



**WESTPORT™**

## Historic District Commission

Town Hall, 110 Myrtle Avenue  
Westport, CT 06880  
Westportct.gov  
Telephone (203) 341-1184

**WESTPORT HISTORIC DISTRICT COMMISSION  
TUESDAY, JUNE 14, 2022, 7:00 PM  
DRAFT MINUTES**

**Members Present:**

Bill Harris, Chair  
Grayson Braun, Vice-Chair  
Scott Springer, Clerk  
Marilyn Harding, Member  
Wendy Van Wie, Member  
Martha Eidman, Alternate

**Staff Present:**

Donna Douglass, HDC Administrator

The Westport Historic District Commission held an electronic public meeting at **7:00 p.m.** on **Tuesday, June 14, 2022**, for the following purposes:

1. To approve the minutes of the May 10, 2022, public meeting.  
**MOTION (made by Harding): To approve the minutes of the May 10, 2022, public meeting.**  
**SECOND: Braun**  
**SEATED: Braun, Harding, Eidman**  
**VOTE: Unanimously approved.**
2. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated May 12, 2022, for proposed fence at **39 Cross Highway** (PID # D12//067/000) which is a locally designated property.  
**MOTION (made by Van Wie): To approve a *Certificate of Appropriateness* application dated May 12, 2022, for proposed fence at 39 Cross Highway (PID # D12//067/000) which is a locally designated property.**  
**SECOND: Springer**  
**SEATED: Harris, Harding, Springer, Van Vie, Eidman**  
**VOTE: Unanimously approved.**
3. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated May 19, 2022, for proposed fence at **24 Morningside Drive South** (PID # G08//096/000) which is located within the Morningside Drive South Local Historic District.  
**MOTION (made by Van Wie): To approve a *Certificate of Appropriateness* application dated May 19, 2022, for proposed fence at 24 Morningside Drive South (PID # G08//096/000) which is located within the Morningside Drive South Local Historic District.**  
**SECOND: Springer**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Approved (4-1 Aye: Harris, Braun, Springer, Van Wie; Nay: Harding).**

4. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated April 13, 2022, for proposed removal of outbuilding and remains of the smaller, related structures and construct a compatible structure for use as an ancillary dwelling, including installation of solar panels at **35 Wright Street** (PID # C09//042/000) which is located within the Kings Highway North Local Historic District: Kings Highway North National Historic District.

**NO ACTION TAKEN**

5. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated May 28, 2022, for proposed two story addition at the rear of the house; a new 1 car garage with room above; window, door and trim replacement; new cedar wood shingle roof with copper gutters and leaders; demolition of existing garage at **4 Old Hill Road** (PID # C10//015/000) which is located within the Kings Highway North Local Historic District and the Kings Highway North National Historic District.

**MOTION (made by Van Wie): To approve a *Certificate of Appropriateness* application dated May 28, 2022, for proposed two story addition at the rear of the house; a new 1 car garage with room above; window, door and trim replacement; new cedar wood shingle roof with copper gutters and leaders; demolition of existing garage at 4 Old Hill Road (PID # C10//015/000) which is located within the Kings Highway North Local Historic District and the Kings Highway North National Historic District with the exception that windows are to be wood. [HDC recommends changing window above front door on front elevation to a casement unit with six vertical lites (three over three) and will allow this amendment. Applicant to submit revised drawings for record.]**

**SECOND: Harding**

**SEATED: Harris, Braun, Harding, Springer, Van Wie**

**VOTE: Unanimously approved.**

6. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **45 Westfair Drive** and require the full 180-day delay.

**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 45 Westfair Drive.**

**SECOND: Harding**

**SEATED: Harris, Braun, Harding, Springer, Van Wie**

**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**

7. To take such action as the meeting may determine to rescind adoption of the motion to oppose the issuance of the demolition permit at **117 Morningside Drive South**, which motion was adopted at the May 10, 2022, meeting.

**MOTION (made by Springer): To rescind adoption of the motion and allow the issuance of the demolition permit for 45 Westfair Drive and waive the 180-day delay.**

**SECOND: Van Wie**

**SEATED: Harris, Braun, Harding, Springer, Van Wie**

**VOTE: Approved (4-1 Aye: Harris, Harding, Springer, Van Wie; Nay: Braun). The remainder of the 180-day delay is WAIVED.**

8. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **4 Ferry Lane** and require the full 180-day delay.

**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 4 Ferry Lane.**

**SECOND: Braun**

**SEATED: Harris, Braun, Harding, Springer, Van Wie**

**ABSTAIN: Van Wie**

**VOTE: Approved (3-1 Aye: Harris, Braun, Springer; Nay: Harding). The remainder of the 180-day delay is WAIVED.**

9. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **17 Maple Grove** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 17 Maple Grove.**  
**SECOND: Harding**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
10. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **6 Plover Lane** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 6 Plover Lane.**  
**SECOND: Van Wie**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
11. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **31 Ellery Lane** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 31 Ellery Lane.**  
**SECOND: Harding**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
12. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **9 Sturges Commons** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 9 Sturges Commons.**  
**SECOND: Harding**  
**SEATED: Harris, Harding, Springer, Van Wie, Eidman**  
**RECUSED: Braun**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
13. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **51 Compo Beach Road** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 51 Compo Beach Road.**  
**SECOND: Van Wie**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
14. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **53 Reichert Circle** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 53 Reichert Circle.**  
**SECOND: Harding**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**
15. To take such action as the meeting may determine to oppose the issuance of the demolition permit for **1 Fresenius Road** and require the full 180-day delay.  
**MOTION (made by Springer): To waive the 180-day delay and allow issuance of the demolition permit for 53 Reichert Circle.**  
**SECOND: Harding**  
**SEATED: Harris, Braun, Harding, Springer, Van Wie**  
**VOTE: Unanimously approved. The remainder of the 180-day delay is WAIVED.**

16. To hear the Chairman's update.

17. To adjourn the meeting.

**MOTION (made Harris): Meeting adjourned 9:46**

Bill Harris, Chair  
Historic District Commission  
June 21, 2022





**WESTPORT™**

## Historic District Commission

Town Hall, 110 Myrtle Avenue  
Westport, CT 06880  
Westportct.gov  
Telephone (203) 341-1184

### **WESTPORT HISTORIC DISTRICT COMMISSION TUESDAY, JUNE 14, 2022, 6:00 PM SPECIAL PRE-APPLICATION DRAFT MINUTES**

#### **Members Present:**

Bill Harris, Chair  
Grayson Braun, Vice-Chair  
Scott Springer, Clerk  
Marilyn Harding, Member  
Wendy Van Wie

#### **Staff Present:**

Donna Douglass, HDC Administrator

The Westport Historic District Commission held a special pre-application public meeting at 6:00 p.m. on **Tuesday, June 14, 2022**, for the following purposes:

1. To discuss and review potential plans at **64 Kings Highway North**.  
**Discussion held. No action taken.**
2. To discuss and review potential plans at **25 Avery Place**.  
**Discussion held. No action taken.**
3. To adjourn the meeting.  
**MOTION (made Harris): Meeting adjourned 6:45**

Bill Harris, Chair  
Historic District Commission  
June 15, 2022

For Office Use Only:  
Date of Filing: \_\_\_\_\_  
Date of Public Hearing: \_\_\_\_\_  
65 Day Period Ends: \_\_\_\_\_  
Type of Work: \_\_\_\_\_

## WESTPORT HISTORIC DISTRICT COMMISSION

# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (CA)

*Application is hereby made for the issuance of a Certificate of Appropriateness under the Historic District Ordinance of Westport, Connecticut, enacted pursuant to the enabling authority contained in Chapter 97A, Section 7-147d and 147s, as amended, of the General Statutes of Connecticut.*

### **SECTION 1 (To be completed by the Applicant):**

Address of proposed work: 25 AVERY PL, WESTPORT CT 06880

Owner: WESTPORT MUSEUM FOR HISTORY AND CULTURE C/O CHERYL BLISS

Phone: 203-222-1424 x5 Email: executivedirector@westporthistory.org

Agent/Contractor: LYONSPLAIN ARCHITECTURE C/O HANNA PRZADA

Address: 55 POST ROAD, WESTPORT CT 06880

Phone: 203 557 9200 Email: hanna@lyonsplain.com

Anticipated date of completion: Fall 2022

 JUNE 06, 2022  
Owner's Signature (Application must be signed) Date

### **SECTION 2 (To be completed by the Zoning Enforcement Officer)**

- Appears to comply with regulations
- Appears not to comply with regulations
- More information needed

Signature of Zoning Enforcement Officer indicating preliminary review of compliance with zoning regulations.

### **SECTION 3 (To be completed by the Historic District Commission)**

Date of Public Hearing: \_\_\_\_\_

- Certificate of Appropriateness APPROVED**  
List any conditions or modifications:

\_\_\_\_\_  
\_\_\_\_\_

- Certificate of Appropriateness DENIED**  
List reasons for denial:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Signature/Chair, WHDC Date

*After approval has been obtained from the Historic District Commission, work cannot commence until proper zoning and building permits have been obtained from the Planning and Zoning and Building Departments.*

### **SECTION 4 (To be completed by the Historic District Commission)**

**FINAL APPROVAL**

Signature/WHDC: \_\_\_\_\_ Date of Site Inspection: \_\_\_\_\_

## OWNERS AUTHORIZATION FORM

For Properties Located at 25 Avery Place, located in the Westport Historic District.

Submission Date:

1. Address of Property: 25 Avery Place, Westport, CT 06880
2. Owner of Record: Westport Historical Society, Inc., D/B/A Westport Museum for History and Culture
3. Daytime Tel #: 203-222-1424
4. E-mail: Chairperson@westporthistory.org
5. Agent's Name: Hanna Przada, Architect, LYONSPLAIN | Architecture and Design
6. Agent's Address: 55 Post Road West Westport, CT Suite 254
7. Agent's E-mail: hanna@lyonsplain.com

Cheryl Bliss, Chairperson, Westport  
Historical Society, D/B/A Westport Museum  
for History & Culture

I, \_\_\_\_\_, am the authorized representative of the property located at address:

25 Avery Pl, Westport CT 06880

I hereby authorize Lyonsplain Architecture, and their subcontracting companies, to act as my Agent for the limited purpose of applying for and obtaining local building and other permits from the Authority Having Jurisdiction as required for the installation of exterior restorations on my property.

This authorization includes the transfer/re-administering, and/or cancellation of any existing permits on file for the purpose of updating/applying with an alternate subcontractor.

Signature: 

Print Name: Cheryl Bliss

Date: June 23, 2021

WESTPORT MUSEUM FOR HISTORY AND CULTURE  
SITE REVITALIZATION WORK NARRATIVE

JUNE 24, 2022

**PROJECT SUMMARY**

The Westport Historical Society is located at 25 Avery Place, fronting Avery Place and across the street from the Westport Town Hall. The proposed plan is to improve wayfinding and walkway circulation and to beautify the garden of the museum. Additional scope of proposed work includes restoration of the property fence and the installation of new privacy and decorative fencing, outdoor benches, and outdoor lighting installation.

**EXISTING SITE AND BUILDINGS ON PROPERTY**

The site contains the Bradley Wheeler House as well as the Bradley-wheeler Barn. The barn is the only documented cobblestone seven-sided barn in Connecticut.

In our proposed design, we are committed to the historic preservation of the original architectural elements by maintaining all historic elements as is and framing them with minimal hardscape development and new native and ornamental plantings throughout the garden. We believe that the enhancement and the beautification of the museum grounds will elevate the historic structures, attract more visitors, and improve the outdoor programming offered by the institution.

**SCOPE OF PROPOSED WORK**

**Hardscape Improvements**

- New circular walkway within the garden
- The revised bluestone path connecting all entries to the site
- New brick donor recognition path
- Relocation of existing memorial and bird bath
- Repair of existing wrought iron metal fence
- Installation of new privacy wood fence
- New exterior garden lighting
- New outdoor seating/ teak wood benches

# WESTPORT MUSEUM SITE REVITALIZATION

25 AVERY PLACE  
WESTPORT, CT 06880

HDC APPLICATION - 06.06.2022

## ABBREVIATIONS

AC	air conditioning	FID	foundation	PCF	pounds per cubic foot
AB	anchor bolt	FJC	face of concrete	PCT CONC	precast concrete
ABV	above	FMC	face of finish	PERF	perforate (d)
AC	acoustical	FIM	face of masonry	PH	perimeter
AC BD	acoustic board	FIS	face of stud	PN	prefinished
ACT	acoustic tile	FL	floor plate	PK	panic hardware
ACC	asphalt concrete	FR	fire resistant	PL	plaster
ACC PNL	access panel	FRS	fire-resistant coating	PLAS	plate
ADH	adhesive	FRT	fire-retardant	PLF	pounds per lineal foot
ADJ	adjacent	FS	floor sink	PLY WD	plywood
ADJ	adjustable	FTG	footing	PNT	panel (ed) (ing)
AF	above finished floor	FUR	furred (ing)	PRE-FAB	prefabricate (d)
AGG	aggregate	FUT	future	PRF	preformed
AL or ALUM	aluminum	GA	gauge, gauge	PRC	prestressed concrete
ALP	area line pressure alarm	GALV	galvanized	PSF	pounds per square foot
ANC	anchor, anchorage	GB	grab bar	PSI	pounds per square inch
AND	and/or	GC	general contract (or)	PT	post-tensioned concrete
APPROX	approximately	GD	grade	PTD	paper towel dispenser
ARCH	architect (ural)	GRG	glass fiber reinforced concrete	PTK	partition
ASPH	asphalt	GT	galvanized iron	PTR	paper towel receptor
AUTO	automatic	GT	gasket	PVC	poly vinyl chloride
		GT	glass block	PVMT	pavement

## TITLE SHEET - GRAPHIC SYMBOLS

**VIEW REFERENCES**

**DRAWING TITLES**

**WALL/DETAIL SECTIONS**

**BUILDING SECTION**

**PLAN / DETAIL CALLOUTS**

**EXTERIOR / INTERIOR ELEVATIONS**

**DATUM SYMBOLS**

**PROJECT SYMBOLS**

**ROOM NAME**

- 101 ROOM NUMBER
- 101 DOOR OR OPENING NUMBER. SEE DOOR SCHEDULE.
- A WINDOW TYPE INDICATOR. SEE WINDOW TYPES.
- W4 WALL TAG, INDICATES PARTITION TYPE, STUD TYPE & SIZE; "A" INDICATES ACOUSTICAL
- APC # CEILING TYPE. - SEE CEILING SCHEDULE
- PNT # PAINT TYPE, WHERE APPLICABLE
- 9'-0" CEILING HEIGHT
- 000.00 FIXED EQUIPMENT INDICATOR. SEE EQUIPMENT SCHEDULE
- ACCESSORY INDICATOR. SEE ACCESSORY SCHEDULE
- A SIGNAGE INDICATOR. SEE SIGNAGE SCHEDULE

**NOTE** SEE INDIVIDUAL SHEETS FOR ADDITIONAL SYMBOLS.

## PROJECT TEAM

**CLIENT**  
THE WESTPORT MUSEUM  
FOR HISTORY AND CULTURE  
25 AVERY PLACE  
WESTPORT, CT 06880  
PHONE: 203.222.1424

**ARCHITECT**  
LYONSPLAIN ARCHITECTURE AND DESIGN  
55 POST ROAD WEST SUITE 254  
WESTPORT, CT 06880  
PHONE: 203.557.9200  
EMAIL: INFO@LYONSPLAIN.COM

## SHEET INDEX

<b>0_GENERAL</b>	<b>T1.1</b>	<b>TITLE SHEET</b>
<b>1_SITE</b>		<b>EXISTING SURVEY</b>
<b>S1.1</b>		<b>HARDSCAPING PLAN</b>
<b>S1.2</b>		<b>PLANTING PLAN</b>
<b>S1.3</b>		<b>PROPOSED PRIVACY FENCE DETAILS</b>
<b>S11</b>		<b>SITE DETAILS</b>
<b>S12</b>		<b>EXISTING METAL FENCE DETAILS</b>



LyonsPlain  
Architecture and Design  
55 Post Road West  
Westport, Connecticut 06880  
203 557  
www.lyonsplain.com

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REV#	DESCRIPTION	DATE
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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT INFO

