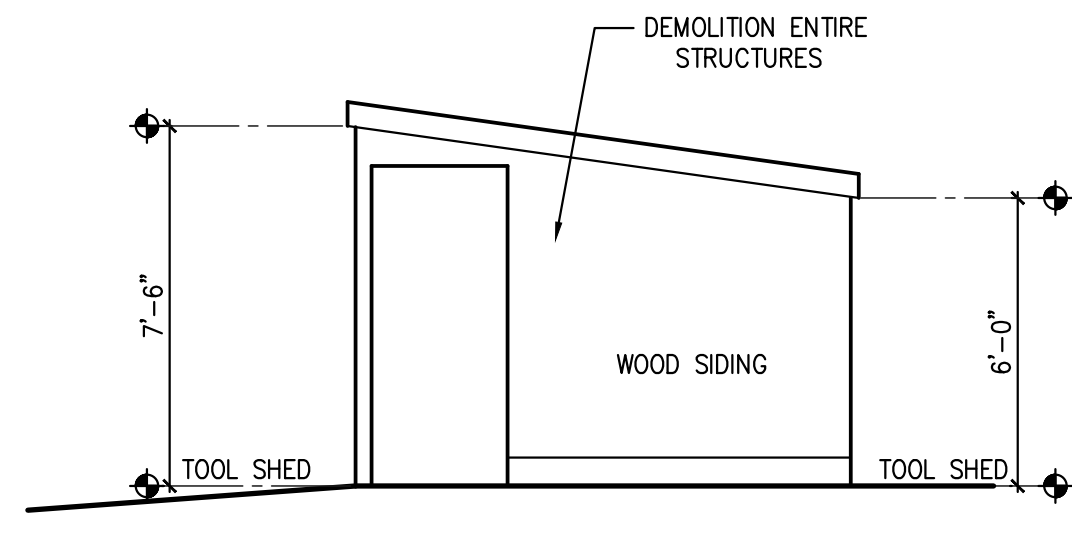
DATE: APRIL 12, 2022

J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C.
TIDE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: 003 259-0529 WWW.FRANZENARCHITECTS.COM

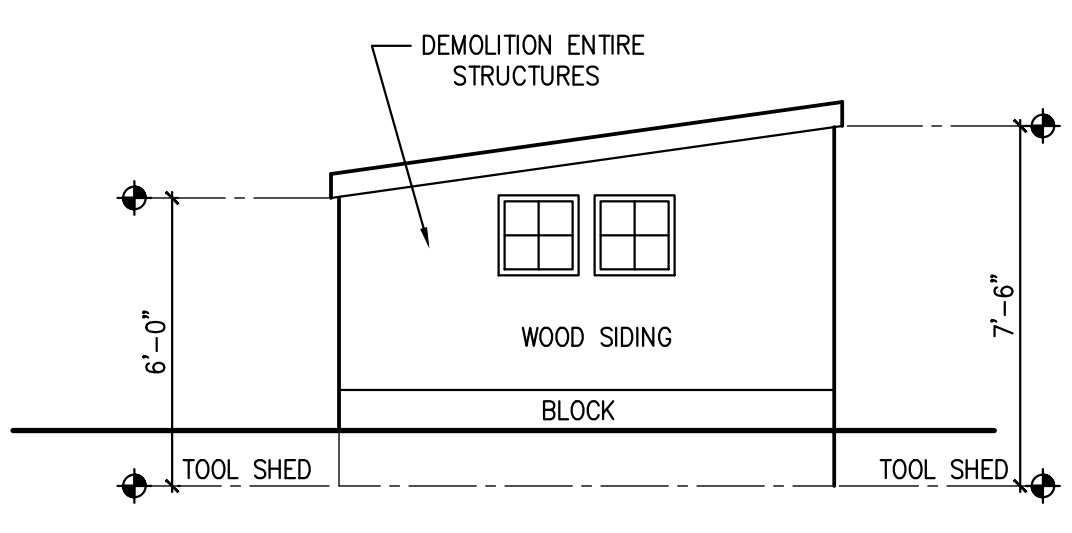


SCALE: 1/8"=1'-0"
DRAWN BY: RFA
JOB NO.: 071221
DRAWING NO.: SP1

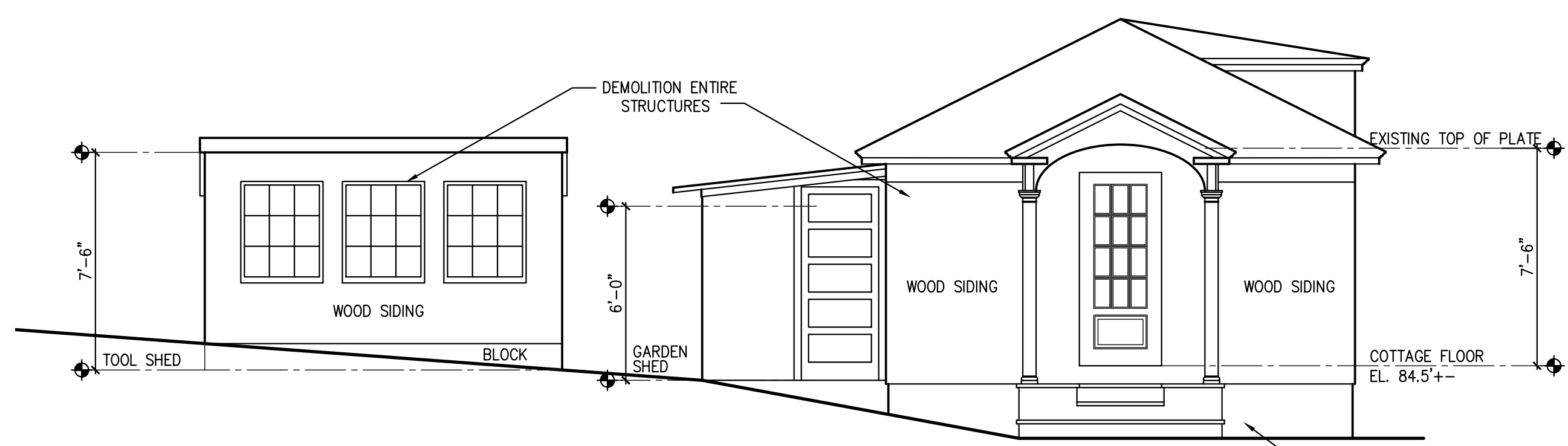
ISSUED FOR TOWN REVIEW 4/12/22



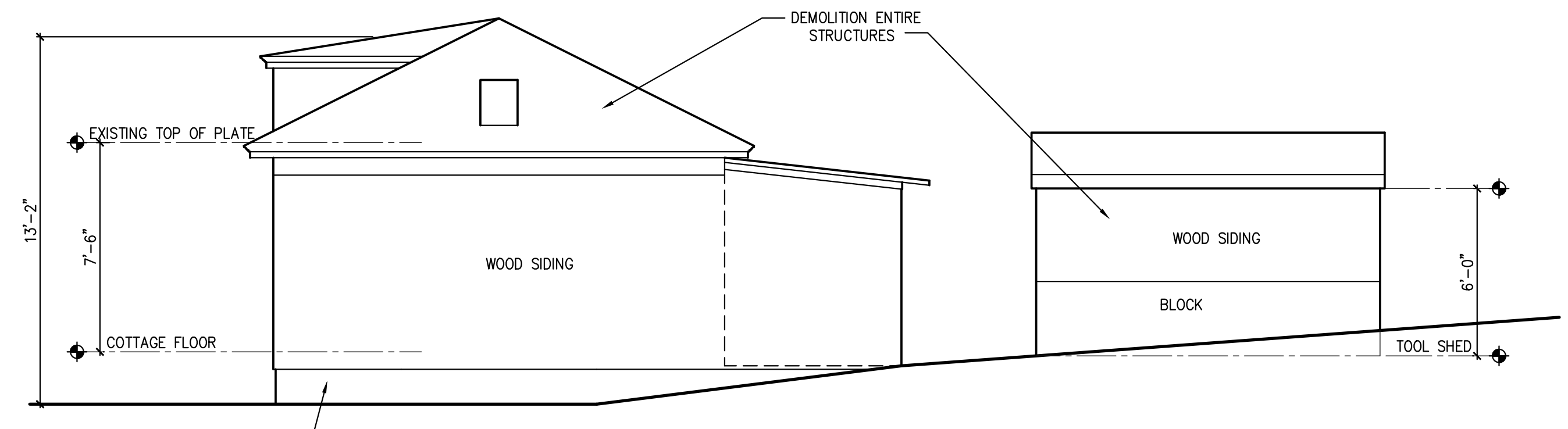
**TOOL SHED
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