**WESTPORT  
MUSEUM - SITE  
REVITALIZATION**

PROJECT ADDRESS  
**25 AVERY PL., WESTPORT, CT  
06880**

PROJECT # **2112**

DRAWN BY **LPA**

DATE **06/06/2022**

SHEET TITLE

**TITLE SHEET**

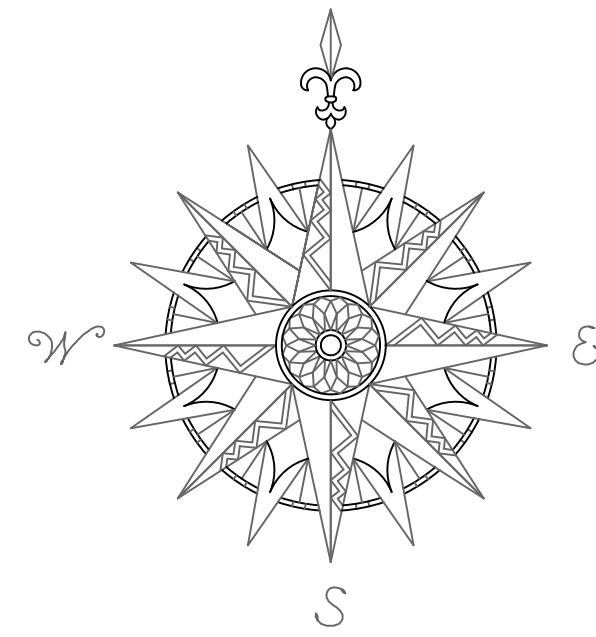
SHEET NUMBER

**T1.1**

## VICINITY MAP





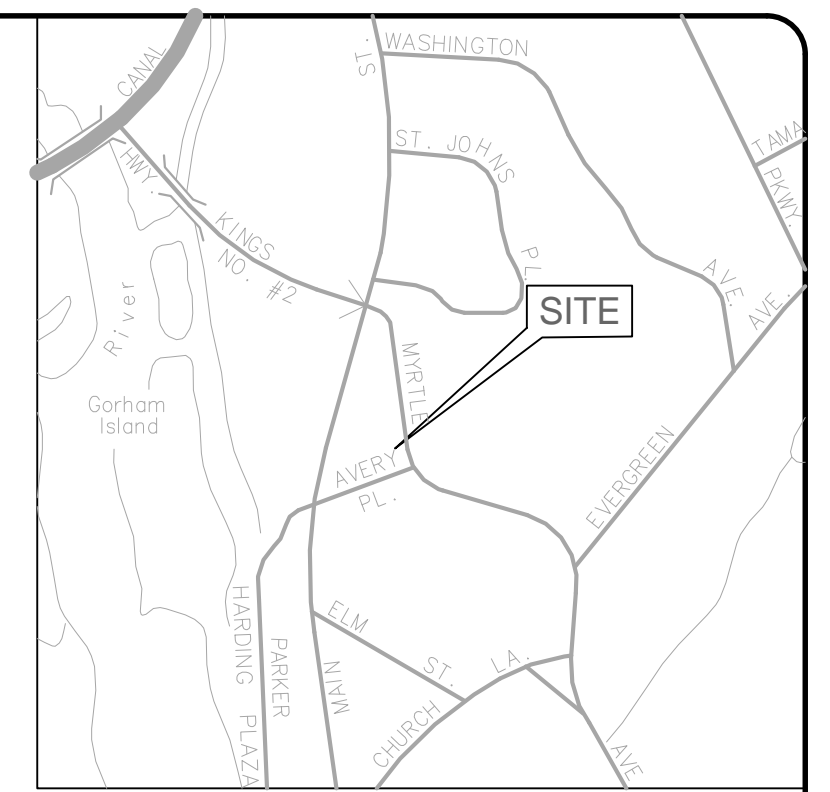


**NOTES:**

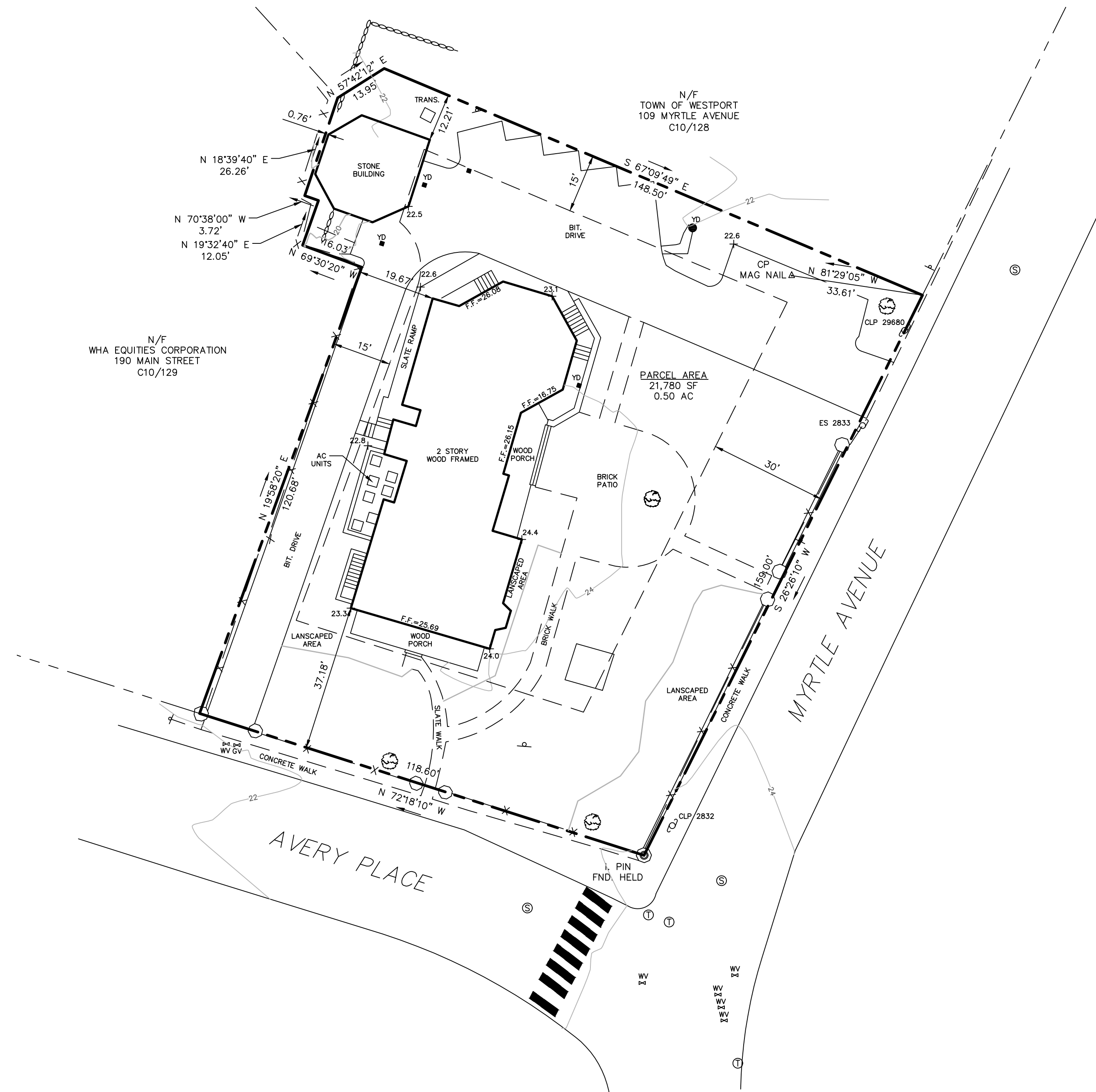
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
6. THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
7. BEARINGS ON THIS MAP ARE BASED ON REF. MAP #1 BELOW.
8. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES. THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
10. OWNER OF RECORD: WESTPORT HISTORICAL SOCIETY
11. SUBJECT PARCEL IS IN A ZONE.
12. THIS PARCEL IS KNOWN AS LOT 130 ON ASSESSOR'S MAP C10.
13. THIS PARCEL IS SUBJECT TO A VARIANCE RECORDED V.1933 P.302 W.L.R.

**MAP REFERENCES:**

1. "PLOT PLAN PREPARED FOR WESTPORT HISTORICAL SOCIETY 25 AVERY PLACE WESTPORT, CONNECTICUT" SCALE: 1"=10' SEPT. 10, 2003 REV. DEC. 24, 2003 BY: LEONARD SURVEYORS
2. "MAP OF PROPERTY PREPARED FOR CHRIST AND HOLY TRINITY EPISCOPAL CHURCH WESTPORT, CONN." SCALE: 1"=30' MAY 13, 1980 W.L.R. #7825
3. "TOPOGRAPHIC MAP PREPARED FOR JAROSLAW PALUHA & JOSEPH A. BARRACO WESTPORT, CONN." SCALE: 1"=20' JAN. 2, 1975 REV. NOV. 2, 1984 W.L.R. #8228



**LOCATION MAP**  
NTS



WESTPORT ZONING TABLE (A- DISTRICT)		
STANDARDS	REQUIRED	EXISTING
AREA IN ACRES	21,780 SF	21,780 SF
MIN. SHAPE	100' X 150'	> 100' x 150'
MIN. SETBACKS:		
STREET LINE	30'	37.18'
SIDE YARD	15'	12.21'
REAR YARD	25'	0.76'
MAX. BLDG. HEIGHT	2 1/2 STORIES/35'	2 STORIES/31' ±
MAX. BLDG. COV.	15 %	17.9 %
TOTAL LOT COV.	25 %	41.3 %

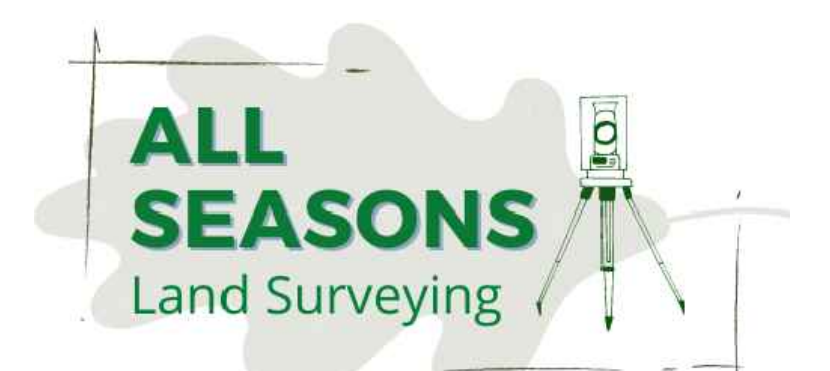
LOT AREA COVERAGE WORKSHEET		
BASE LOT CALCULATION		
		EXISTING
1.	GROSS LOT AREA	21,780 SF
2.	Above Ground Utility Easements	
3.	Streets and Roads	
4.	Other Exclusive Surface Easements	
5.	TOTAL EASEMENTS AND ROADS	
6.	Wetland Area	
7.	Steep Slopes of 25% or greater	
8.	TOTAL WETLAND AND STEEP SLOPES	
9.	Wetlands/Slopes reduction (0.80 x line 8)	
10.	BASE LOT AREA	21,780 SF
MAXIMUM LOT AREA COVERAGE CALCULATION		
11.	BASE LOT AREA (from line 10)	21,780 SF
12.	Square Feet of Total Coverage	9,005 SF
13.	% Total Coverage	41.3 %
14.	Square Feet of Building Coverage	3,904 SF
15.	% Building Coverage	17.9 %

**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- WATER VALVE
- EXISTING STONE WALL
- EXISTING GAS VALVE
- EXISTING FENCE
- CONTROL POINT
- SANITARY SEWER MANHOLE
- EXISTING TREE
- UTILITY POLE
- IRON PIN
- SIGN

ZONING LOCATION SURVEY  
PREPARED FOR  
WESTPORT HISTORICAL SOCIETY  
25 AVERY PLACE  
WESTPORT, CT

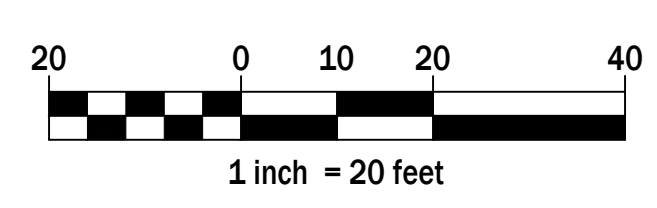
COPYRIGHT © 2022  
SCALE: 1" = 20' MARCH 17, 2022  
PROJ. NO.: 0436



LAND SURVEYING - LAND PLANNING  
31 West Dayton Hill Road Wallingford, CT 06492  
Phone: (203) 213-1871  
dan@allseasonslandsurveying.com  
allseasonslandsurveying.com

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.  
THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED LAND SURVEYOR.

DANIEL C. LAFERRIERE  
LICENSED LAND SURVEYOR, REG# 70492



### SITE PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
A X	LANDSCAPE LIGHTING

### SITE NOTES

#### TREE CALCULATION SUMMARY:

AREA OF SITE NOT COVERED BY BUILDING OR STRUCTURE: 12,775 SQ.FT  
 NUMBER OF TREES REQUIRED: 1 PER 50FT OF FRONT LENGTH  
 225FT OF FRONT LENGTH

FIVE (5) TREES REQUIRED

ACTUAL NUMBER OF TREES:

NOTE: THIS SITE IN PRE-CONSTRUCTION CONDITION HAS (4) TREES WITHIN THE PROPERTY BOUNDARY LINE.

#### AREA COVERAGE SUMMARY:

	SQ FT
TOTAL AREA OF SITE	21780
TOTAL BUILDING AREA	3904
EXISTING COVERAGE	9005
TOTAL BUILDING AREA	17.90%
EXISTING COVERAGE	41.30%

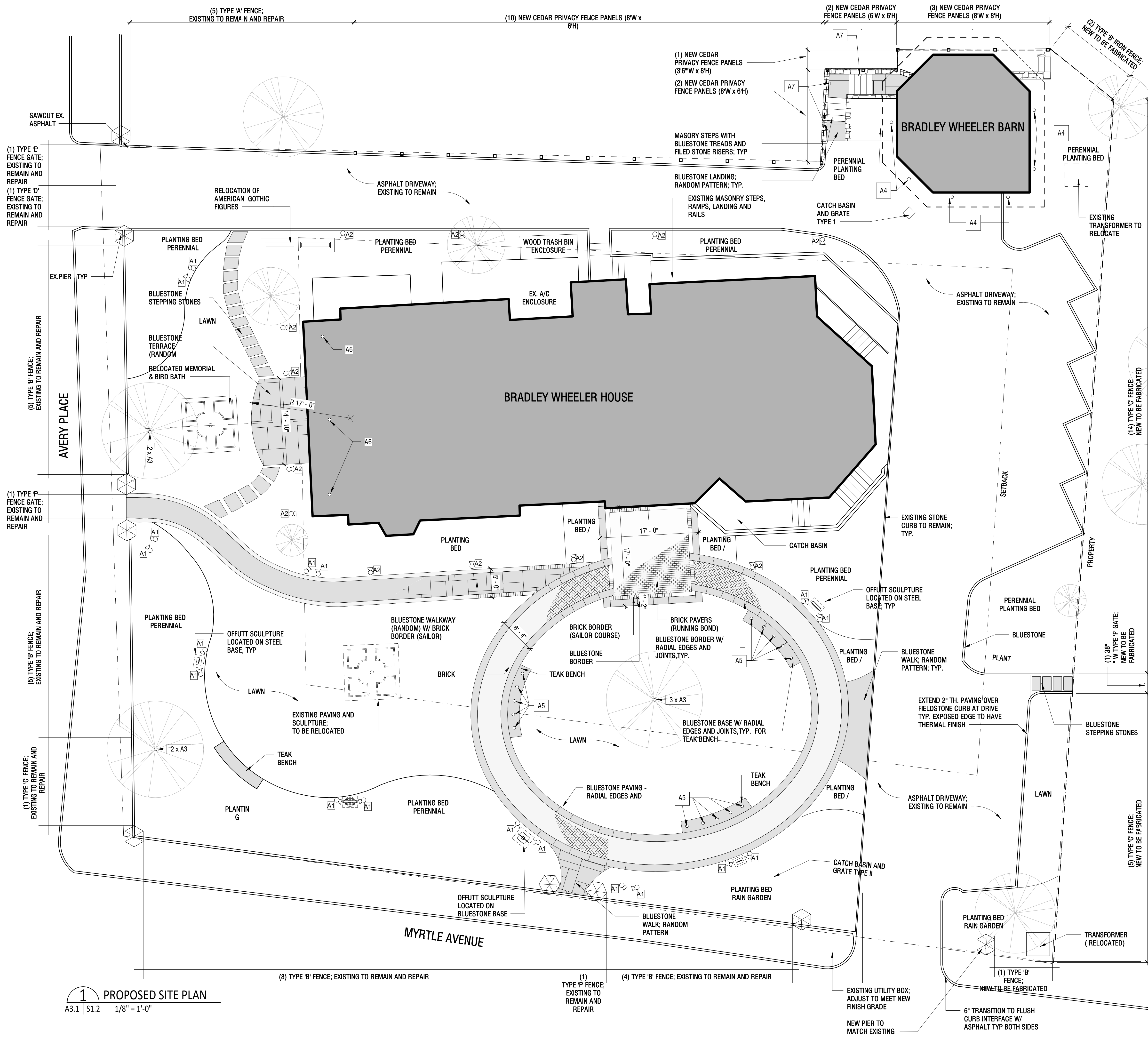
EXISTING BRICK COVER AREA	1581
EXISTING ASPHALT COVER AREA	5101
EXISTING SLATE PATH COVER AREA	100
EXISTING PEDESTRIAN CIRCULATION	1681

PROPOSED BRICK COVER AREA	922
PROPOSED ASPHALT COVER AREA	5101
PROPOSED STONE PATH COVER AREA	930
PROPOSED PEDESTRIAN CIRCULATION	1852

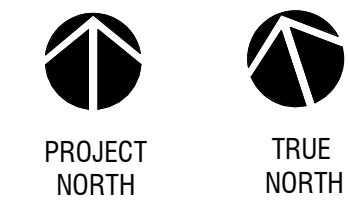
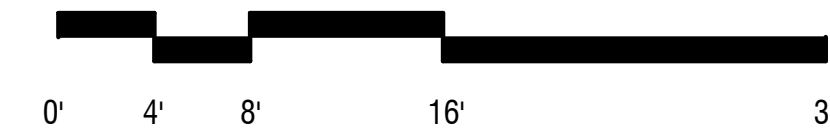
#### GENERAL NOTES:

- THIS PLAN IS SUBMITTED AS A LANDSCAPE PLAN.
- AREAS AND TREE COUNT DESCRIBED IN LANDSCAPE TABULATIONS BECOME THE OFFICIAL LANDSCAPE PLAN. THESE COUNT SHALL BE MAINTAINED AND REPLACED AT THE SAME LEVEL OR MORE. ANY DEPLETION OF EITHER AREA OR TREES OF THE EXCESS DESIGNATED (DUE TO FUTURE CONSTRUCTION) CAN ONLY BE APPROVED BY A LANDSCAPE PLAN REVISION AND AMENDMENT OF THE PLANNING AND ZONING COMMITTEE.
- ANY DEPLETION OF LANDSCAPING DUE TO NATURAL CAUSES WILL REQUIRE REPLACEMENT OF LANDSCAPING EQUAL TO OR GREATER THE ORIGINAL REQUIRED OF THE APPROVED LANDSCAPE PLAN.

### HARDESCAPING PLAN



**1 PROPOSED SITE PLAN**  
 A3.1 | S1.2 | 1/8" = 1'-0"



X:\10\_1\_LPA\_PROJECTS\_Folder1\_3\_PROJECTS\02222022\2022\Westport\_Museum\_SiteID\_DRAWING DOCUMENTS\1\_REVIT\2112\_Westport\_Museum\_Site Revitalization and Redesign.rvt

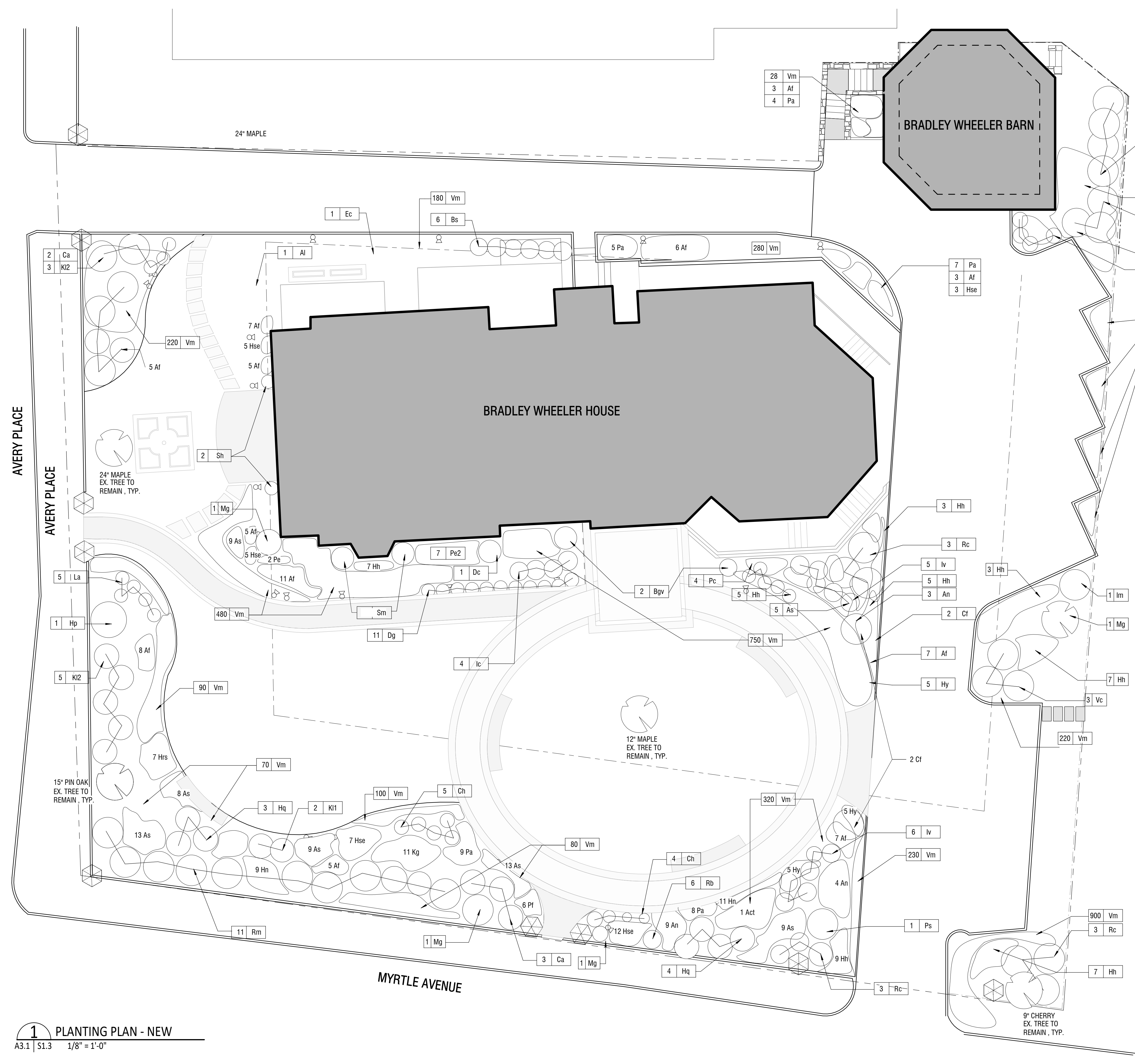


This drawing and the related specifications are instruments of service and shall remain the property of LyonsPlain Architecture, whether the project for which it is made is executed or not. The drawings and related specifications shall not be used by the owner or others on other projects, for additions to this project, or for completion of this project by others except by agreement in writing and with appropriate compensation to LyonsPlain Architecture. This drawing and related specifications are copyrighted and protected under Section 103 of the U.S. Copyright Act 1976. The protection includes but is not limited to design and construction techniques; unauthorized use or reproduction is prohibited. Submission or distribution for official regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of the rights of LyonsPlain Architecture.