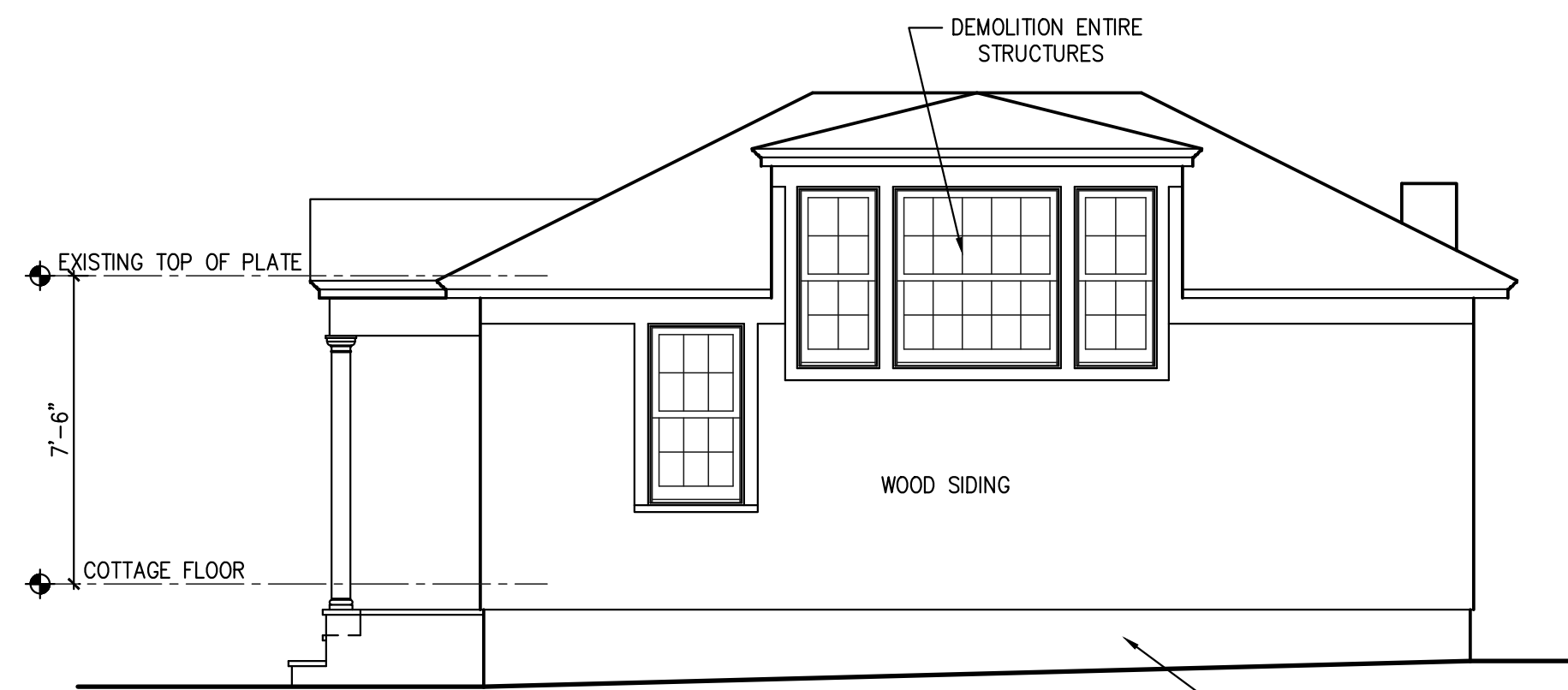
**TOOL SHED
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



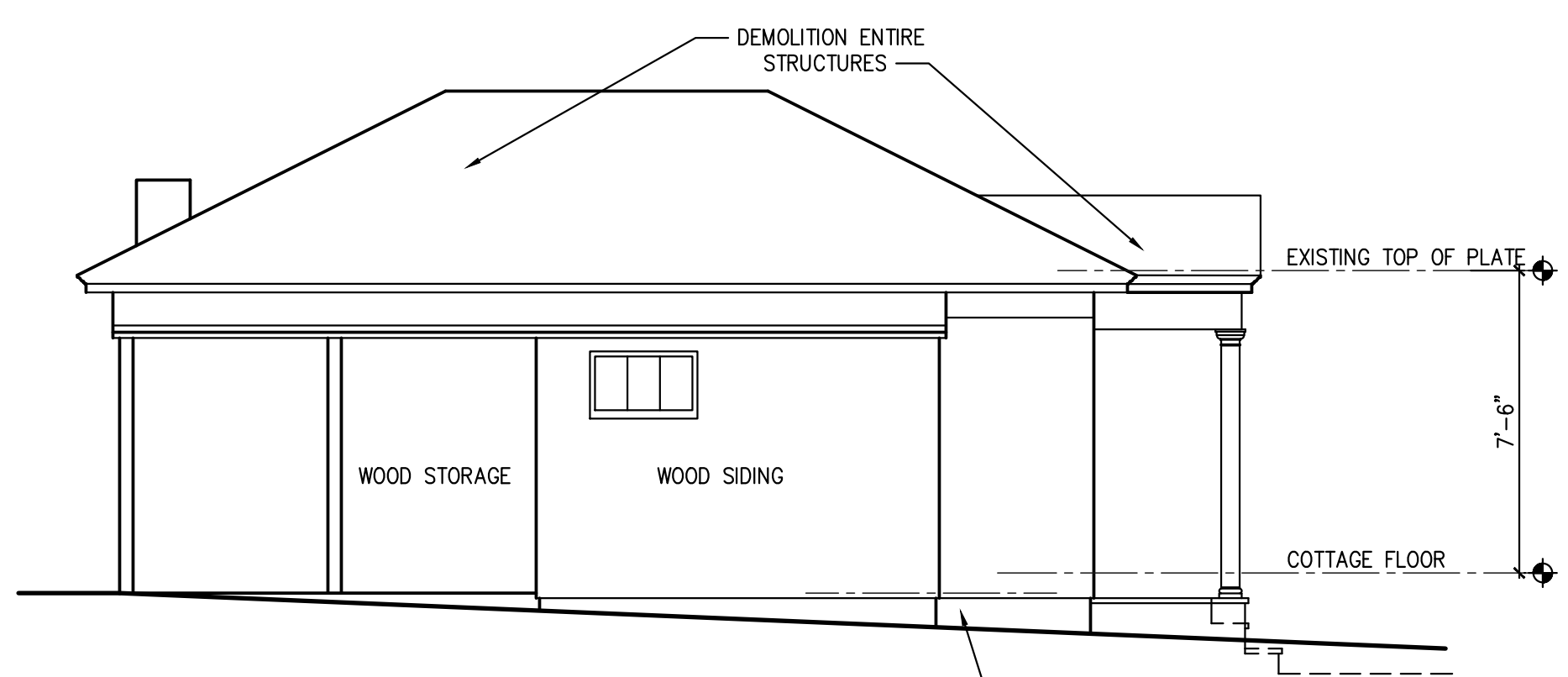
**COTTAGE AND TOOL SHED
FRONT ELEVATION (EAST)**
SCALE: 1/4"=1'-0"



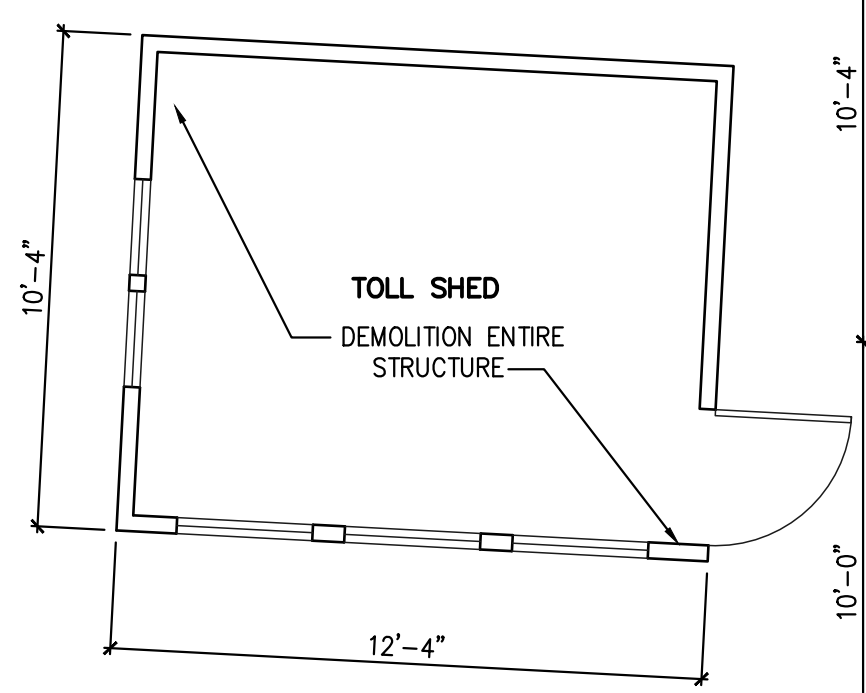
**COTTAGE AND TOOL SHED
REAR ELEVATION (WEST)**
SCALE: 1/4"=1'-0"



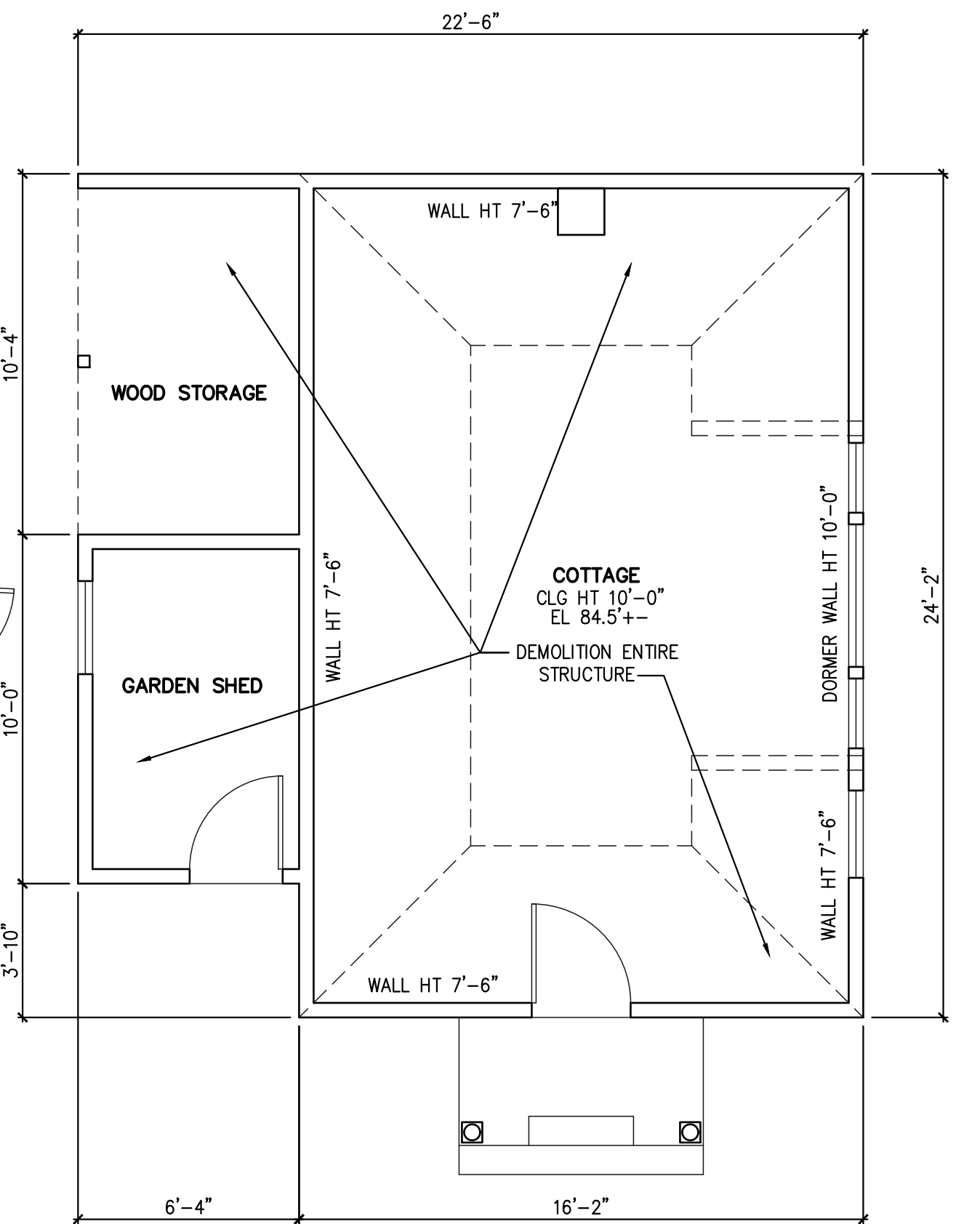
**COTTAGE
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



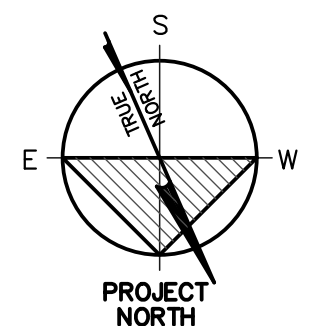
**COTTAGE
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



**EXISTING TOOL SHED PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"



**EXISTING COTTAGE PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"



PROJECT:
PROPOSED
RENOVATION/ADDITION TO
COTTAGE BUILDING
MULLER RESIDENCE
35 WRIGHT STREET
WESTPORT, CT 06880
DRAWING TITLE:
DEMOLITION PLANS AND
EXTERIOR ELEVATIONS

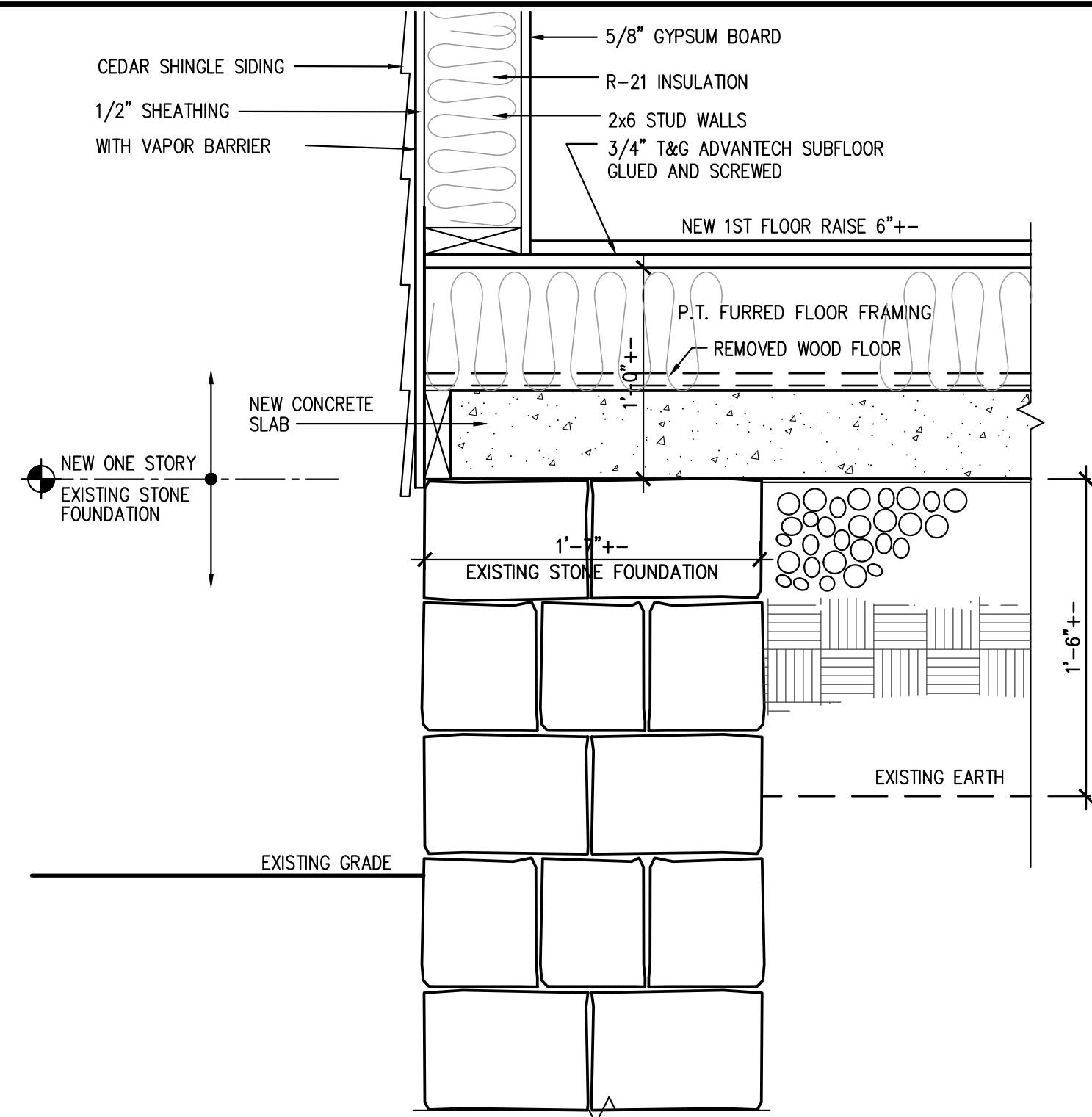
DATE
APRIL 12, 2022

J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.
TIDE MILL BUILDING
95 HARBOR ROAD
SOUTHPORT, CT 06890
TEL: 0303 259-0529
WWW.FRANZENARCHITECTS.COM