REV#	DESCRIPTION	DATE

## PLANTING PLAN LEGEND

SYM	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
AL	AMELANCHIER LAEVIS	SHADBLow SERVICEBERRY
CF	CORNUS FLORIDA	FLOWERING DOGWOOD
MG	MAGNOLIA GRANDIFLORA	BRACKENS BROWN BEAUTY SOUTHERN MAGNOLIA
PS	PRUNUS SUBHIRTELLA 'AUTUMNALIS'	AUTUMNALIS HIGAN CHERRY
<b>SHRUBS</b>		
BS	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD
BGV	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD
CA	CALYCANTHUS FLORIDUS/CAROLINA	ALLSPICE
CH	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SWEET PEPPERBUSH
DC	DAPHNE CAUCASICA	CAUCASIAN DAPHNE
DG	DEUTZIA GRACILIS 'NIKKO'	NIKKO SLENDER DEUTZIA
EC	ENKANTHUS CAMPANULATUS	REDVEIN ENKANTHUS
HQ	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA
HP	HYDRANGEA PANICULATA 'TARDIVA'	PANICLE HYDRANGEA
HM	HANAMELLIS MOLLIS 'PALLIDA'	CHINESE WITCHHAZEL
IC	ILEX CRENATA 'HOOGENDORN'	HOOGENDORN JAPANESE HOLLY
IV	ILEX MENSIEREA 'BLUE PRINCESS'	BLUE PRINCESS HOLLY
IM	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET VIRGINIA SWEETSPIRE
KL1	KALMIA LATIFOLIA 'CAROL'	CAROL MOUNTAIN LAUREL
KL2	KALMIA LATIFOLIA	MOUNTAIN LAUREL
LA	LEUCOTHOE AXILARIS	COAST LEUCOTHOE
RB	RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON
RC	RHODODENDRON CATAWBIENSE 'ALBUM'	WHITE CATAWBA RHODODENDRON
RM	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON
SH	SARCOCOCCA HOOKERIANA HUMILIS	SWEETBOX
SM	SYRINGA MEYERI 'PALIBIN'	MEYER LILAC
VC	VIRURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM
<b>GROUND COVER</b>		
VM	VINCA MINOR	PERWINKLE
<b>PERENNIALS</b>		
AN	ANEMONE X HYBRIDA 'QUEEN CHARLOTTE'	QUEEN CHARLOTTE ANEMONE
AS	ASTILBE 'BRIDAL VEIL'	BRIDAL VEIN PLUME FLOWER
ACT	ASTILBE CHINENSIS 'FINALE'	FINALE PLUME FLOWER
AF	ATHYRIUM FELIX-FEMINA	LADY FERN
HN	HELLEBORUS NIGER	CHRISTMAS ROSE
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILIES
HY	HOSTA HALCYON	HALCYON HOSTA
HRS	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA
HSE	HOSTA SIEBOLDIANA 'ELEGANS'	ELEGANS HOSTA
KG	KIRENGENSHOMA PALMATA	YELLOW WAX BELLS
PE	PAEONIA LACTIFLORA 'EDEN'S TEMPTATION'	EDEN'S TEMPTATION PEONY
PE2	PAEONIA LACTIFLORA 'PILLOW TALK'	PILLOW TALK PEONY
PA	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN
PL	POLYGONATHUM FALCATUM 'VARIEGATUM'	VIRIEGATED SOLOMONS SEAL



1 PLANTING PLAN - NEW  
A3.1 | S1.3 | 1/8" = 1'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

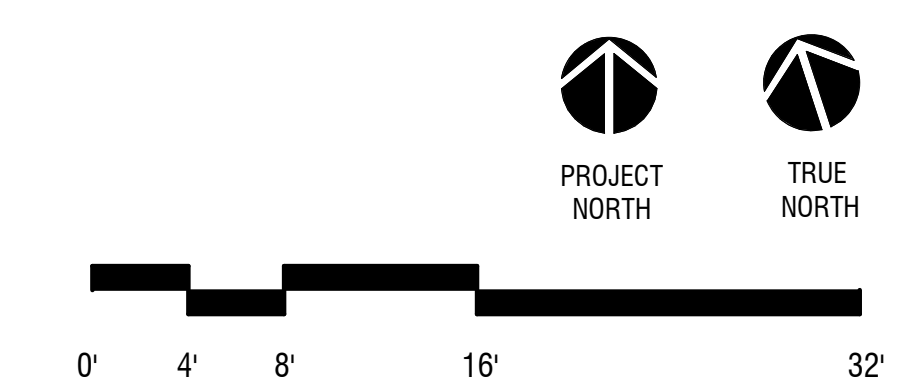
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**WESTPORT  
MUSEUM - SITE  
REVITALIZATION**

PROJECT ADDRESS  
**25 AVERY PL., WESTPORT, CT  
06880**

PROJECT # 2112  
DRAWN BY LPA  
DATE 06/06/2022

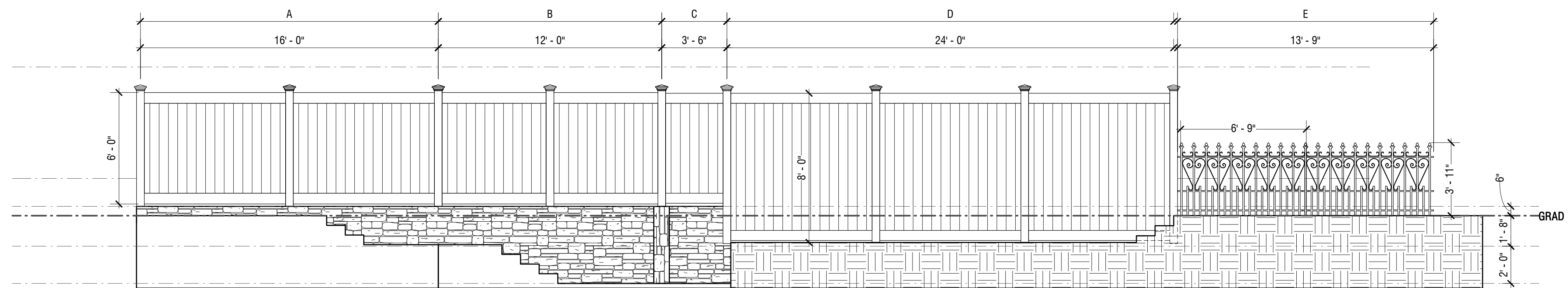
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**PLANTING PLAN**

SHEET NUMBER  
**S1.3**

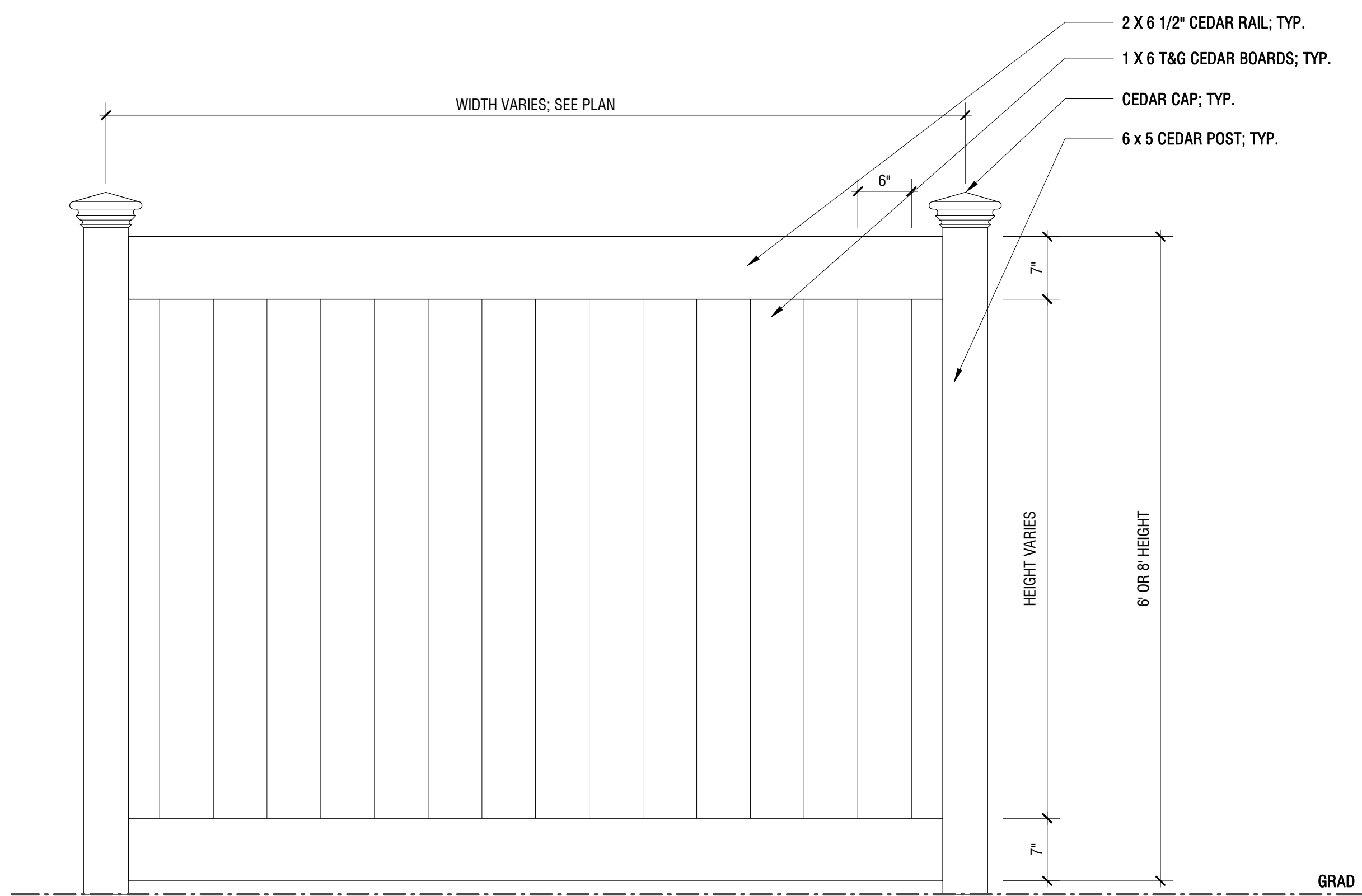


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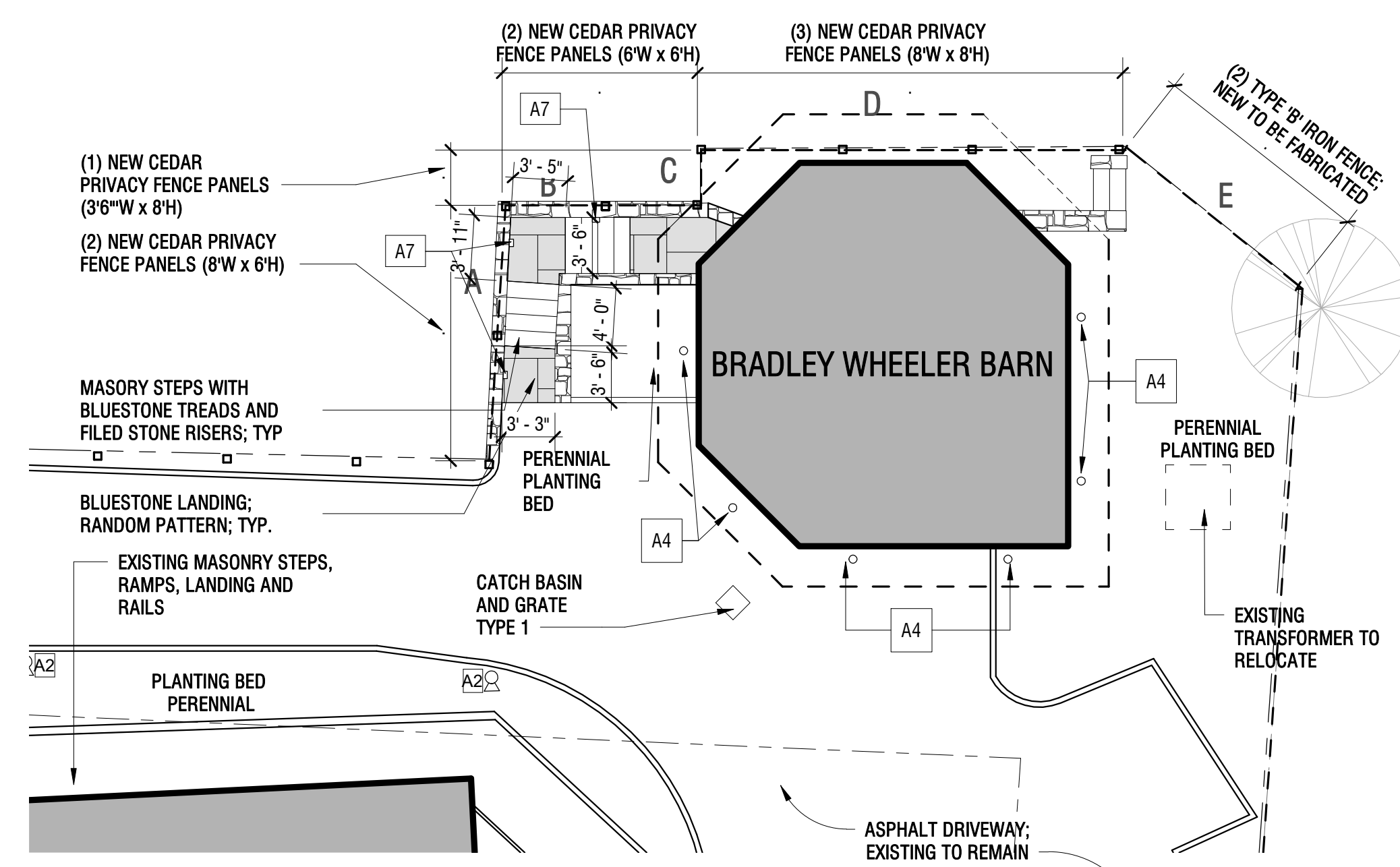




**1** PRIVACY FENCE - ELEVATION VIEW  
S11 1/4" = 1'-0"



**2** PRIVACY FENCE - NATURAL CEDAR, UNFINISHED  
S11 1" = 1'-0"



**3** HARDSCAPING PLAN - ENLARGED PLAN  
A3.1 S11 1/8" = 1'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT INFO

**WESTPORT  
MUSEUM - SITE  
REVITALIZATION**

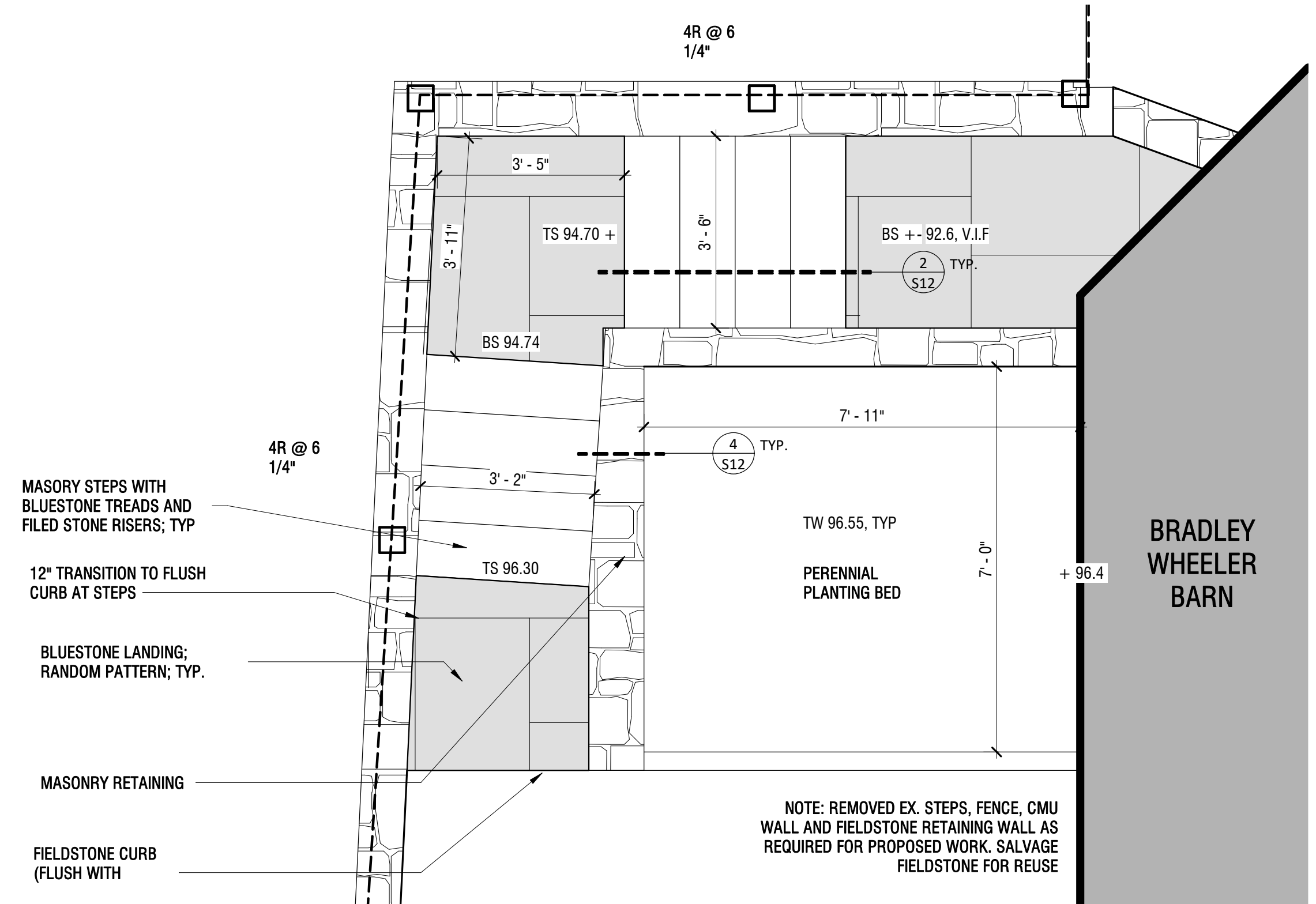
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**25 AVERY PL., WESTPORT, CT  
06880**

PROJECT # 2112  
DRAWN BY LPA  
DATE 06/06/2022

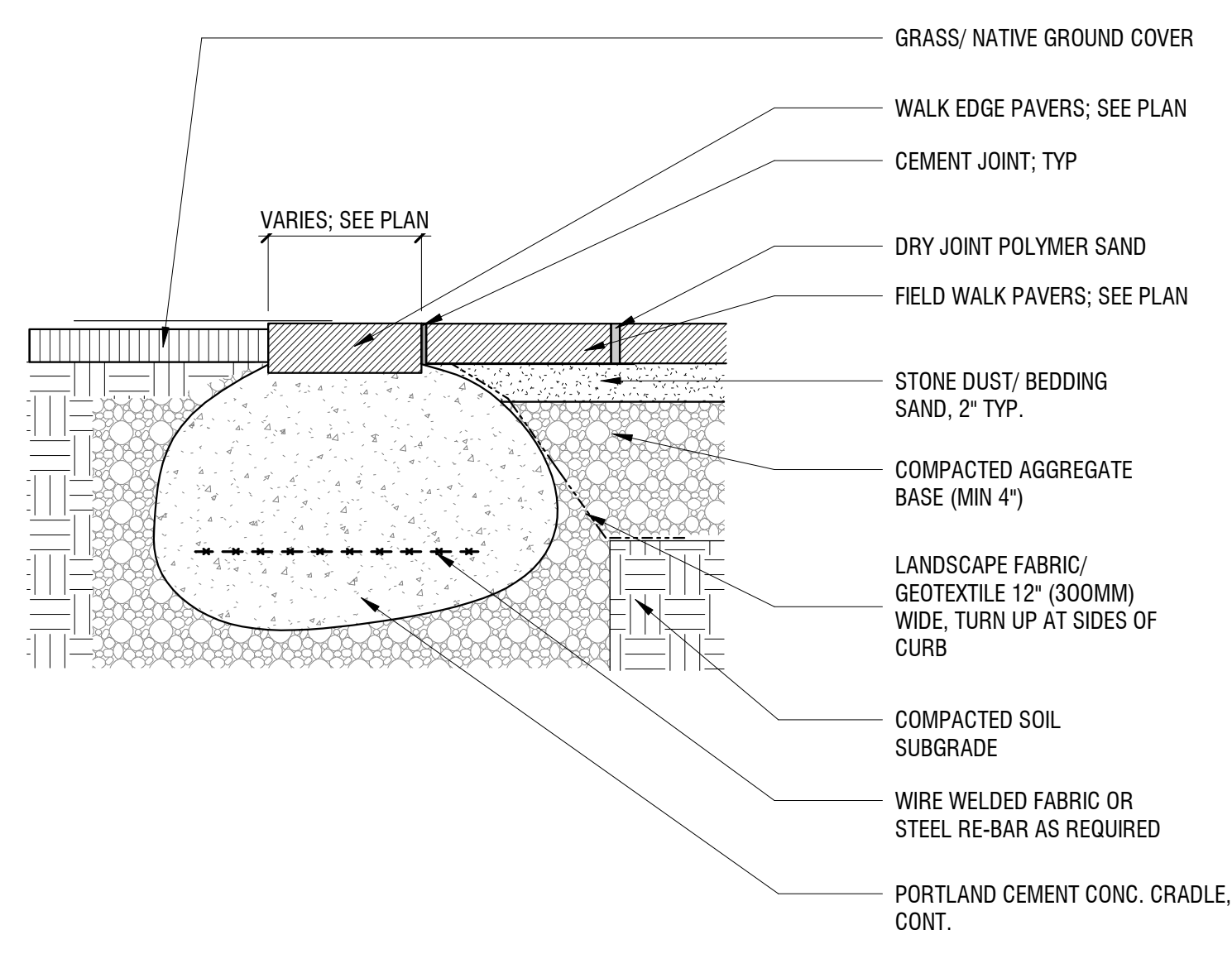
SHEET TITLE  
**PROPOSED PRIVACY  
FENCE DETAILS**

SHEET NUMBER

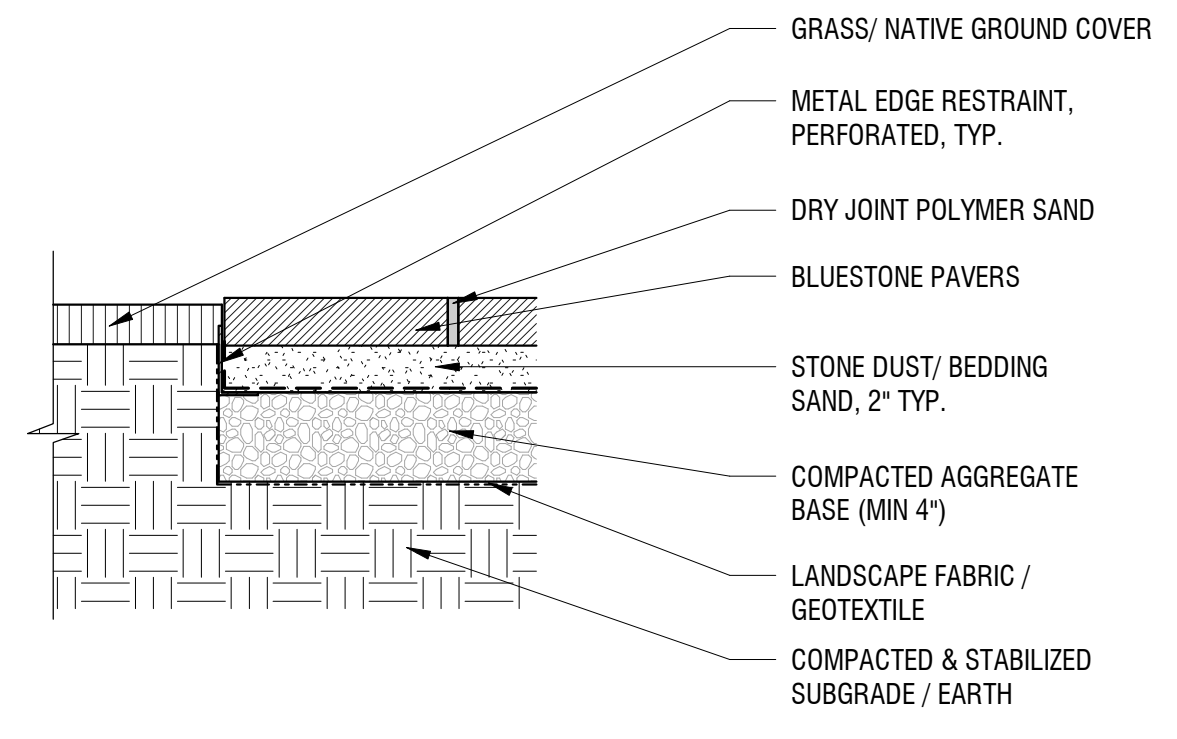
**S11**



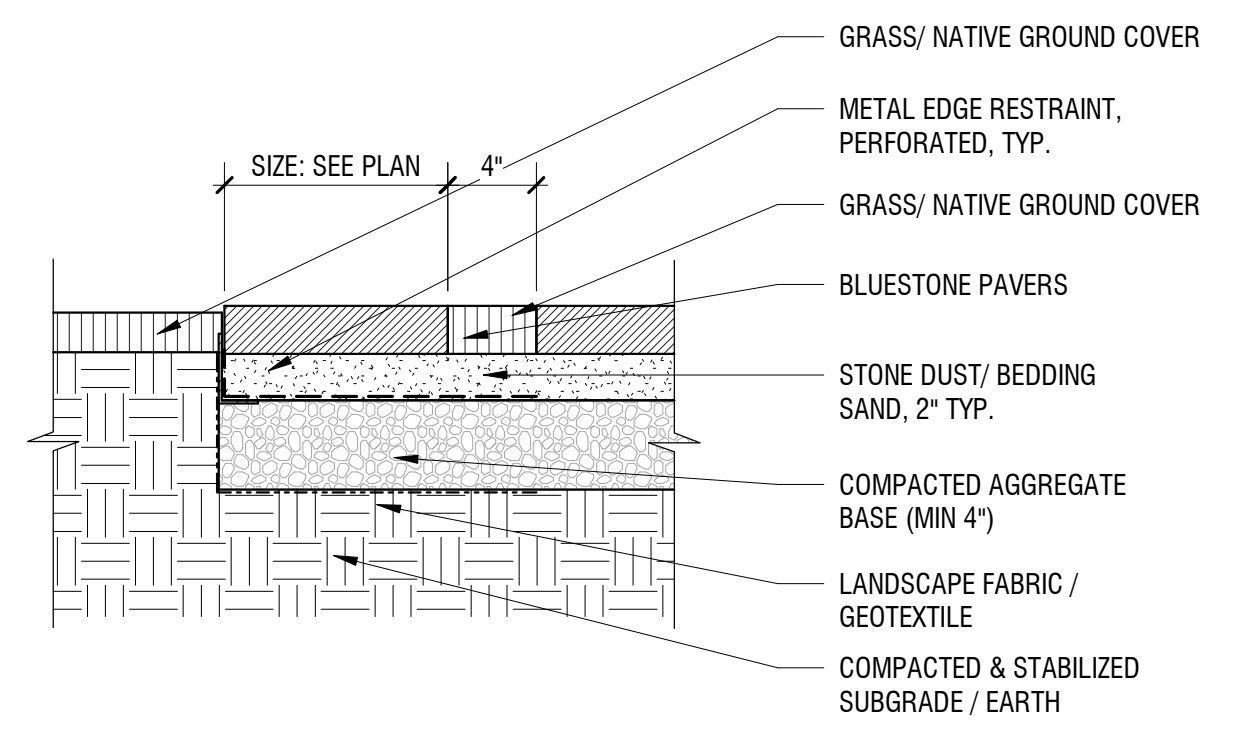
**1** HARDSCAPING PLAN - ENLARGED STAIR DETAIL  
A3.1 | S12 1/2" = 1'-0"



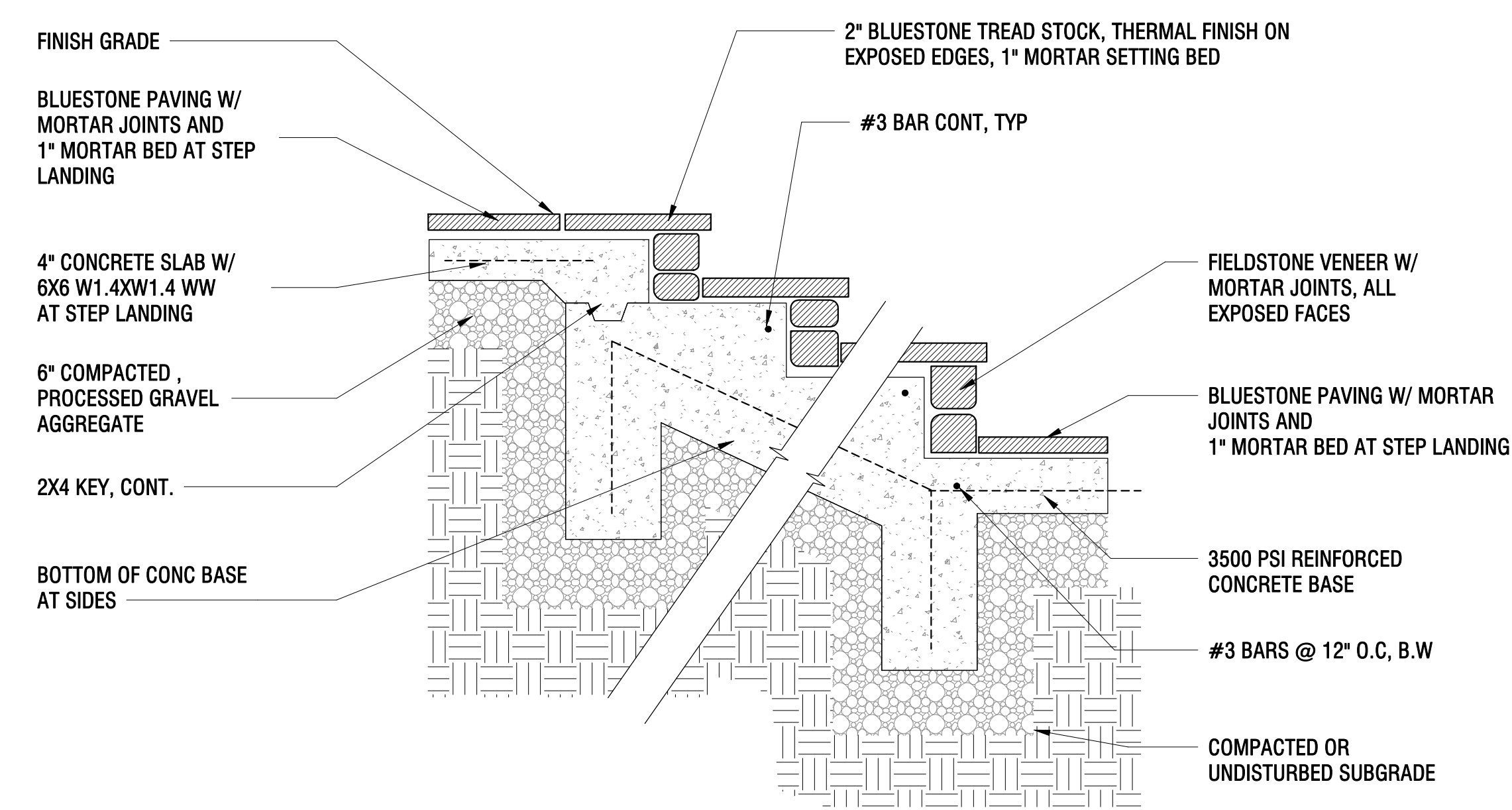
**3** WALKWAY DETAILS  
S12 1 1/2" = 1'-0"



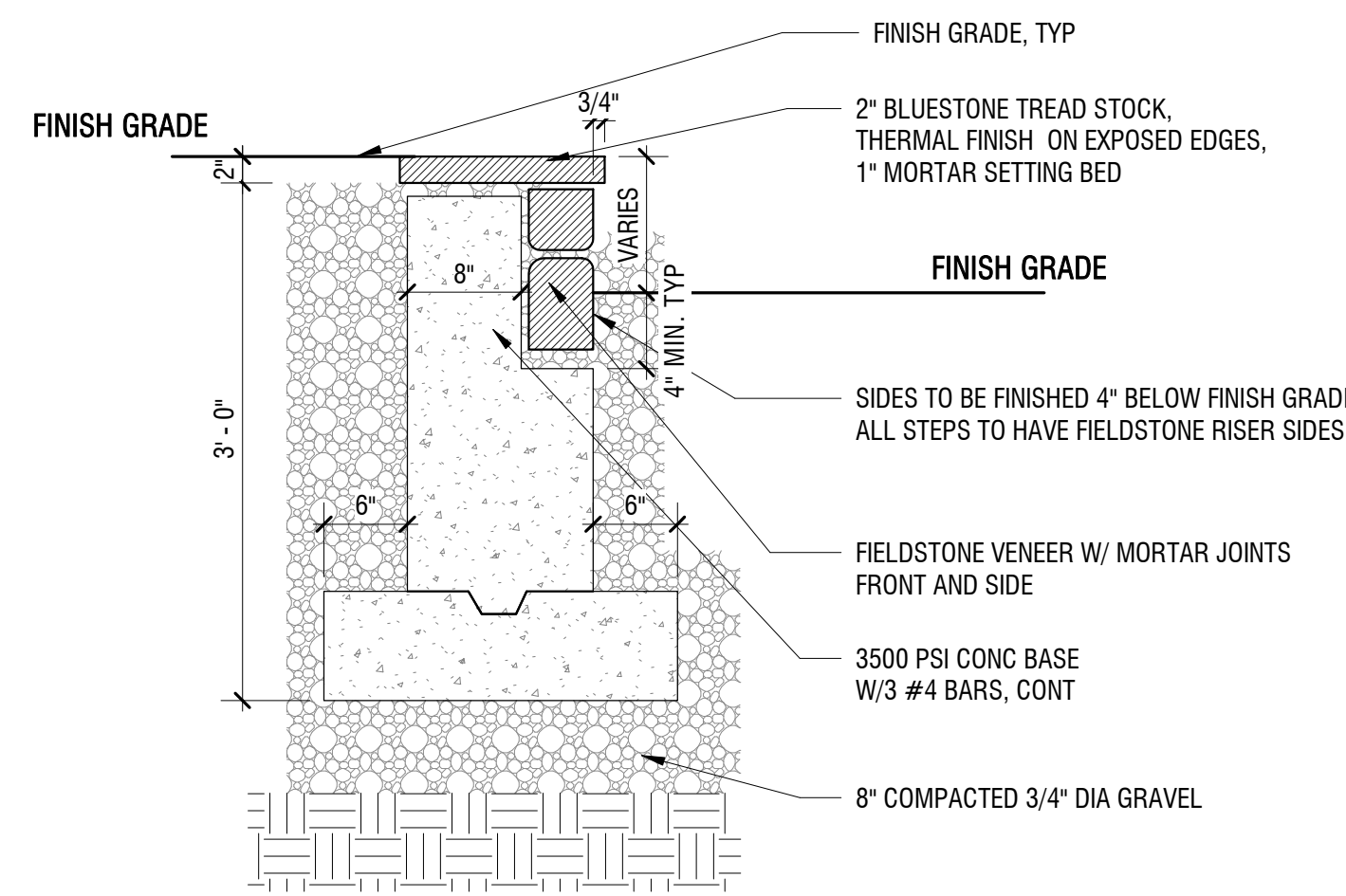
**5** BLUESTONE PATIO DETAIL  
S12 1 1/2" = 1'-0"