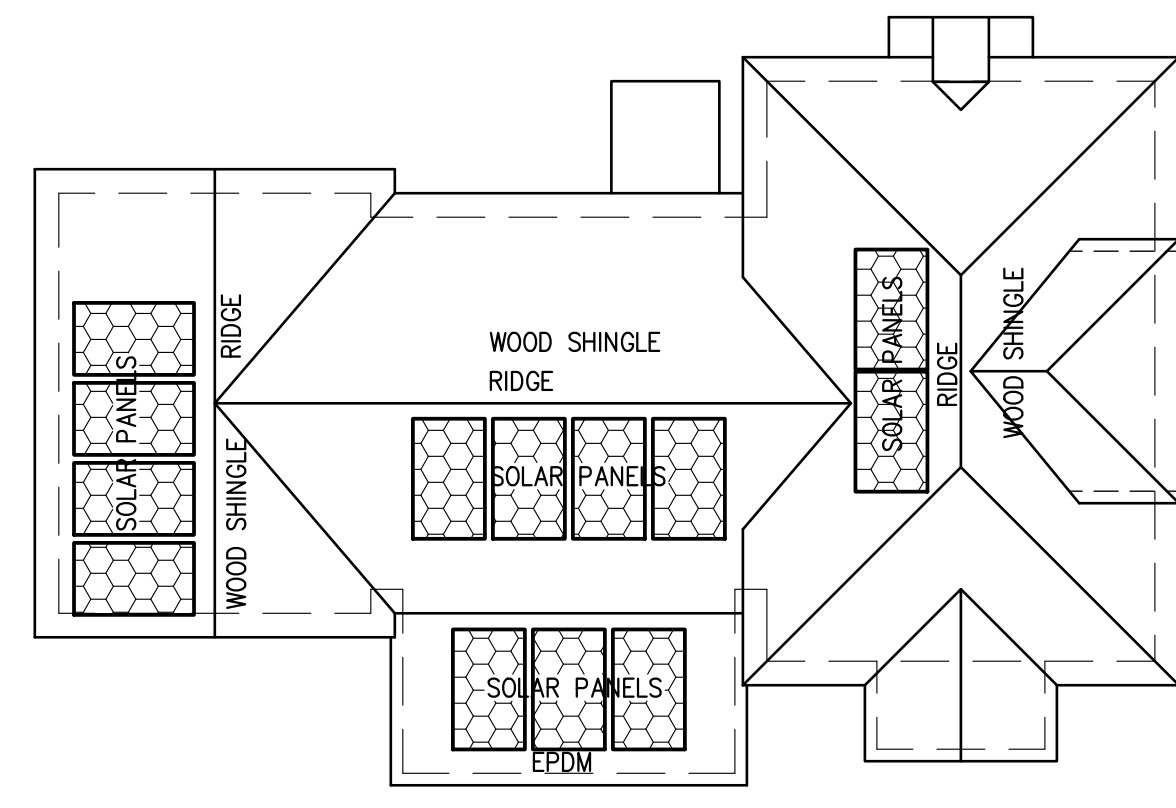
ISSUED FOR TOWN REVIEW 4/12/22

SCALE
1/4"=1'-0"
DRAWN BY
DRW
JOB NO.
071221
DRAWING NO.

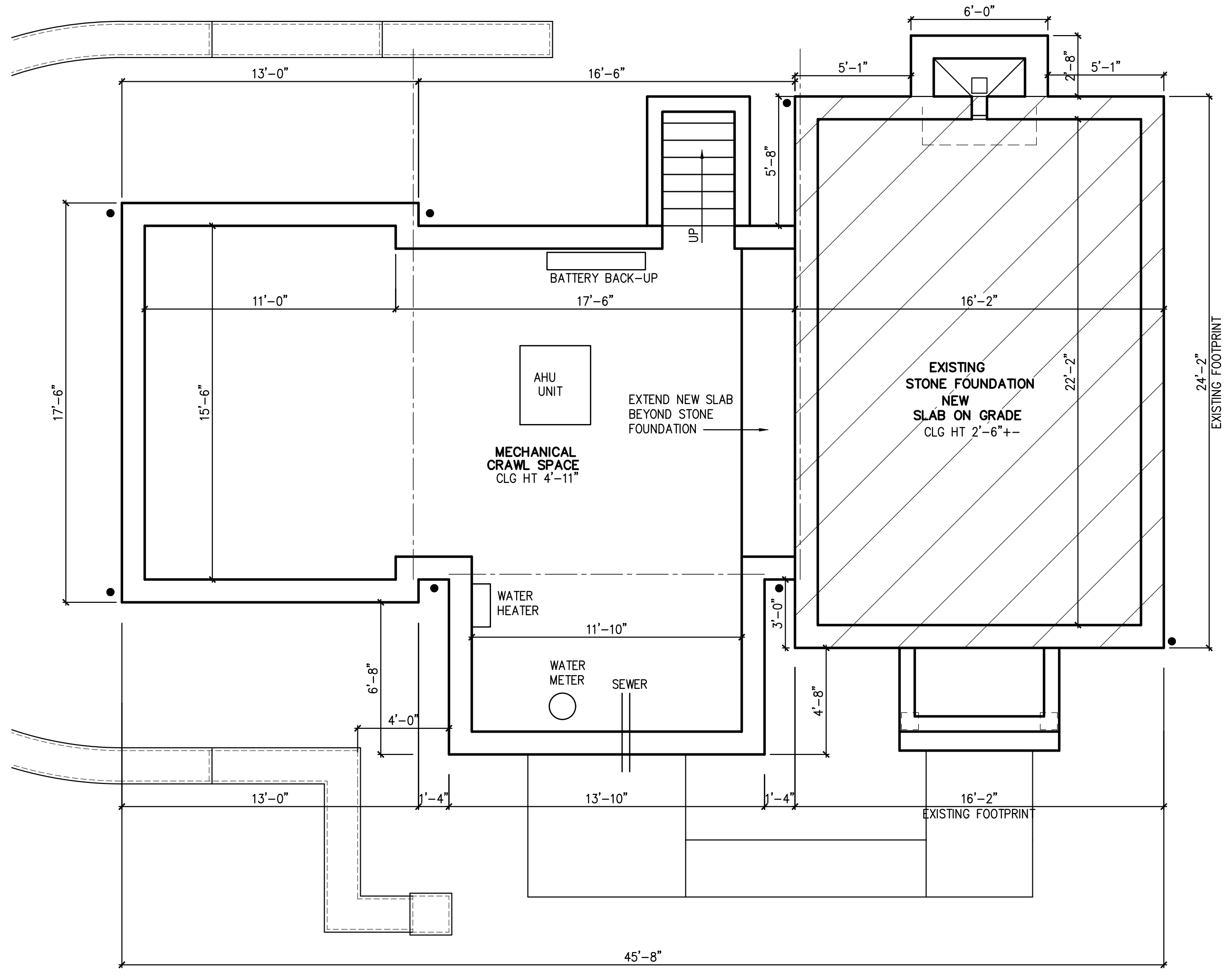
EXR1



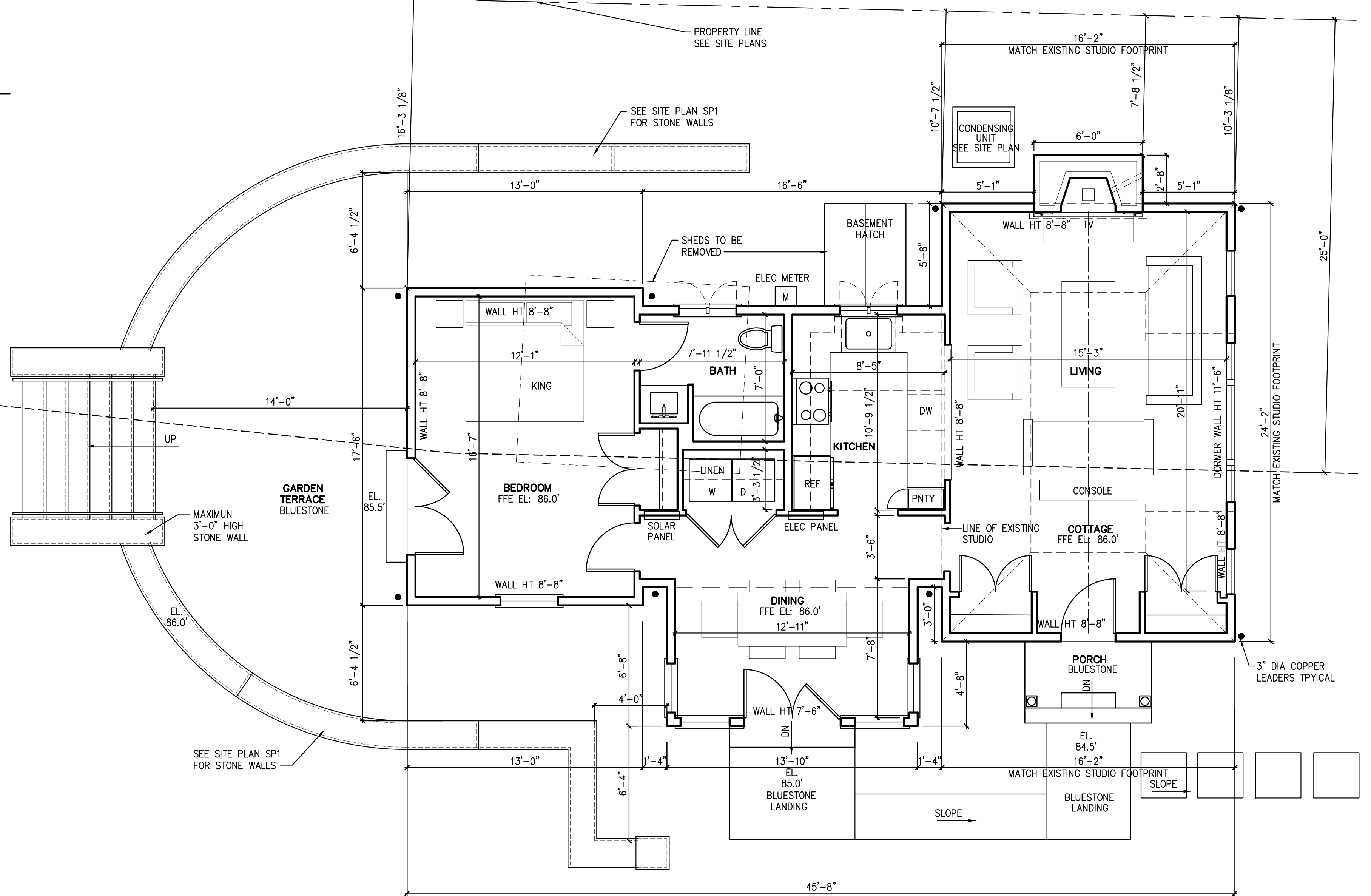
EXISTING STONE FOUNDATION
SCALE: 1 1/2"=1'-0"



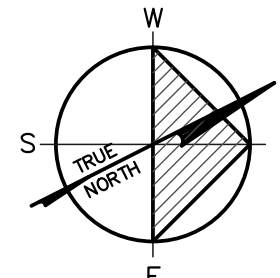
PROPOSED COTTAGE ROOF PLAN
SCALE: 1/8"=1'-0"



PROPOSED COTTAGE CRAWL SPACE PLAN
SCALE: 1/4"=1'-0"



980 SF PROPOSED COTTAGE FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROJECT:
PROPOSED RENOVATION/ADDITION TO COTTAGE BUILDING
MULLER RESIDENCE
35 WRIGHT STREET
WESTPORT, CT 06880
DRAWING TITLE:
PROPOSED COTTAGE CRAWL FIRST FLOOR AND ROOF PLANS

DATE
APRIL 12, 2022

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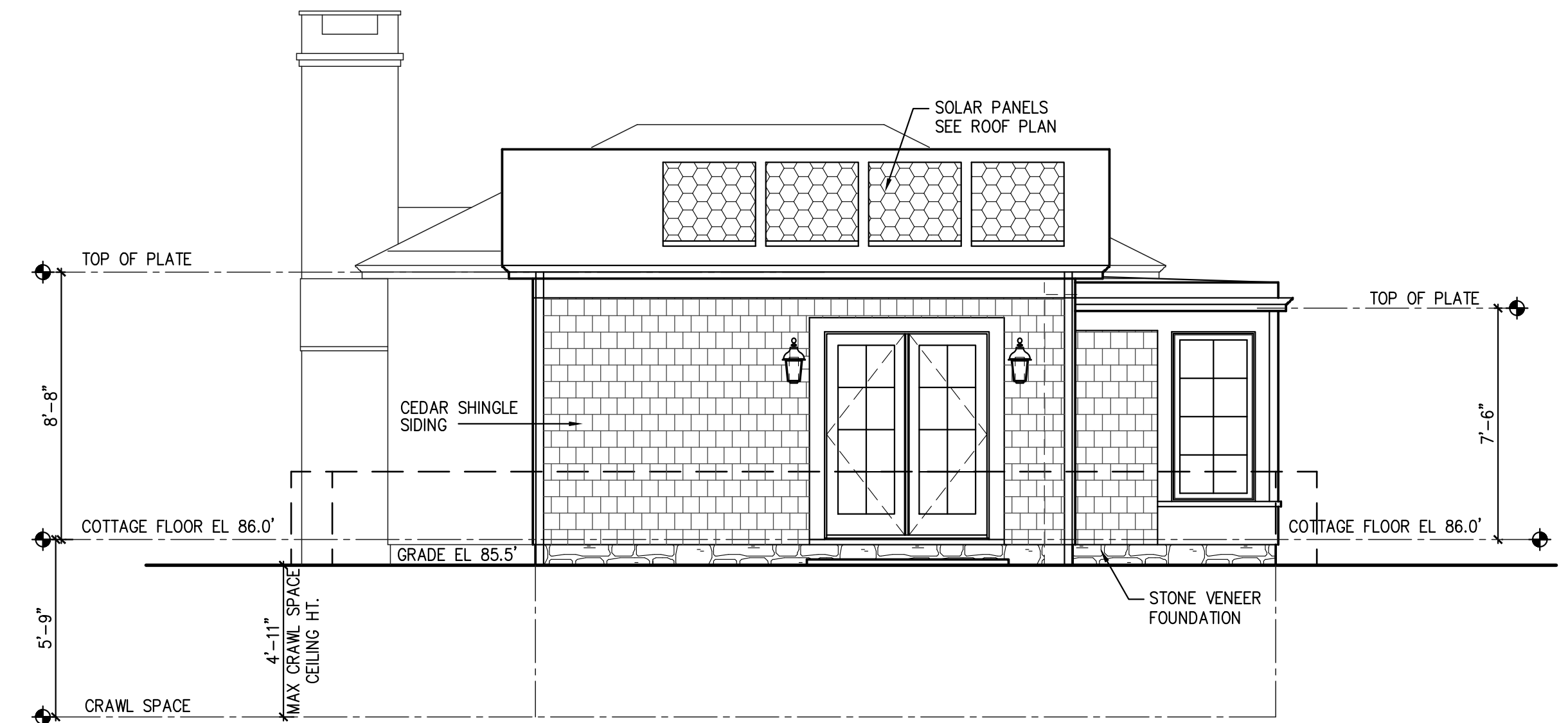
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JOB NO.: 071221
DRAWING NO.:



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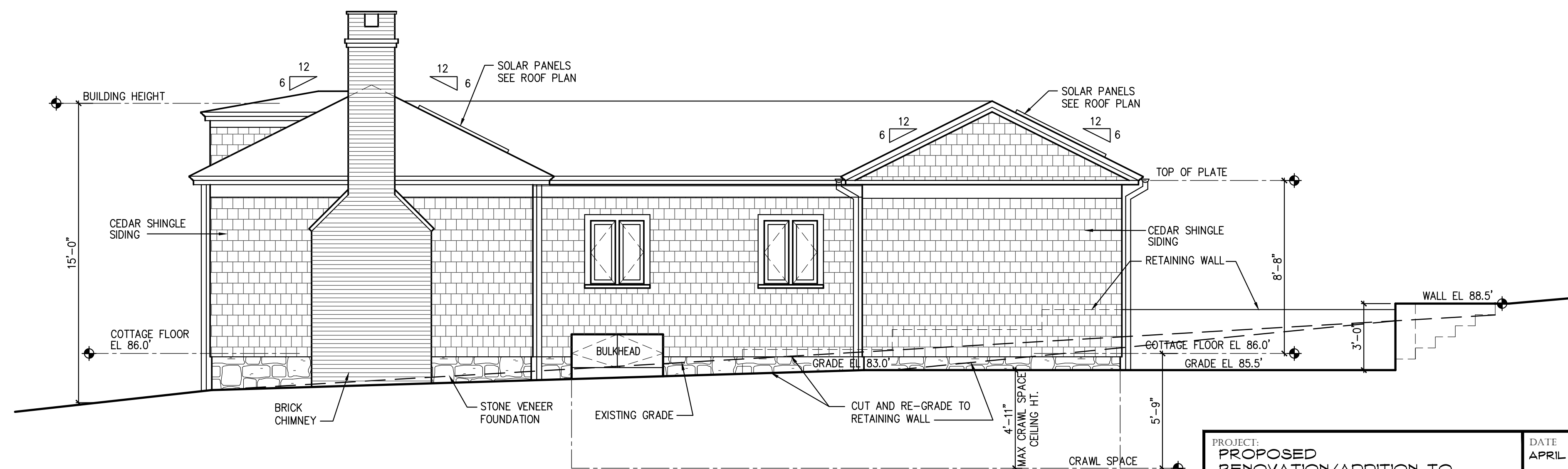
**PROPOSED COTTAGE
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