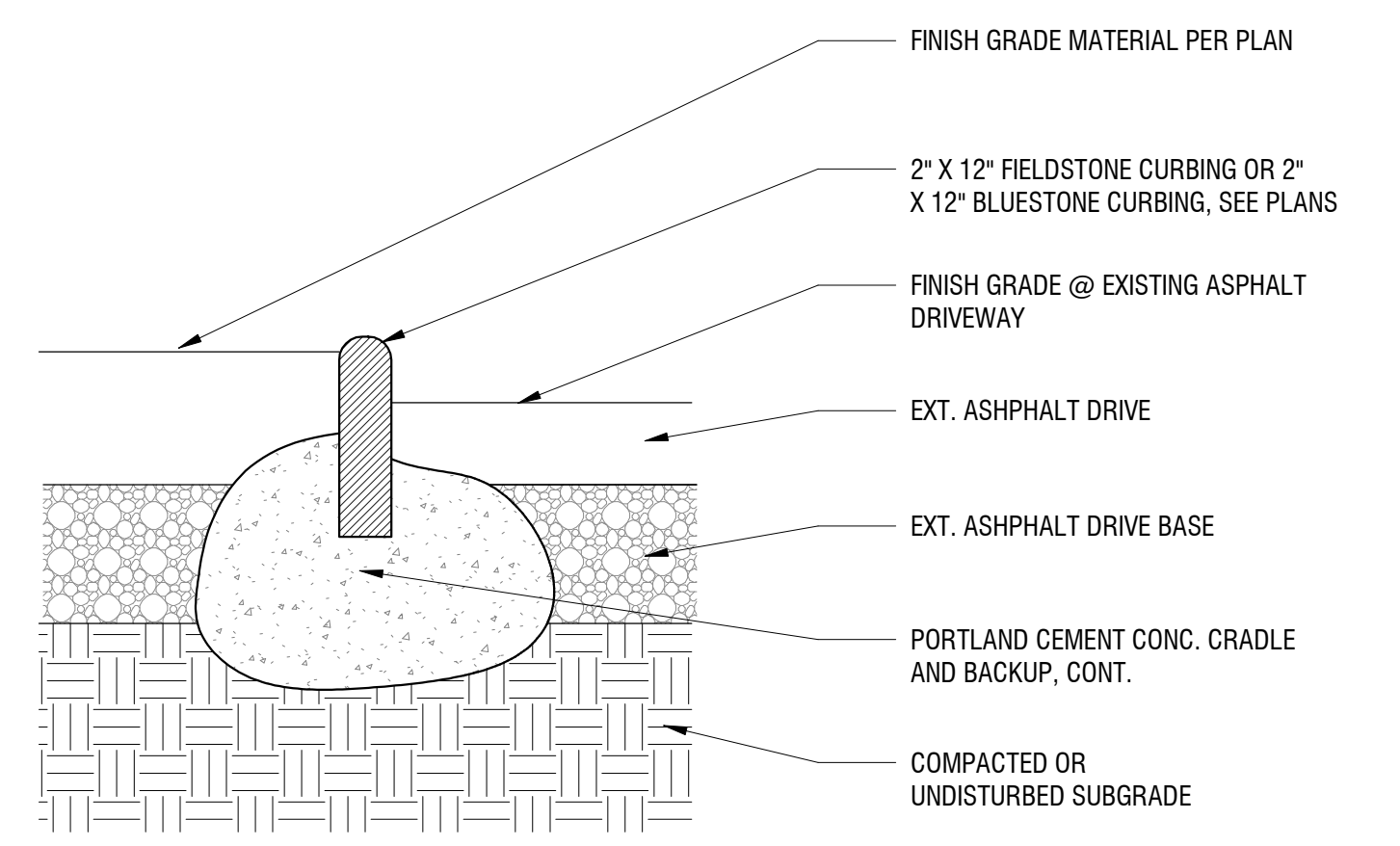
**6** BLUESTONE STEPPING STONE DETAIL  
S12 1 1/2" = 1'-0"



**2** MASONRY DETAILS - STEPS  
S12 | S12 1" = 1'-0"



**4** MASONRY WALL DETAIL  
S12 | S12 1" = 1'-0"



**7** DRIVEWAY CURB DETAIL  
S12 1 1/2" = 1'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT INFO

**WESTPORT  
MUSEUM - SITE  
REVITALIZATION**

PROJECT ADDRESS  
**25 AVERY PL., WESTPORT, CT  
06880**

PROJECT # 2112

DRAWN BY LPA

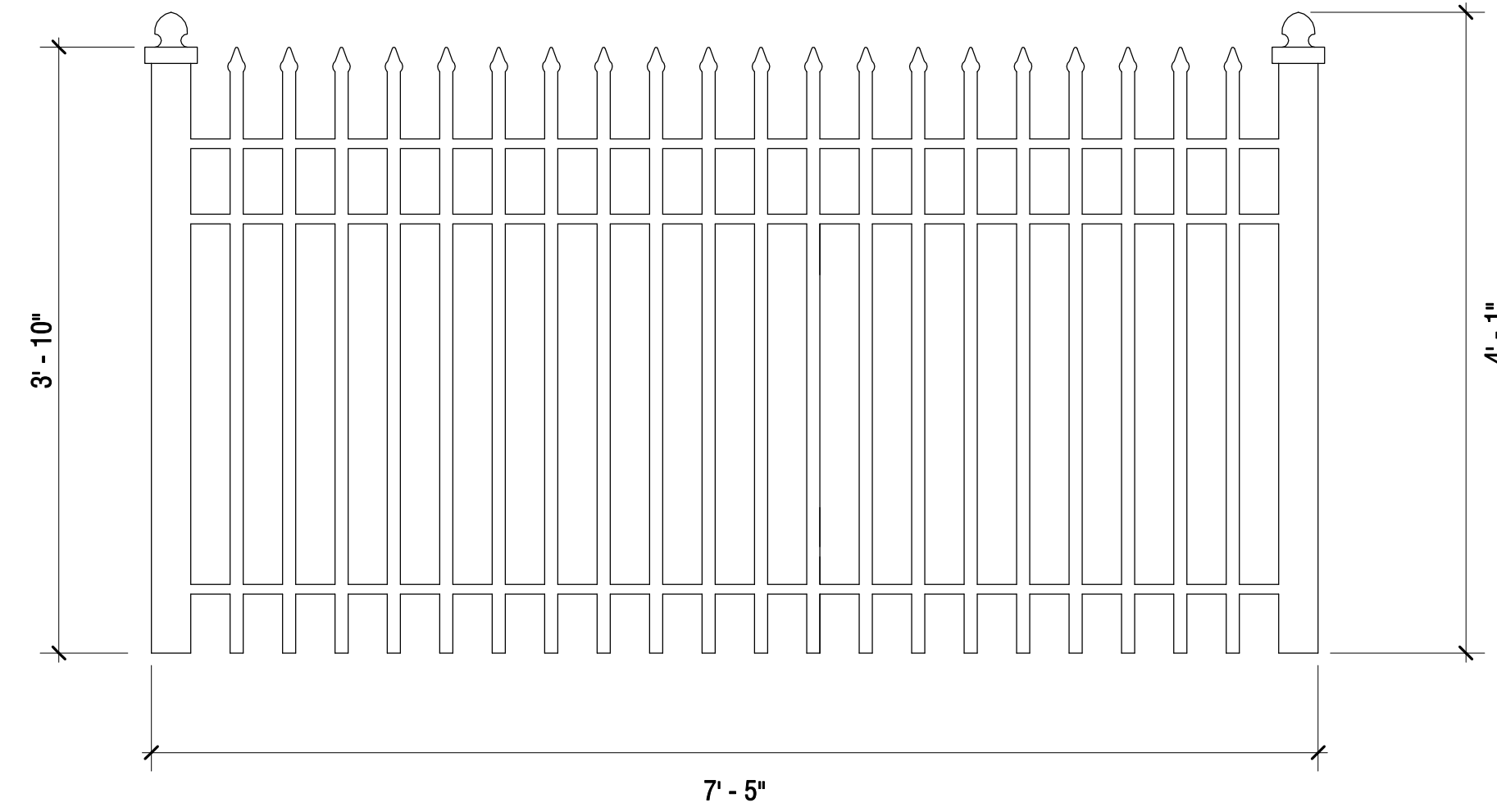
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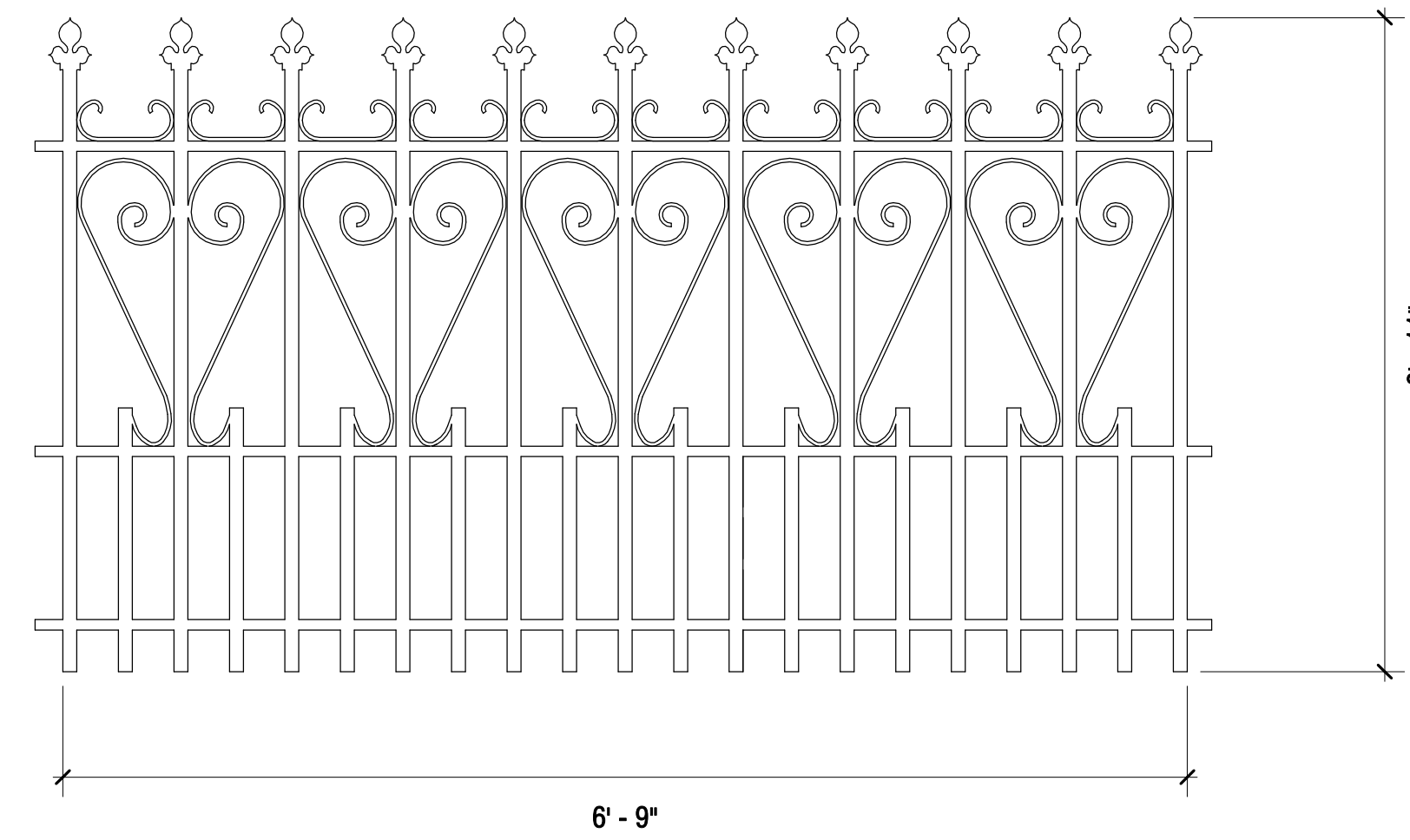
**SITE DETAILS**

SHEET NUMBER

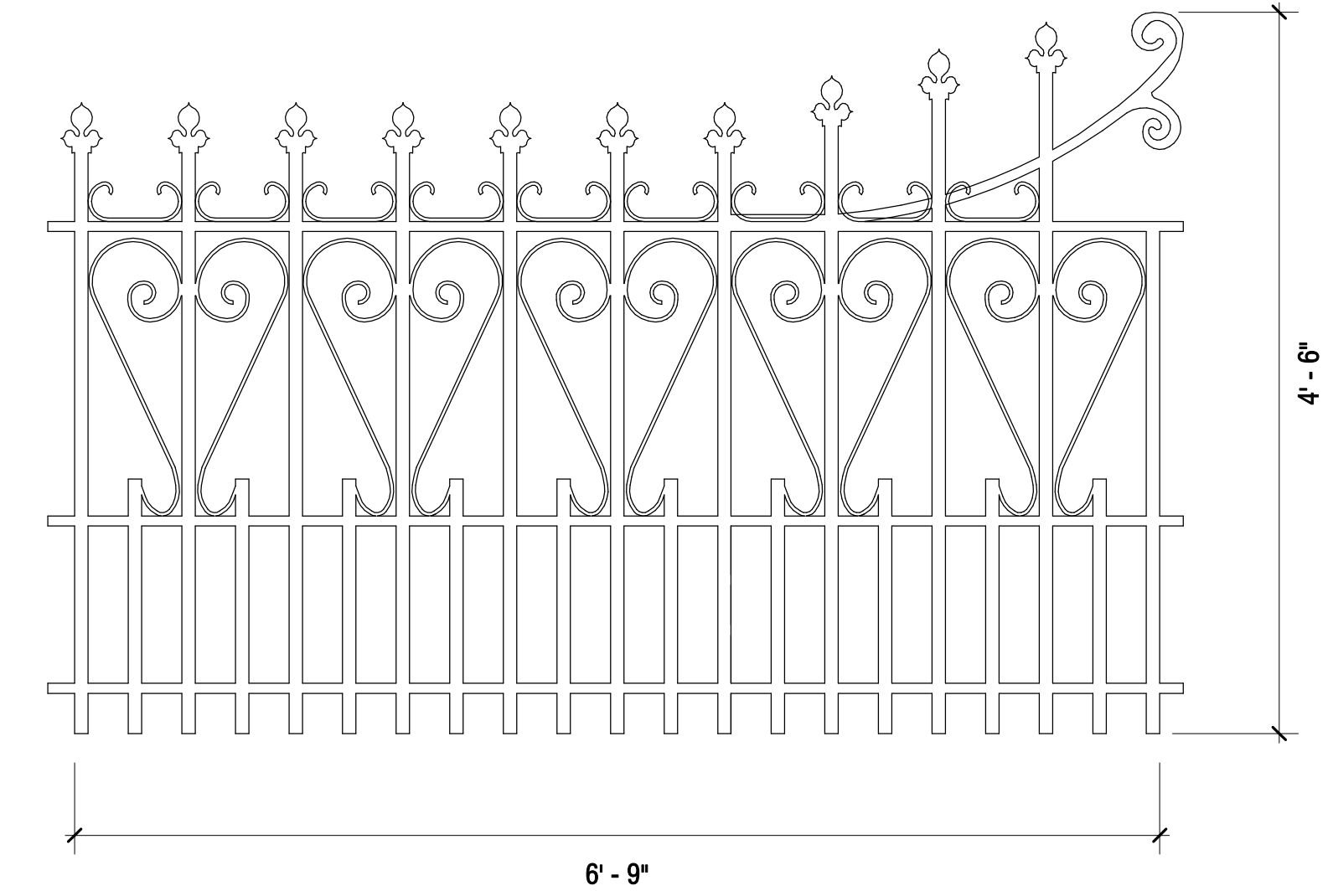
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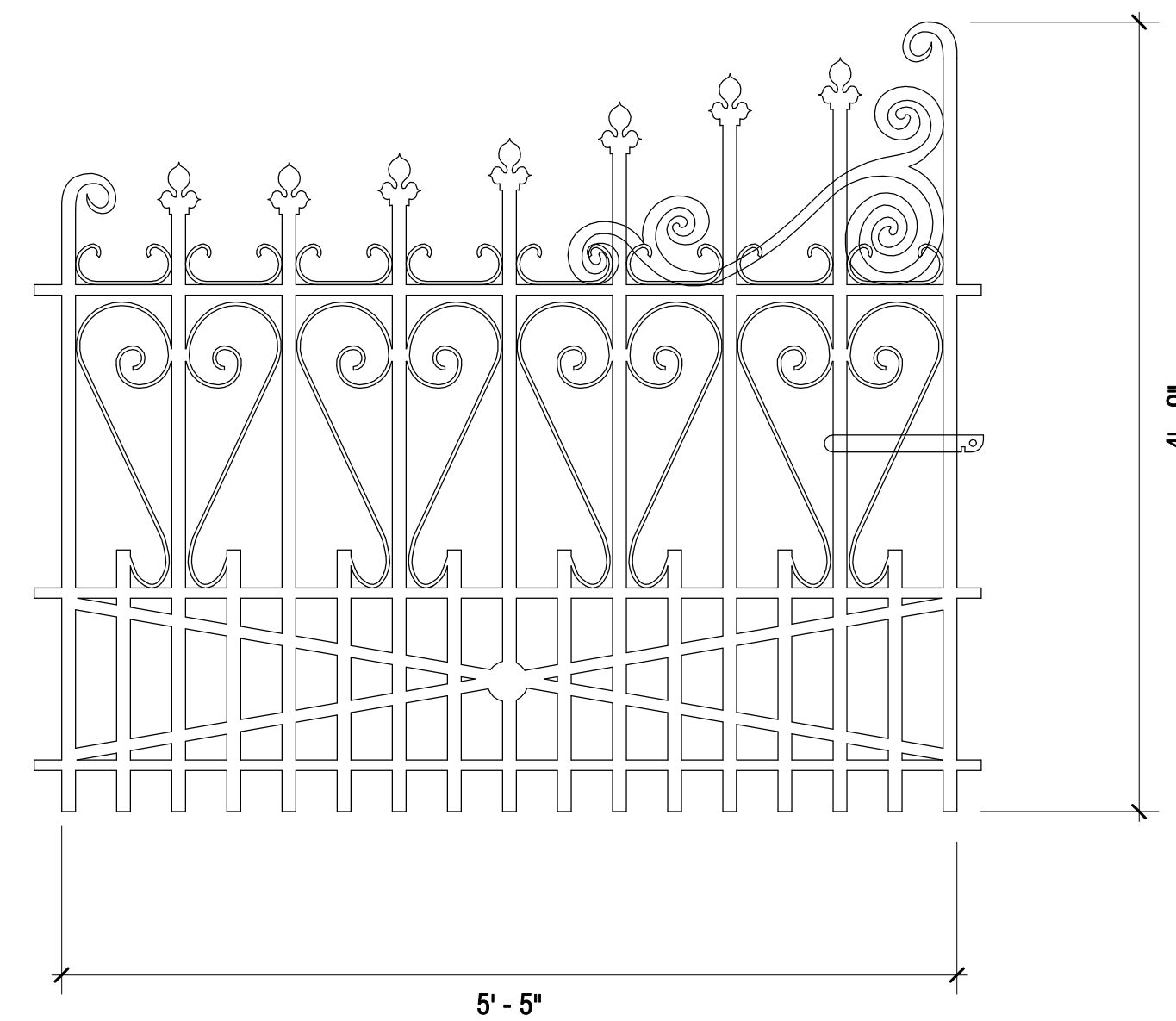
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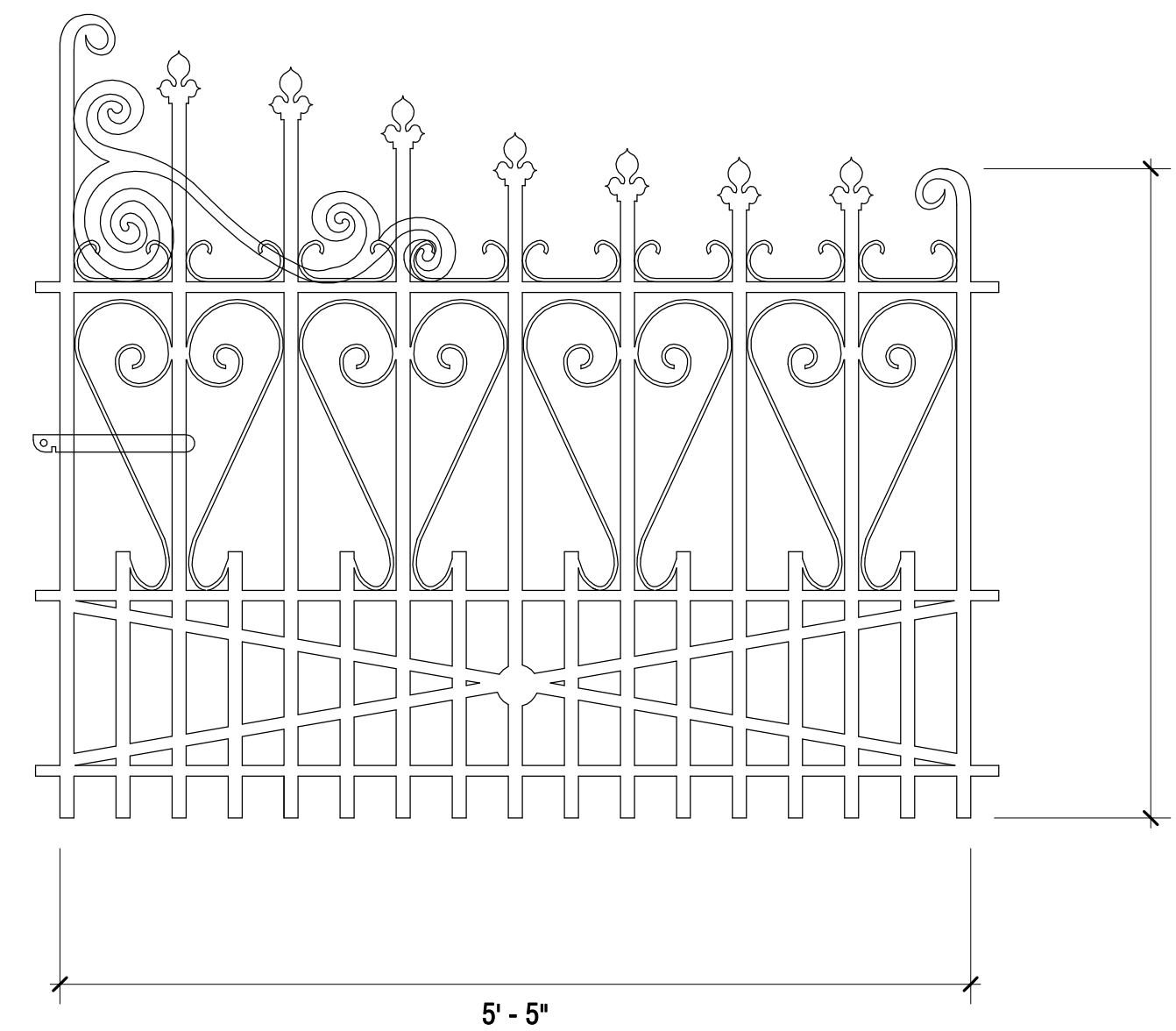
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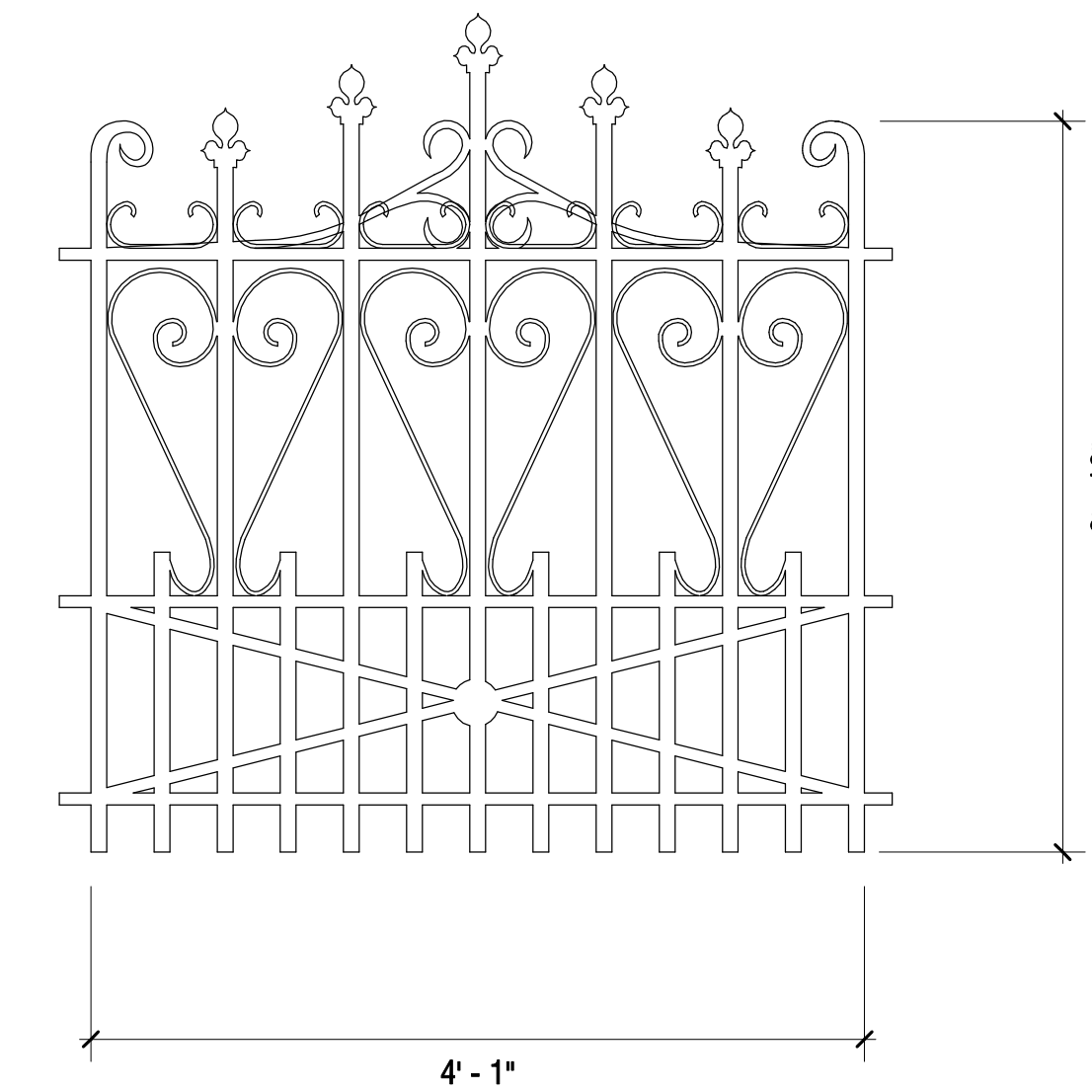
PANEL "C"