**PROPOSED COTTAGE
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



**PROPOSED COTTAGE
FRONT ELEVATION (EAST)**
SCALE: 1/4"=1'-0"



**PROPOSED COTTAGE
REAR ELEVATION (WEST)**
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS

1. **WALL SIDING**
EXTERIOR SIDING SHALL BE WESTERN RED CEDAR NO 1. BLUE LABEL 18" PERFECTION SHINGLES REBUT WITH 6"± EXPOSURE OVER VAPOR BARRIER.
2. **ROOF**
ROOF SHINGLES 5/12± ARE TO BE PREMIUM GRADE WESTERN RED CEDAR WITH CERTI-LAST-PRESERVATIVE-TREATMENT. SHINGLES TO BE 18", TAPER SAWN, 5 1/4" EXPOSURE; 4 1/4" EXPOSURE AT LOW SLOPE ROOFS. ROOF LOW 1/12± EPDM BLACK SINGLE PLY
3. **TRIM AND CASINGS**
WOOD CEDAR OR MAHOGANY PAINTED SOFT GLOSS
4. **WINDOWS/DOORS**
PAINTED WOOD WINDOWS DOUBLE HUNG & CASEMENT AND FRENCH DOORS WITH INSULATED GLASS AND 5/8" SIMULATED DIVIDED LITES. SOLID DOORS TO BE MAHOGANY PAINTED.
5. **GUTTERS AND LEADERS**
RED COPPER GUTTER TO BE 5 1/2" HALF ROUND AND 3" DIAMETER ROUND RED COPPER LEADERS
6. **FLASHING:**
COPPER FLASHING (RED FINISH)
7. **PATIOS AND WALKS:**
BLUESTONE
8. **STONE WALLS:**
NATIVE FIELD STONE VENEER TO MATCH EXISTING RETAINING WALL
9. **FOUNDATIONS**
HOUSE ADDITION AND COTTAGE TO BE STONE VENEER TO MATCH EXISTING STONE FOUNDATION
10. **CHIMNEY COTTAGE**
BRICK RED
11. **FENCE**
DEER FENCE BLACK STEEL NETTED 8'-0" HIGH
12. **CRAWL SPACE HATCH**
COTTAGE COMPOSITE CONSTRUCTION SIMULATE WOOD LOOK

ISSUED FOR TOWN REVIEW 4/12/22

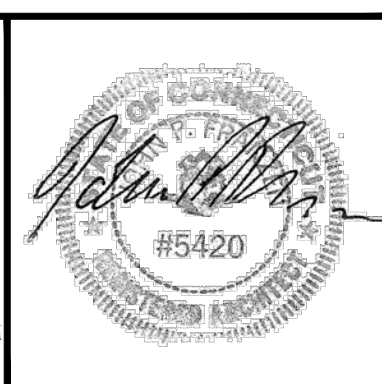
PROJECT:
**PROPOSED
RENOVATION/ADDITION TO
COTTAGE BUILDING
MULLER RESIDENCE
35 WRIGHT STREET
WESTPORT, CT 06880**

DRAWING TITLE:
**PROPOSED COTTAGE
EXTERIOR ELEVATIONS**

DATE
APRIL 12, 2022

**J.P. FRANZEN
ASSOCIATES
ARCHITECTS, P.C.**

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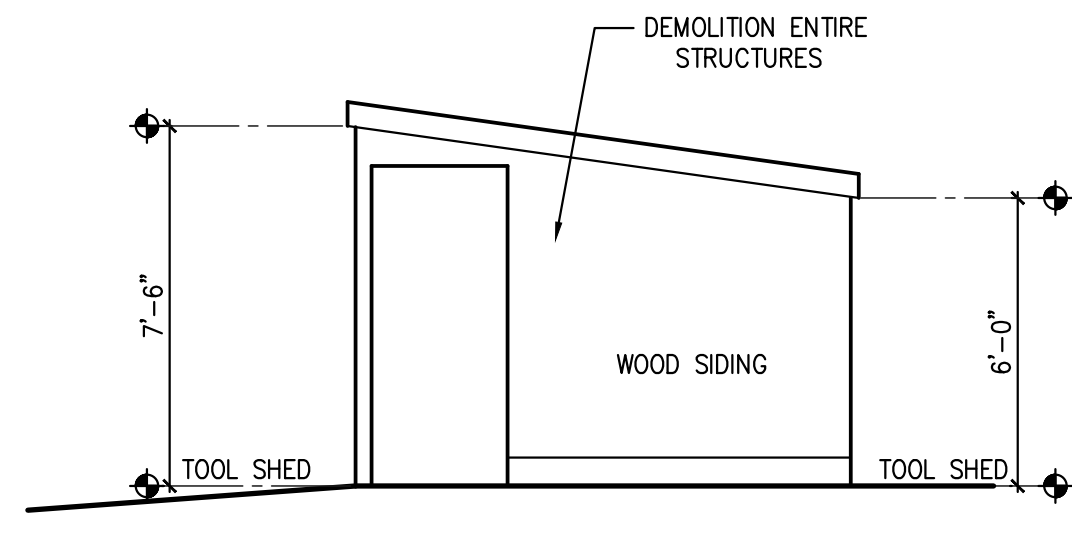


SCALE
1/4"=1'-0"

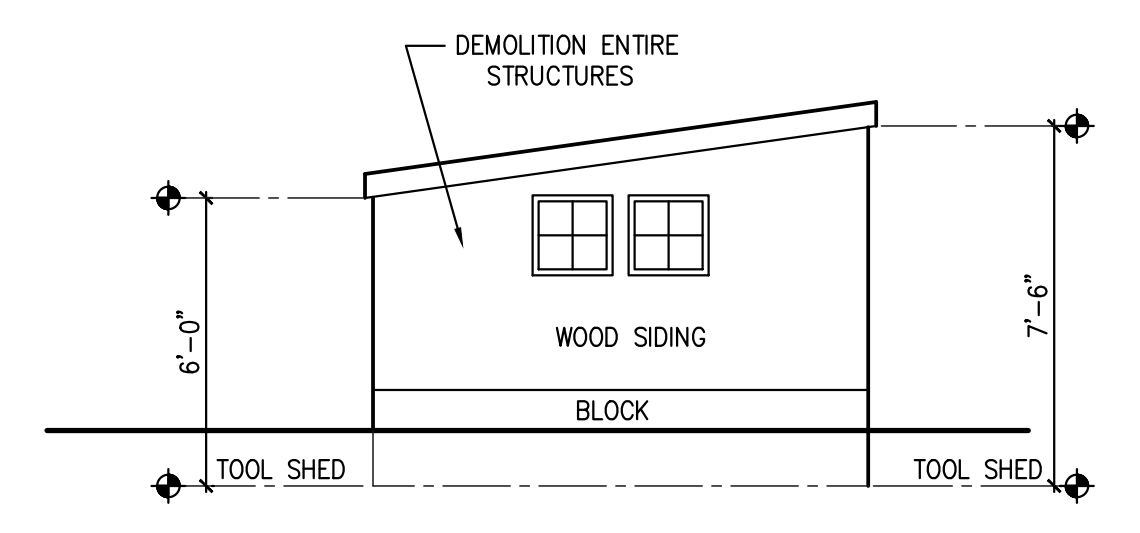
DRAWN BY
DRW

JOB NO.
071221

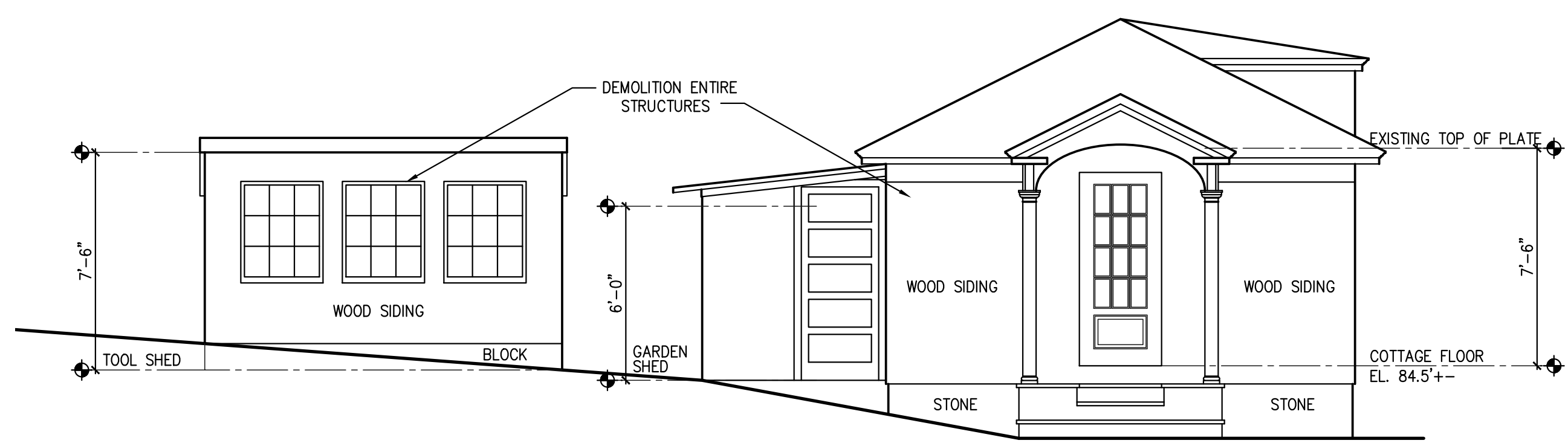
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CA2



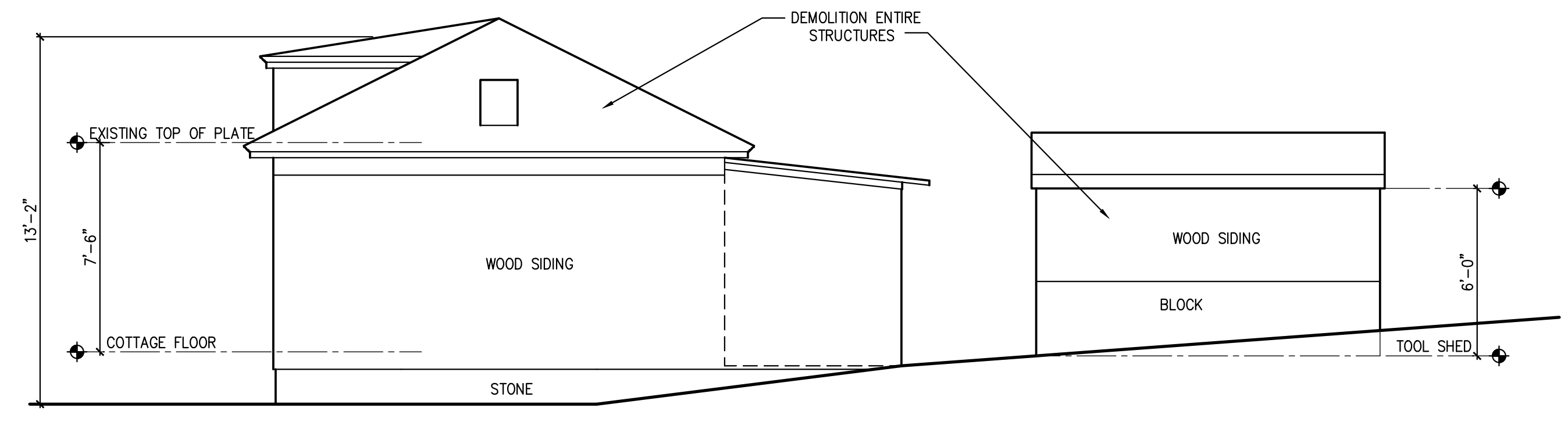
**TOOL SHED
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



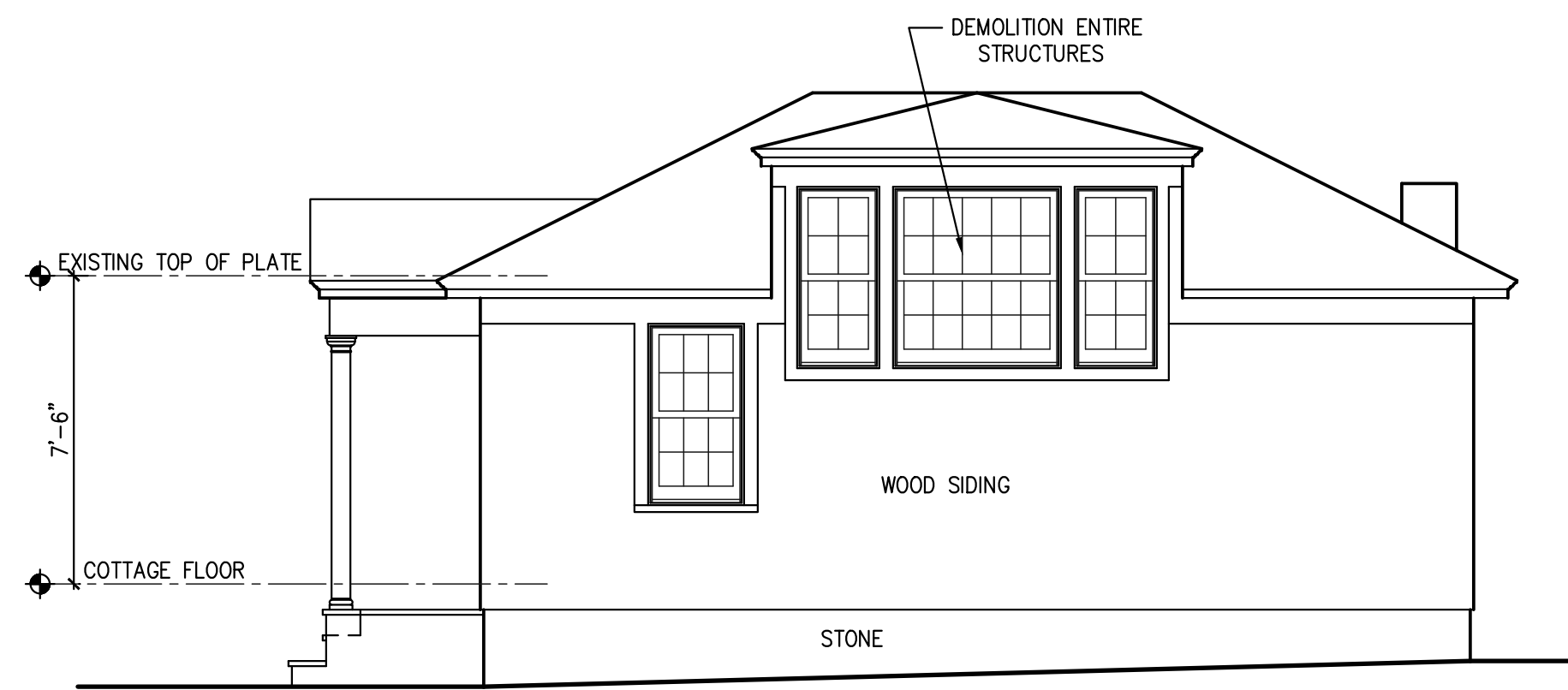
**TOOL SHED
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



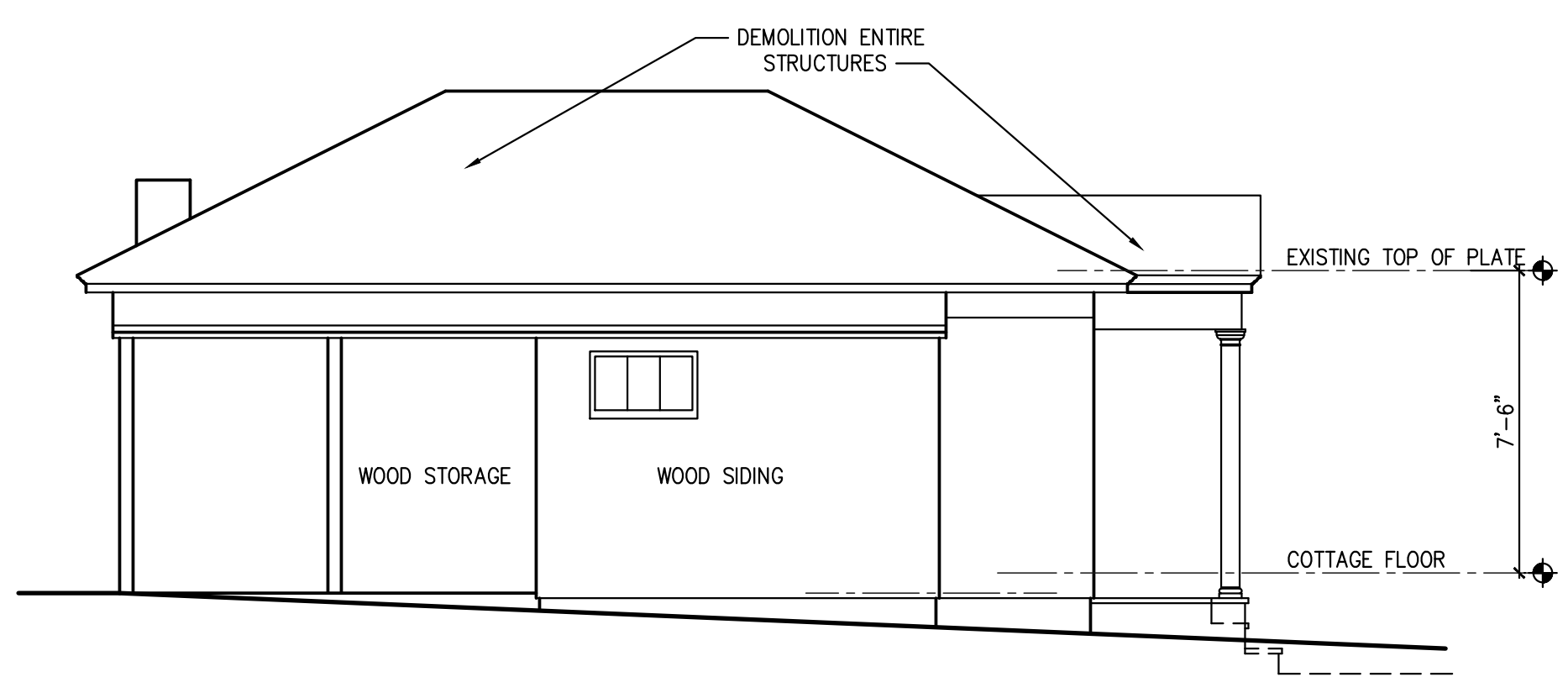
**COTTAGE AND TOOL SHED
FRONT ELEVATION (EAST)**
SCALE: 1/4"=1'-0"