PANEL "D"



PANEL "E"



PANEL "F"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT INFO

**WESTPORT  
MUSEUM - SITE  
REVITALIZATION**

PROJECT ADDRESS  
**25 AVERY PL., WESTPORT, CT  
06880**

PROJECT # 2112  
DRAWN BY LPA  
DATE 06/06/2022

SHEET TITLE

**EXISTING METAL  
FENCE DETAILS**

SHEET NUMBER

**S13**

WESTPORT MUSEUM

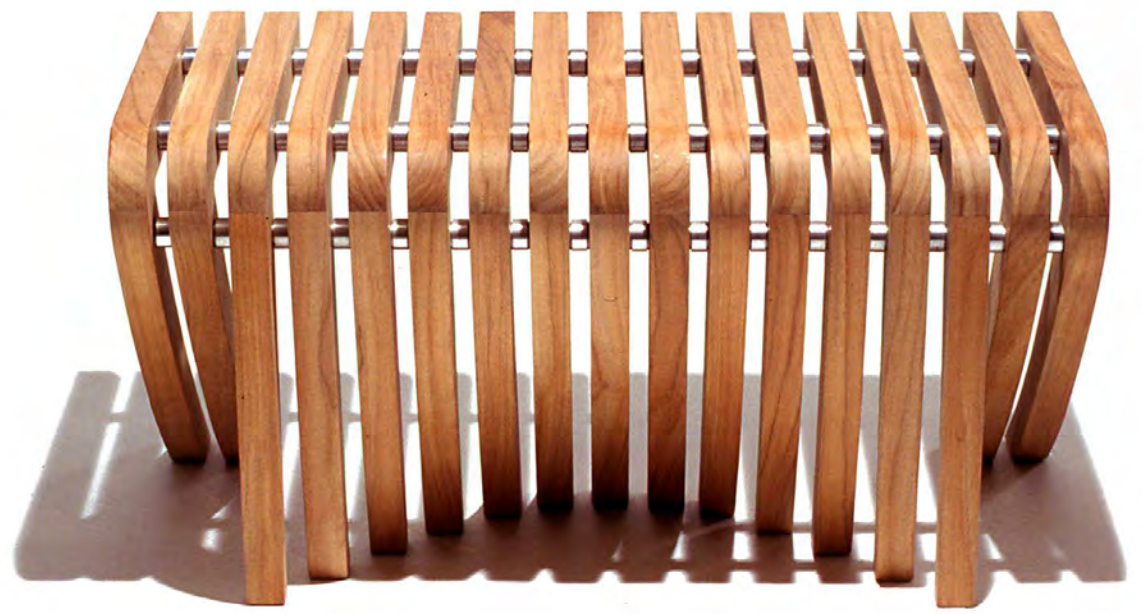
WESTPORT HISTORIC DISTRICT COMMISSION - CERTIFICATE OF APPROPRIATENESS APPLICATION

---

# PROPOSED PRODUCT SPECIFICATIONS

LPA





Designed by Tiffany and Tiffany, and crafted of First European Quality (FEQ) teak, the Spirit Song Collection is the epitome of inventive artistic vision and perfect function.

## PROPOSED BENCHES

WESTPORT MUSEUM  
WESTPORT HISTORIC DISTRICT COMMISSION - CERTIFICATE OF APPROPRIATENESS APPLICATION



LANDSCAPE ACCENT LUMINAIRE



ADJUSTABLE BEAM WALL WASH



LIGHT UP ORBIT



ADJUSTABLE RECESSED LIGHTING

## PROPOSED LIGHTING

WESTPORT MUSEUM

WESTPORT HISTORIC DISTRICT COMMISSION - CERTIFICATE OF APPROPRIATENESS APPLICATION

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# PHOTOGRAPHIC DOCUMENTATION

LP\





## ADJACENT STREET FRONTAGE

WESTPORT MUSEUM  
WESTPORT HISTORIC DISTRICT COMMISSION - CERTIFICATE OF APPROPRIATENESS APPLICATION





# EXISTING SITE PHOTOS

WESTPORT MUSEUM  
WESTPORT HISTORIC DISTRICT COMMISSION - CERTIFICATE OF APPROPRIATENESS APPLICATION

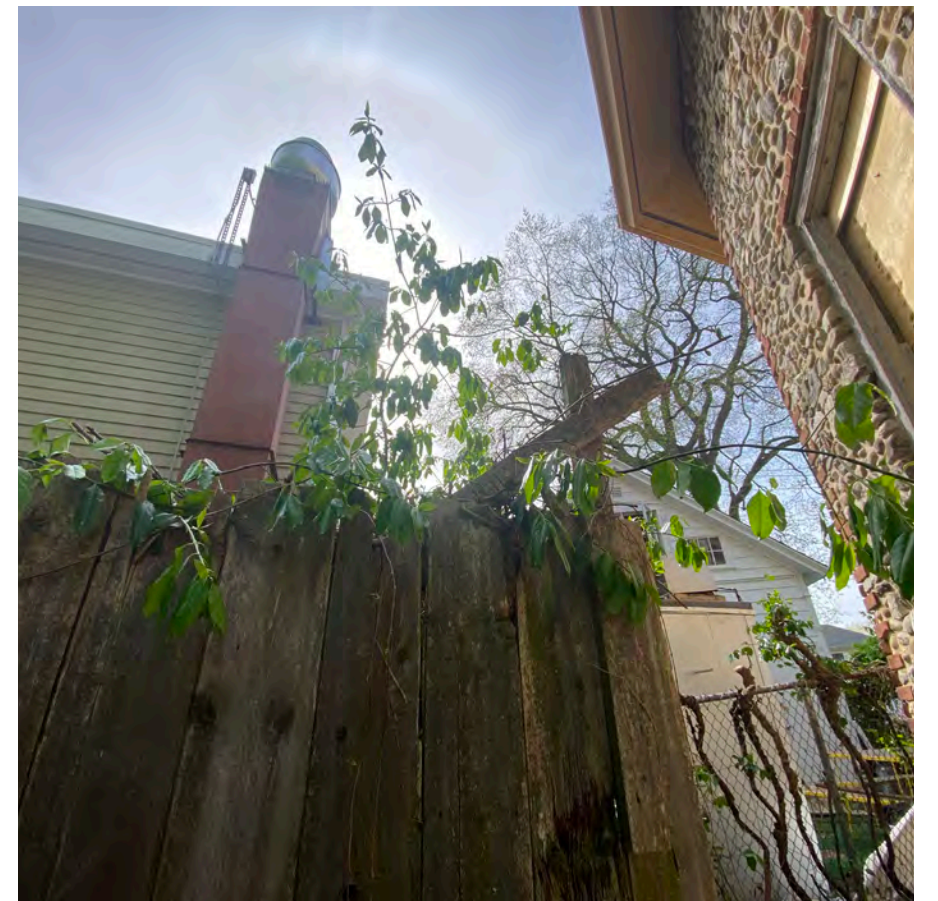


























For Office Use Only:  
Date of Filing: \_\_\_\_\_  
Date of Public Hearing: \_\_\_\_\_  
65 Day Period Ends: \_\_\_\_\_  
Type of Work: \_\_\_\_\_

## WESTPORT HISTORIC DISTRICT COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (CA)

*Application is hereby made for the issuance of a Certificate of Appropriateness under the Historic District Ordinance of Westport, Connecticut, enacted pursuant to the enabling authority contained in Chapter 97A, Section 7-147d and 147s, as amended, of the General Statutes of Connecticut.*

**RECEIVED**  
JUN 28 2022  
HISTORIC DISTRICT  
COMMISSION

**SECTION 1 (To be completed by the Applicant):**

Address of proposed work: 64 Kings Highway North

Owner: Michael Greenberg and Associates

Phone: 203-226-7958

Email: jmillward@mgbuilders.com

Agent/Contractor: Jamie Millward

Address: 292 Post Road East, Westport, CT

Phone: 203-226-7958

Email: jmillward@mgbuilders.com

Anticipated date of completion: Summer 2023

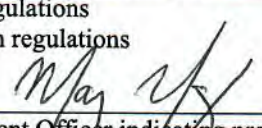
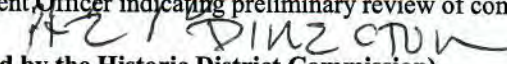
  
Owner's Signature (Application must be signed)

6.27.22  
Date

**SECTION 2 (To be completed by the Zoning Enforcement Officer)**

- Appears to comply with regulations
- Appears not to comply with regulations
- More information needed

Signature of Zoning Enforcement Officer indicating preliminary review of compliance with zoning regulations.

 6-27-22  


**SECTION 3 (To be completed by the Historic District Commission)**

Date of Public Hearing: \_\_\_\_\_

- Certificate of Appropriateness APPROVED**  
List any conditions or modifications:  
\_\_\_\_\_  
\_\_\_\_\_

- Certificate of Appropriateness DENIED**  
List reasons for denial:  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Signature/Chair, WHDC

\_\_\_\_\_  
Date

*After approval has been obtained from the Historic District Commission, work cannot commence until proper zoning and building permits have been obtained from the Planning and Zoning and Building Departments.*

**SECTION 4 (To be completed by the Historic District Commission)**

**FINAL APPROVAL**

Signature/WHDC: \_\_\_\_\_ Date of Site Inspection: \_\_\_\_\_





## Historic District Commission

Town Hall, 110 Myrtle Avenue  
Westport, CT 06880  
Westportct.gov  
Telephone (203) 341-1184

### WESTPORT HISTORIC DISTRICT COMMISSION LEGAL NOTICE

Meeting ID: 875 8790 2057  
Passcode: 752578  
Dial by your location  
+1 646 876 9923 US (New York)

Join Zoom Meeting

<https://us02web.zoom.us/j/87587902057?pwd=VllhdEFibjJ3K2NUMTliZlZlWjUzQT09>

The Westport Historic District Commission will hold an electronic public meeting at **7:00 p.m.** on **Tuesday, July 12, 2022**, for the following purposes:

1. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated June 6, 2022, for proposed wayfinding and walkway circulation, garden beautification, restoration of the property fence and installation of new privacy and decorative fencing, outdoor benches, and art installation at **25 Avery Place** (PID # C10//130/000) which is a locally designated property.
2. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated June 27, 2022, for proposed additions and renovations including roof, siding, windows, doors, trim, shutters, chimneys, garage doors, gutters/leaders, porch, front walk and door, driveway, and picket fence at **64 Kings Highway North** (PID # C09//055/000 which is located within the Kings Highway North Local Historic District: Kings Highway North National Historic District.
3. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated June 28, 2022, for proposed restoration, renovation and two-story addition which will include wood siding, trim and windows at **41 Wright Street** (PID # C09//043/000 which is located within the Kings Highway North Local Historic District: Kings Highway North National Historic District.

Bill Harris, Chair  
Historic District Commission  
June 28, 2022

#### Special Notice Regarding This Electronic Meeting:

There will be no physical location for this meeting. This meeting will be held electronically. Telephone and Zoom video participation details are above. Comments from the public will be received during the public meeting. A copy of the applications and Historic District Commission agenda for the meeting is available on-line at [www.westportct.gov](http://www.westportct.gov) and on the Town Calendar web page under July 12, 2022.

*It is the policy of the Town of Westport that all Town-sponsored public meetings and events are accessible to people with disabilities. If you need assistance in participating in a meeting or event due to a disability as defined under the Americans with Disabilities Act, please contact Westport's ADA Coordinator at 203-341-1043 or [eflug@westportct.gov](mailto:eflug@westportct.gov) at least three (3) business days prior to the scheduled meeting or event to request an accommodation.*

**Michael Greenberg and Associates, LLC**  
**292 Post Road East**  
**Westport, CT 06880**

June 28, 2022

**Historic District Application Narrative**

Address: 64 Kings Highway North, Westport CT

Project: Additions and Renovations to an Existing Residence

Owner: Michael Greenberg and Associates

The proposed project includes additions and renovations to an existing residence, originally constructed circa 1938. Several additions, including a wing to the right side, a dining room/porch to the rear and a wood deck to the rear, have been added in the ensuing years.