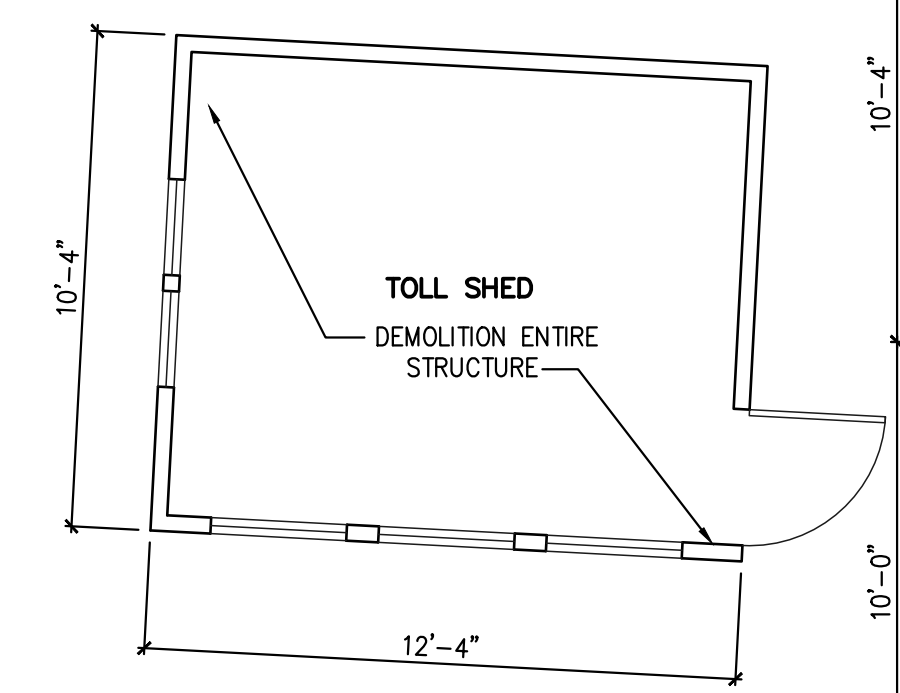
**COTTAGE AND TOOL SHED
REAR ELEVATION (WEST)**
SCALE: 1/4"=1'-0"



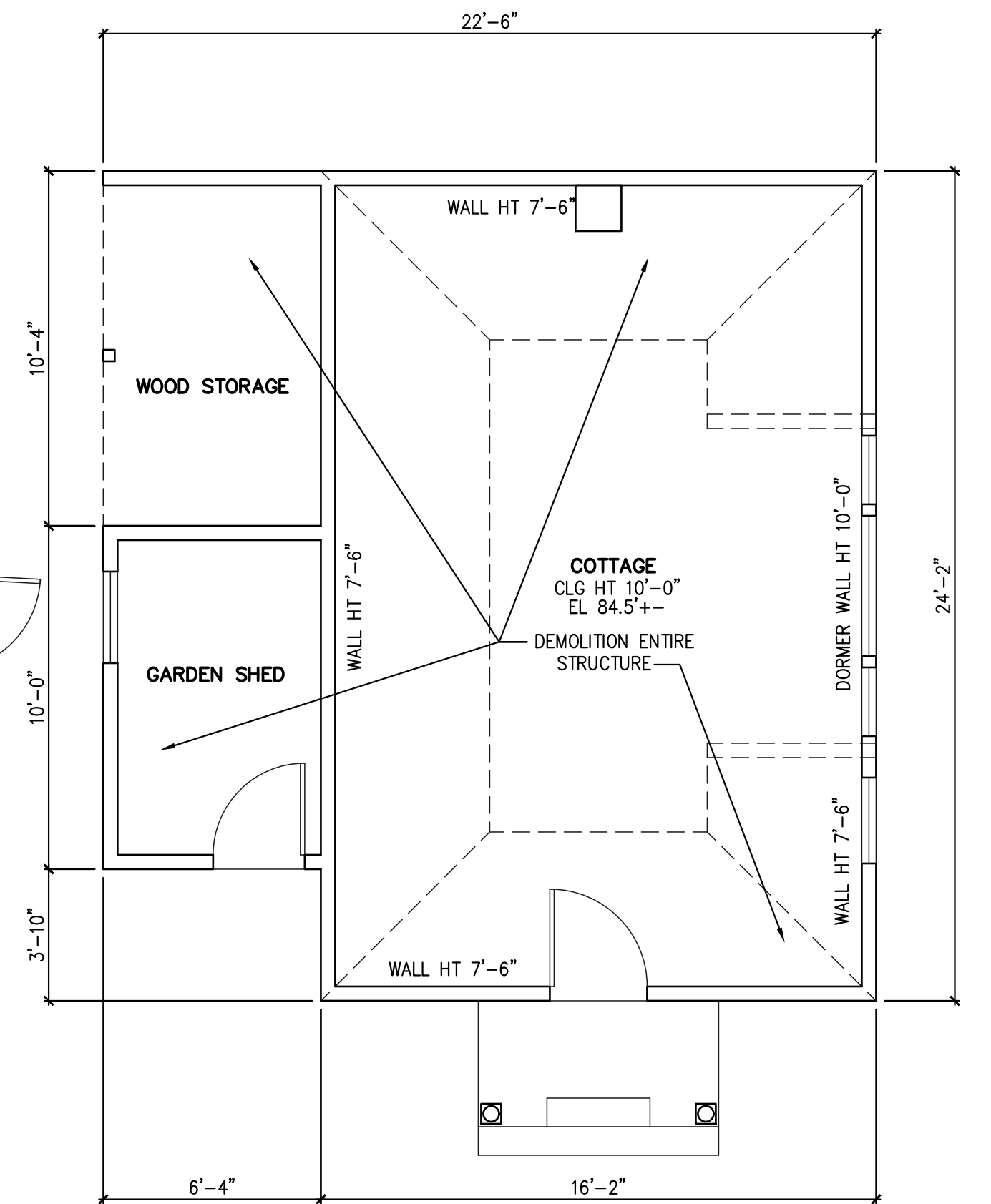
**COTTAGE
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



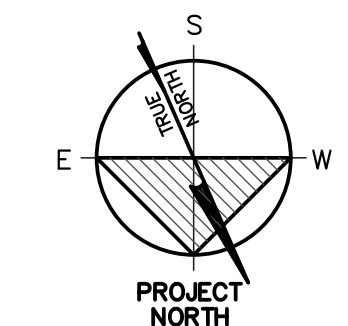
**COTTAGE
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



**EXISTING TOOL SHED PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"



**EXISTING COTTAGE PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"



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35 WRIGHT STREET
WESTPORT, CT 06880
DRAWING TITLE:
DEMOLITION PLANS AND
EXTERIOR ELEVATIONS

DATE:
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SCALE:
1/4"=1'-0"
DRAWN BY:
DRW
JOB NO.
071221
DRAWING NO.
EXR1

ISSUED FOR TOWN REVIEW 1/12/22

MULLER RESIDENCE 35 WRIGHT STREET



COTTAGE SHED (WEST)



COTTAGE FRONT (EAST)



SHED FRONT (EAST)

MULLER RESIDENCE 35 WRIGHT STREET



SITE HOUSE (LOOKING NORTH)



SITE COTTAGE (LOOKING SOUTH)

MULLER RESIDENCE 35 WRIGHT STREET



COTTAGE SHED (WEST)



COTTAGE FRONT (EAST)



SHED FRONT (EAST)