The plan is to add on to the existing residence, while still maintaining the visual importance of the existing main body of the original home. In general, the concept is to utilize materials and details that will be in harmony with the existing house. More specifically, the project materials will be as follows:

1. Roof: Wood Cedar Shingles with open copper valley flashing
2. Siding: Cedar shingles , white
3. Windows/French doors: White, simulated divided lite (lite cuts as shown in elevations) Mix of double hung and some casement windows
4. Exterior trim: White, as shown on the drawings
5. Shutters: Recessed flat panel, black , with true hinges and "S" type shutter dogs
6. Chimneys: Brick (re-used or match existing) with copper flashing. Chimney top details to match existing. Existing center mass chimney to be removed and re-built utilizing the existing brick
7. Garage Doors- White, overhead, Carriage style as indicated on the elevations
8. Gutters/leaders: White, half round gutters; round white leaders
9. Porches: Bluestone flagging with brick risers and sides
10. Front walk: Bluestone
11. Front Door: Reclaimed antique oak with simulated divided lites as shown. Existing entablature to be re-used. New roof overhang on corbels over front door, with recessed light, as indicated on the drawings
12. Driveway: Asphalt
13. Decorative Light at Garage Doors: Galena #OL14402SBL- see attached
14. Picket Fence: See Photo attached, 30" tall white picket fence





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**Michael Greenberg & ASSOCIATES**  
 Concept - Design - Construction

RESIDENCE @:  
**64 KING'S HIGHWAY**

DRAWING TITLE:  
**RENDERED ELEVATIONS**

REVISED

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE

SCALE:  
 N/A

**R-1**





A-66 KINGS HIGHWAY



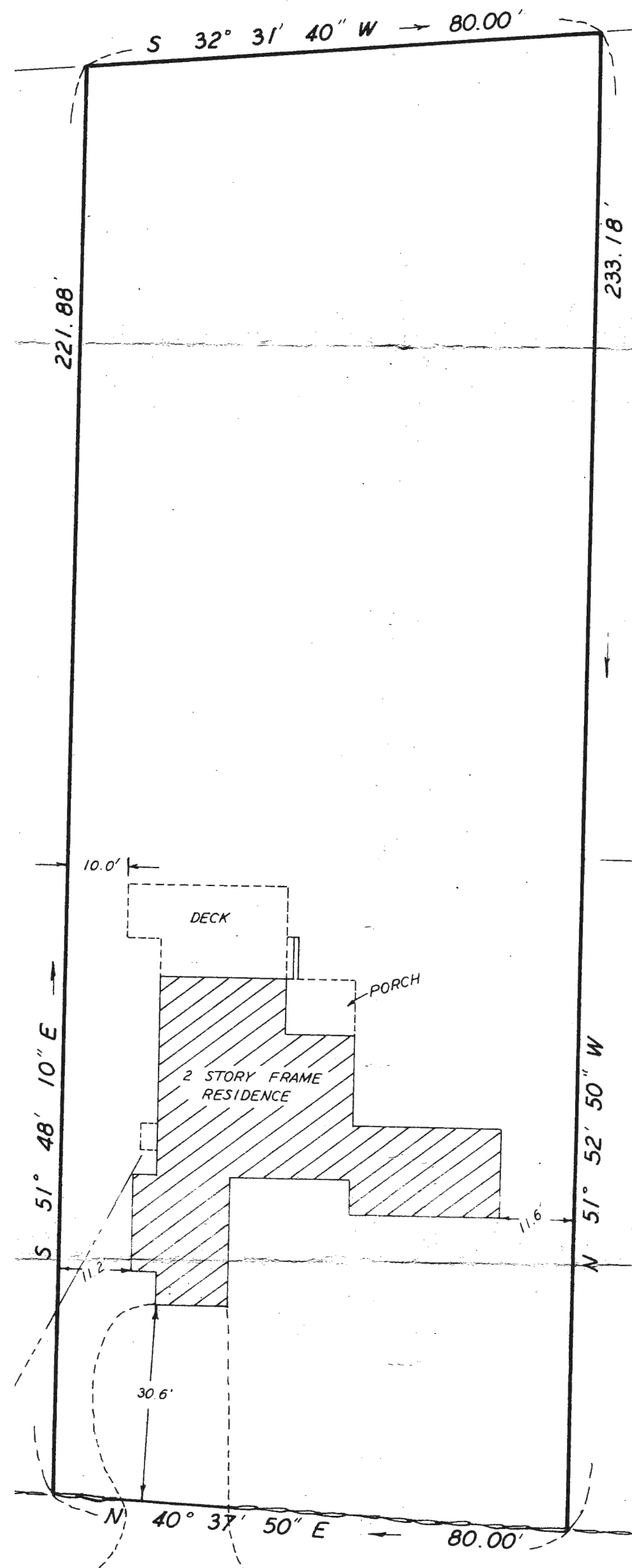
B-76 LUDLOW RD



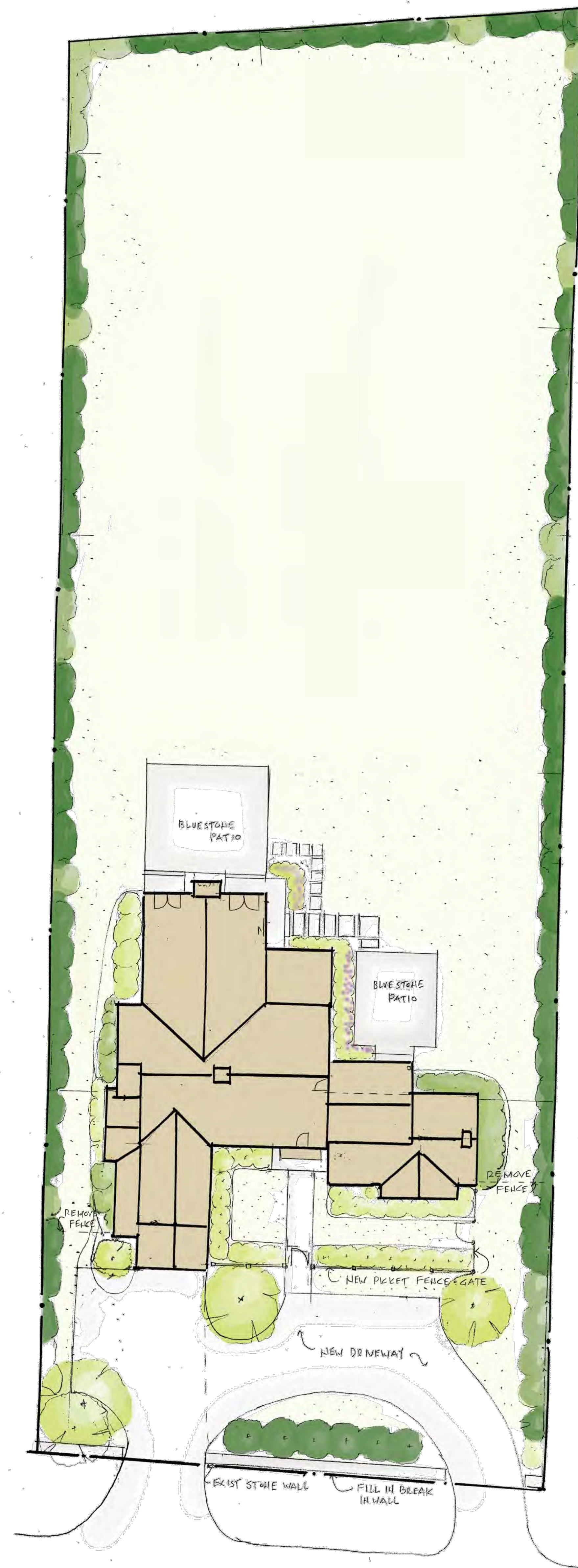
C-67/69 KINGS HIGHWAY



D-65 KINGS HIGHWAY



EXISTING SITE PLAN  
64 KINGS HIGHWAY NORTH, WESTPORT, CT



PROPOSED SITE PLAN  
64 KINGS HIGHWAY NORTH, WESTPORT, CT

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**Michael Greenberg & ASSOCIATES**  
Concept - Design - Construction

64 KINGS HIGHWAY N., WESTPORT, CT 06880

DRAWING TITLE:  
SITE PLAN

REVISED

DATE  
06/08/22

SCALE:  
1" = 10'-0"





**RIGHT SIDE ELEVATION**

3/8" = 1'-0"



**LEFT SIDE ELEVATION**

3/8" = 1'-0"

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**Michael Greenberg & ASSOCIATES**  
 Concept - Design - Construction

64 KINGS HIGHWAY N., WESTPORT, CT 06880

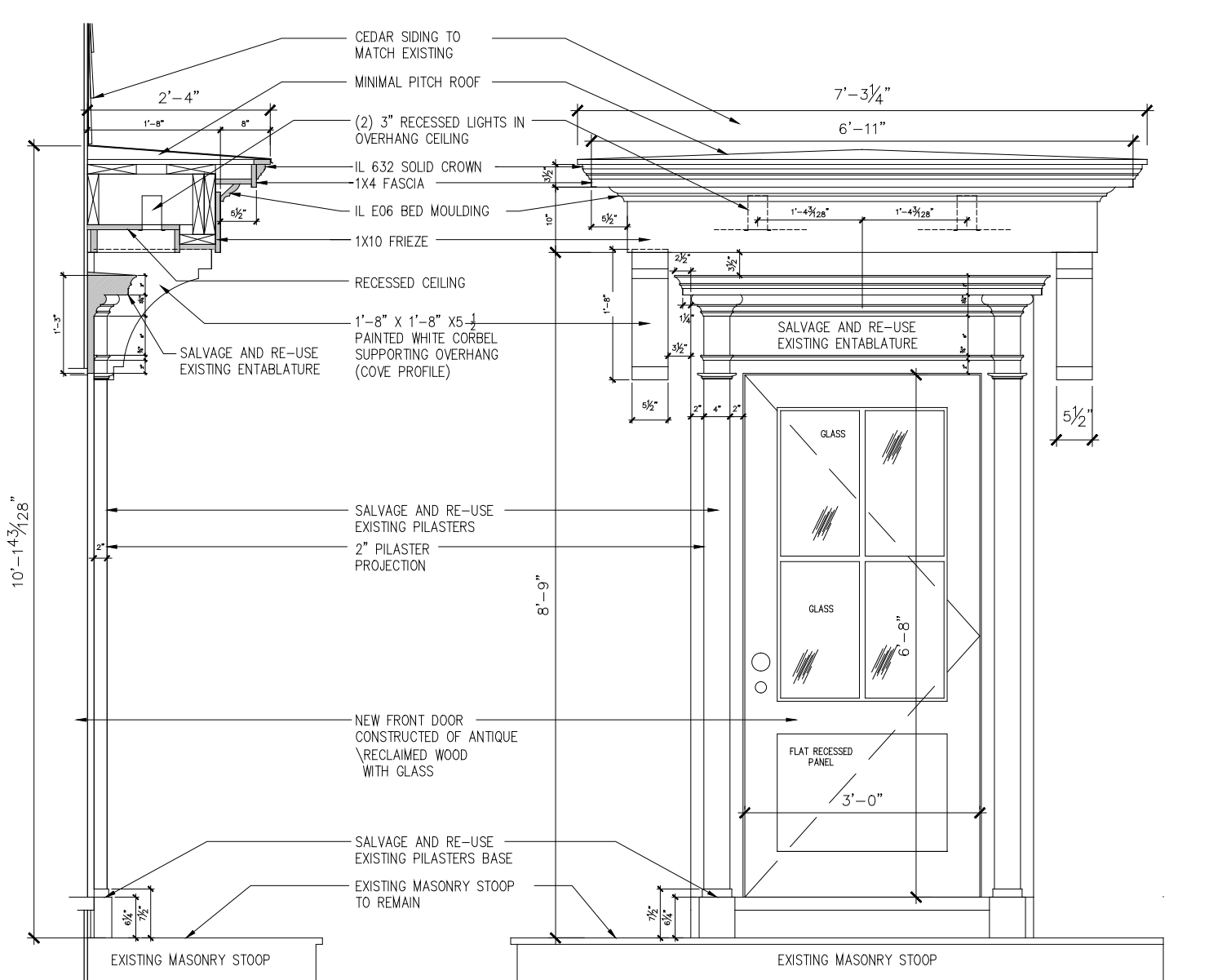
DRAWING TITLE:  
**PROPOSED SIDE ELEVATIONS**

REVISED


DATE  
 06/23/22

SCALE:  
 1/4" = 1'-0"

**A-2.2**



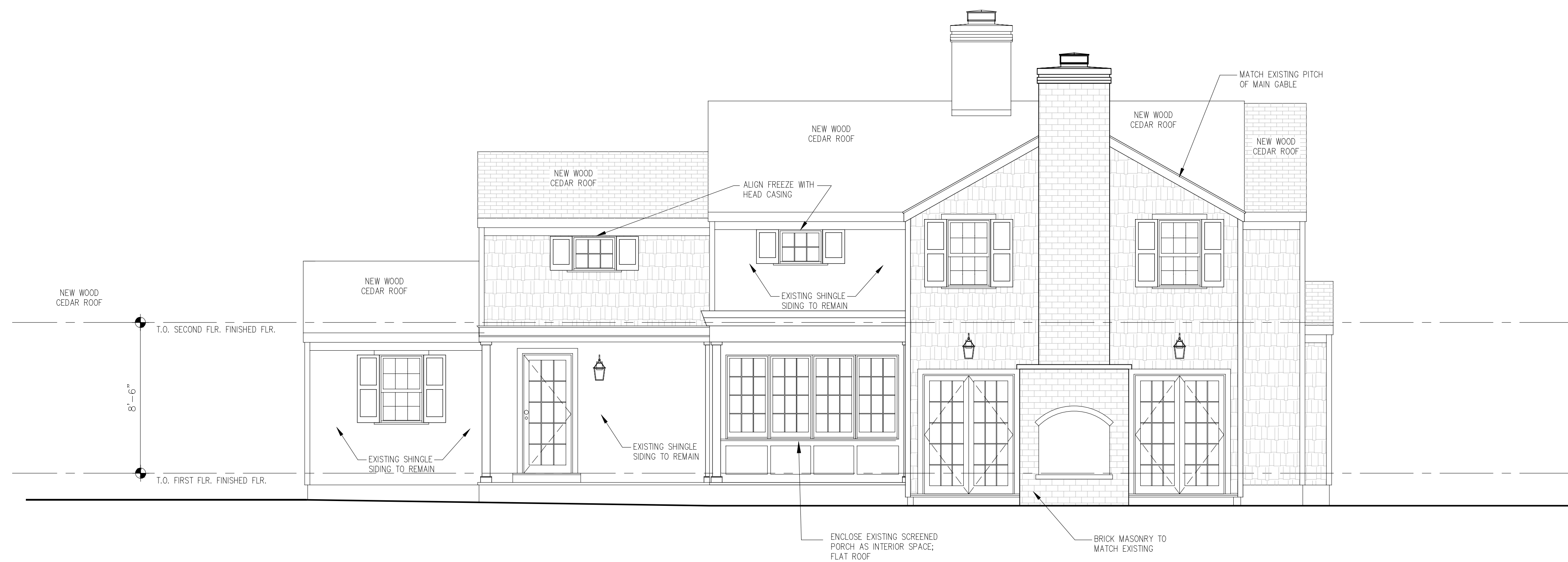
**FRONT DOOR ENTABLATURE**

1/2" = 1'-0"



**FRONT ELEVATION**

1/4" = 1'-0"



**REAR ELEVATION**

1/4" = 1'-0"

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**Michael Greenberg & ASSOCIATES**  
 Concept - Design - Construction

64 KINGS HIGHWAY N., WESTPORT, CT 06880

DRAWING TITLE:

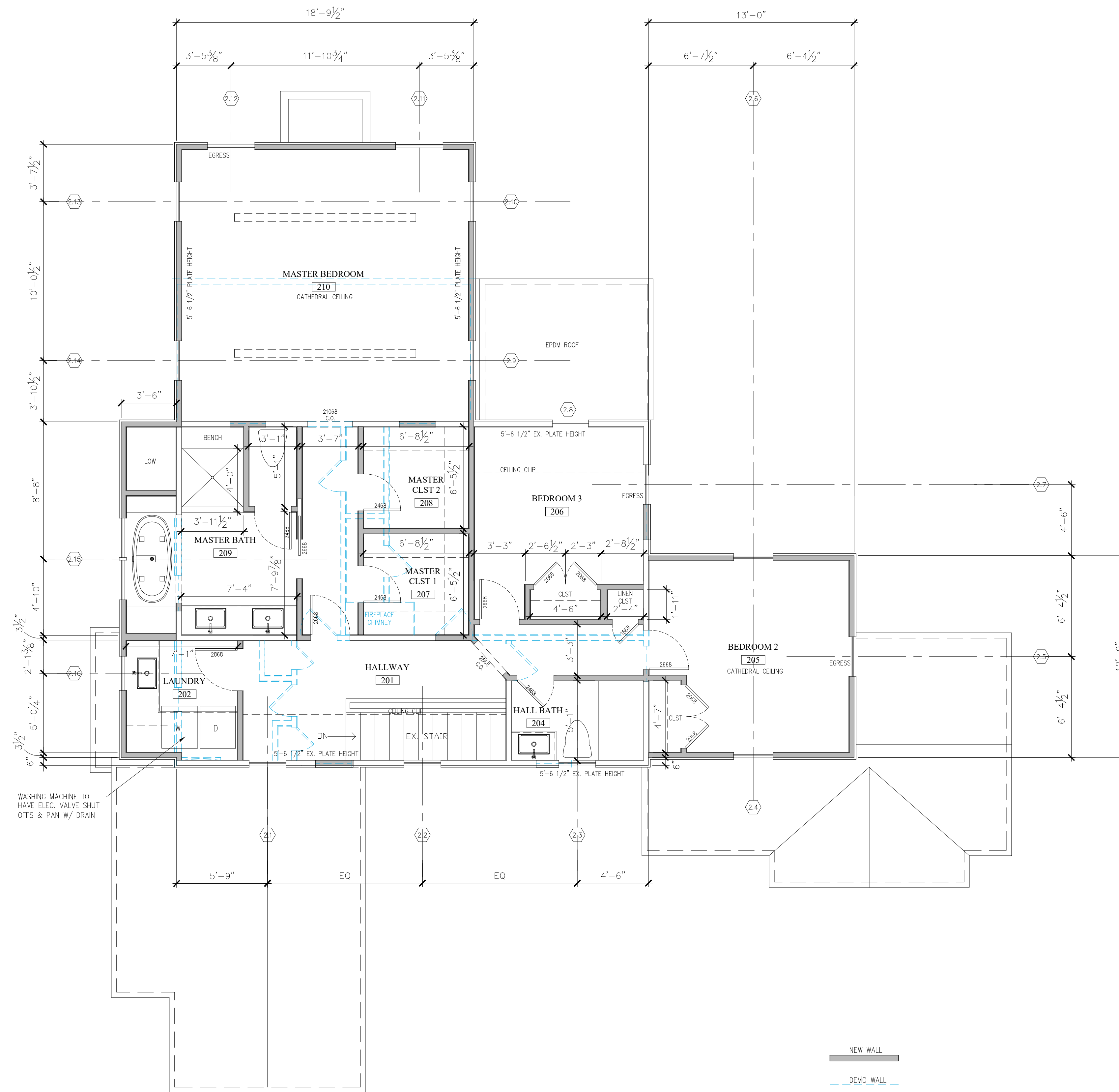
PROPOSED FRONT AND REAR ELEVATIONS

REVISED


DATE  
06/23/22

SCALE:  
1/4" = 1'-0"

**A-2.1**



**2ND FLOOR PLAN**  
 3/8" = 1'-0"

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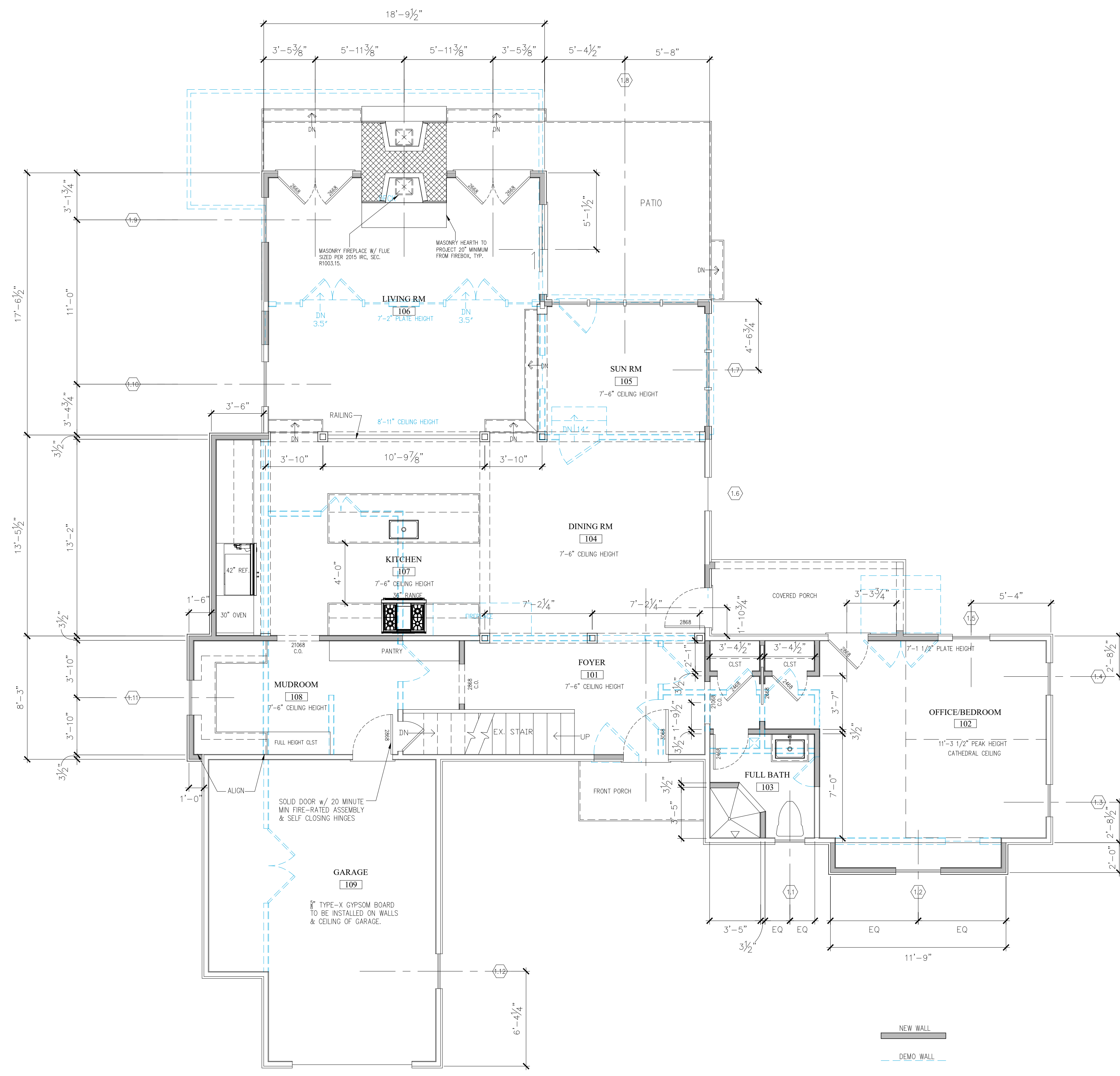
DRAWING TITLE:  
 PROPOSED 2ND FLOOR PLAN

REVISED


DATE  
 06/28/22

SCALE:  
 1/4" = 1'-0"

**A-1.2**



**1ST FLOOR**  
1/4" = 1'-0"

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64 KINGS HIGHWAY N., WESTPORT, CT 06880  
DRAWING TITLE:  
**PROPOSED 1ST FLOOR PLAN**

REVISED


DATE  
06/28/22

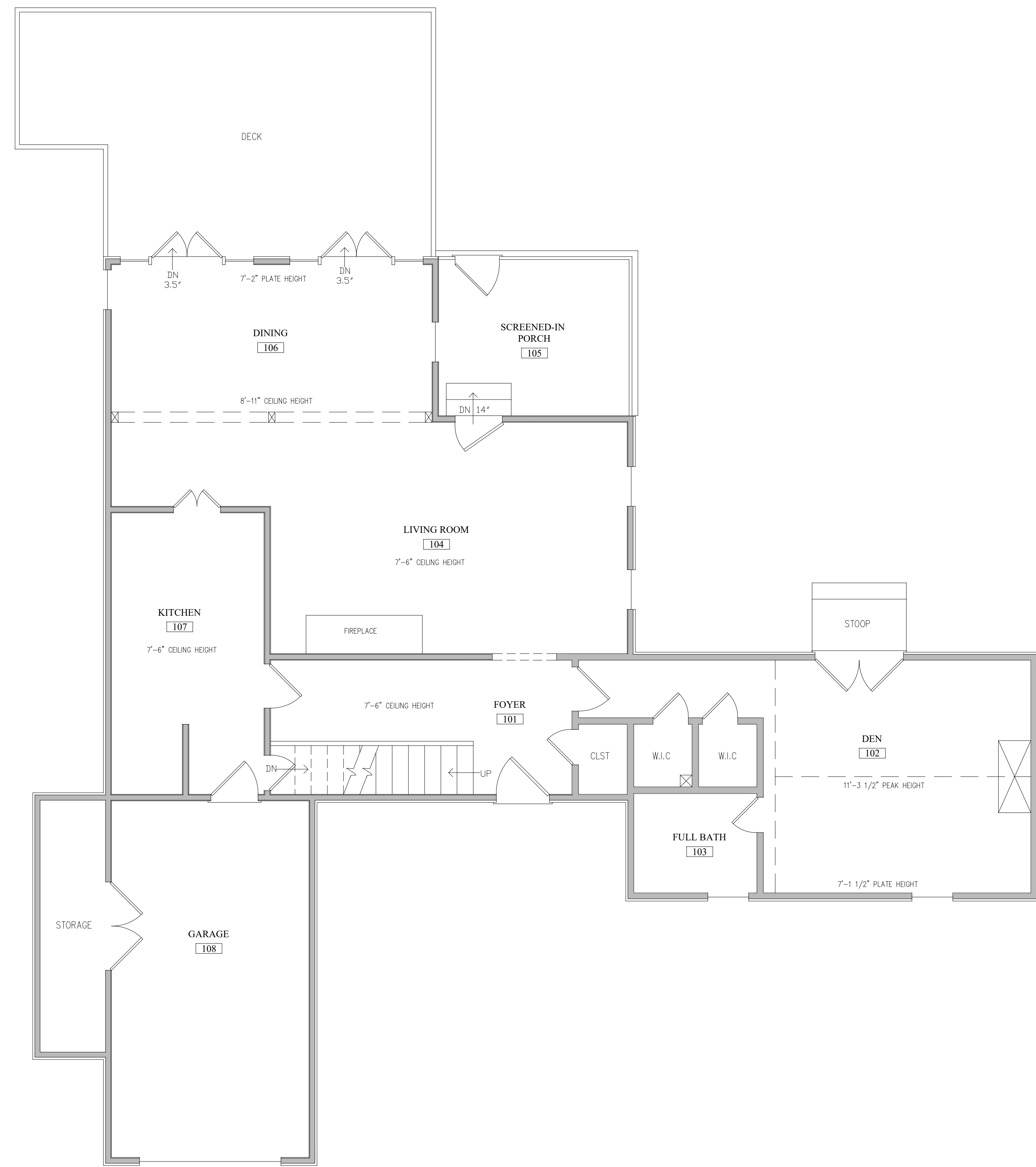
SCALE:  
1/4" = 1'-0"

**A-1.1**





EXISTING 2ND FLOOR PLAN



EXISTING 1ST FLOOR PLAN

**DISCLAIMER**  
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64 KINGS HIGHWAY N., WESTPORT, CT 06880

DRAWING TITLE:  
 EXISTING FLOOR PLANS

REVISED

DATE  
 06/08/22

SCALE:  
 1/4" = 1'-0"

A-1.1







## SPEC SHEET



### Galena Small Lantern

Item # OL14402SBL

Designer: Sean Lavin

#### Specifications

Width: 8"

Height: 16"

Backplate: DP:0.75" W:4.5" H:5" OB UP:7.375" Rectangular

Socket: 1 - Medium - A19

Rating: Wet Rated

#### Available Finishes

SBL - Sable



circa LIGHTING®

















## HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: Stacey Vairo, National Register and State Register Coordinator,  
Connecticut Commission on Culture & Tourism, One Constitution Plaza, 2nd Floor, Hartford, CT 06103

\* Note: Please attach any additional or expanded information on a separate sheet.

### GENERAL INFORMATION

Building Name (Common) \_\_\_\_\_  
 Building Name (Historic) \_\_\_\_\_  
 Street Address or Location 64 King's Highway North  
 Town/City Westport Village \_\_\_\_\_ County Fairfield  
 Owner(s) Anne H. Graham  Public  Private

### PROPERTY INFORMATION

Present Use: Residential  
 Historic Use: Residential  
 Accessibility to public: Exterior visible from public road?  Yes  No  
 Interior accessible?  Yes  No If yes, explain \_\_\_\_\_  
 Style of building Colonial Revival Date of Construction ca. 1940

Material(s) (Indicate use or location when appropriate):

- |  |   |                                      |  |  |
|--|---|--------------------------------------|--|--|
| <input type="checkbox"/> Clapboard                                 | <input type="checkbox"/> Asbestos Siding        | <input type="checkbox"/> Brick       | <input checked="" type="checkbox"/> Wood Shingle | <input type="checkbox"/> Asphalt Siding  |
| <input type="checkbox"/> Fieldstone                                | <input type="checkbox"/> Board & Batten         | <input type="checkbox"/> Stucco      | <input type="checkbox"/> Cobblestone             | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Concrete (Type <u>Poured</u> ) | <input type="checkbox"/> Cut Stone (Type _____) | <input type="checkbox"/> Other _____ |  |  |

### Structural System

- Wood Frame  Post & Beam  Balloon  Load bearing masonry  Structural iron or steel  
 Other \_\_\_\_\_

### Roof (Type)

- Gable  Flat  Mansard  Monitor  Sawtooth  
 Gambrel  Shed  Hip  Round  Other \_\_\_\_\_

(Material)

- Wood Shingle  Roll Asphalt  Tin  Slate  Asphalt Shingle  
 Built up  Tile  Other \_\_\_\_\_

Number of Stories: 2 Approximate Dimensions \_\_\_\_\_

Structural Condition:  Excellent  Good  Fair  Deteriorated

Exterior Condition:  Excellent  Good  Fair  Deteriorated

Location Integrity:  On original site  Moved When? \_\_\_\_\_

Alterations?  Yes  No If yes, explain: Side addition

**FOR OFFICE USE:** Town # \_\_\_\_\_ Site # \_\_\_\_\_ UTM \_\_\_\_\_

District:  S  NR If NR, Specify:  Actual  Potential

**PROPERTY INFORMATION (CONT'D)**

**Related outbuildings or landscape features:**

- Barn       Shed       Garage       Carriage House       Shop       Garden
- Other landscape features or buildings: \_\_\_\_\_

**Surrounding Environment:**

- Open land     Woodland     Residential     Commercial     Industrial     Rural
- High building density       Scattered buildings visible from site

• Interrelationship of building and surroundings:

See Continuation Sheet

• Other notable features of building or site (Interior and/or Exterior)

See Continuation Sheet

Architect \_\_\_\_\_ Builder \_\_\_\_\_

• Historical or Architectural importance:

See Continuation Sheet

• Sources:

See Continuation Sheet

Photographer PAL \_\_\_\_\_ Date 10/4/2011 \_\_\_\_\_

View \_\_\_\_\_ Negative on File \_\_\_\_\_

Name \_\_\_\_\_ Date \_\_\_\_\_

Organization PAL \_\_\_\_\_

Address 210 Lonsdale Avenue, Pawtucket, RI 02860 \_\_\_\_\_

• Subsequent field evaluations:

**Threats to the building or site:**

- None known       Highways       Vandalism       Developers       Renewal       Private
- Deterioration       Zoning       Other \_\_\_\_\_       Explanation \_\_\_\_\_

STATE OF CONNECTICUT

COMMISSION ON CULTURE & TOURISM  
STATE HISTORIC PRESERVATION OFFICE  
One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM  
For Buildings and Structures

CONTINUATION SHEET

Item Number: \_\_\_\_\_ Date: October 2011  
PAL, Pawtucket, RI 02860

64 King's Highway North, Westport, CT

**Interrelationship of building and surroundings:**

The building is sited on a relatively level lot on the east side of Kings Highway North. It is set back from the road and faces west. A fieldstone wall runs parallel to the road along the west boundary of the property. Vegetation consists of evergreens and deciduous trees around the perimeter of the property and bushes along the foundation. The short driveway north of the house leads to an attached garage A flagstone walkway connects the driveway and the primary entrance.

**Other notable features of building or site (*Interior and/or Exterior*):**

The building is a two-story, two-bay-by-two-bay, Colonial Revival style residence. The asphalt shingle-clad, side-gable roof has a brick chimney in the center of the ridge. The walls are clad in wood shingle and rest on a concrete foundation. An attached one-story, one-bay garage original to the plan extends west from the north end of the west (facade) elevation. One-story additions attached to the south and east elevations were built after 1940. The south addition is two bays long with a side gable roof and a cupola. The primary entrance is located off-center on the facade and contains a wood panel door covered by a twelve-light storm door flanked by pilasters with a wide entablature. Windows consist of six-over-six, double-hung sash in varying sizes. The house is relatively intact. Alterations include the two additions, but the main block of the house retains its original layout. The windows appear original to the house and there are no extensive changes to the exterior materials.

**Historical or Architectural importance:**

The house was constructed ca. 1940 and is visible on the 1940 Sanborn map of the area. The property does not appear in directories until 1950, when it is listed as the residence of Stuart B. Hurlbutt. Hurlbutt remained in the house until the late 1960s, when it was passed to Mrs. Beatrice M. Haynes. The property was listed as vacant in the 1975 directory, and in 1980 it was occupied by Cesar Miranda. By 1991, the house was owned by Timothy J. Robson, who sold it to the current owner, Anne H. Graham, in 1994.

**Sources:**

Cunningham, Jan. Kings Highway North HD NR. Hartford: CT Historical Commission, 1997; HRI. Hartford: CT Historical Commission, 1986; Sanborn Fire Insurance Maps. 1891-1940; Westport Directory (W.D.). Loveland, CO: US West Marketing Resources, 1991; W.D. Chicago, IL: Johnson Publishing Co., 1985; W.D. Providence, RI: C. DeWitt White Co., 1917-1918; W.D. New Haven: The Price & Lee Co., 1923-1974; Westport Assessor's Online Database, 2011.

FOR OFFICE USE ONLY

TOWN NO.: \_\_\_\_\_ SITE NO.: \_\_\_\_\_  
UTM: 18/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_  
QUAD: \_\_\_\_\_  
DISTRICT: \_\_\_\_\_ NR: Actual  
Potential



**STATE OF CONNECTICUT**

**COMMISSION ON CULTURE & TOURISM  
STATE HISTORIC PRESERVATION OFFICE**

One Constitution Plaza, Second Floor, Hartford, CT 06103

**HISTORIC RESOURCE INVENTORY FORM**

For Buildings and Structures

**CONTINUATION SHEET**

Item Number: \_\_\_\_\_ Date: October 2011

PAL, Pawtucket, RI 02860

**64 King's Highway North, Westport, CT**

**PHOTOGRAPHS**



View of the west elevation.

*FOR OFFICE USE ONLY*

TOWN NO.: \_\_\_\_\_ SITE NO.: \_\_\_\_\_

UTM: 18/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_

QUAD: \_\_\_\_\_

DISTRICT: \_\_\_\_\_

NR: Actual  
Potential

STATE OF CONNECTICUT  
**COMMISSION ON CULTURE AND TOURISM**  
One Constitution Plaza, Hartford CT 06103

**HISTORIC RESOURCES INVENTORY FORM**  
For Buildings and Structures

CONTINUATION SHEET/

For: 64 Kings Highway North, Westport, CT 06880  
Continuation for HRI created by PAL, 210 Lonsdale Avenue, Pawtucket, RI 02860, October 2011

**Section 19: Historical or Architectural Importance**

On June 14, 1941 Annie W. Wood transferred ½ interested in a parcel of land, without mention of buildings, to Theresa J. Ingersoll. This parcel of land is now known as 64 Kings Highway North. To determine the built date of the house we look at the Westport tax records in 1940 and 1941. In 1940 Ingersoll was not assessed for any property but in 1941 she was assessed for a house at \$6,250.

One additional factor is that the assessment tax for Annie Wood in 1941 was reduced by \$7,500, from 2 dwelling houses to one. During the same year, Annie transferred a property to William J. Jr, who was assessed, that year, for a dwelling house at \$7,500. This transfer provides evidence that Annie Wood didn't transfer a dwelling house to Theresa J. Ingersoll and therefore, Ingersoll built the house at 64 Kings Highway North in 1941.

Since the current HRI of 2011 states that the house was built in c.1940 and the Kings Highway North National Historic submission of 1998 states c.1938, the date of 1941 seems reasonable. Additionally, the current HRI of 2011 states that the house was on the 1940 Sanborn Insurance map but looking at the map, it could not be found. So, it must have been built after 1940.

Therefore the plaque should read Wood-Ingersoll House, built 1941.

Bob Weingarten  
WHS House Historian  
Clerk for the HDC  
November 3, 2017, updated June 3, 2022

<b>FOR OFFICE USE ONLY</b>		
TOWN NO:	SITE NO:	UTM:
18/___/___/___/___/___		
QUAD:		
DISTRICT:	NR:	Actual Potential



STATE OF CONNECTICUT

**CONNECTICUT HISTORICAL COMMISSION**  
59 South Prospect Street, Hartford, CT 06106

**HISTORIC RESOURCES INVENTORY FORM**  
For Buildings and Structures

**CONTINUATION SHEET**

Item number: \_\_\_\_\_

PAL, Pawtucket, RI 02860  
June 2000

**Address:**

<sup>VA</sup>  
63 Kings Highway North

**Name:**

Edmund Smith House

**NR District:**

Kings Highway North Historic District

**Local District:**

Kings Highway North Historic District

**Neg No.:**

14:35

**HRS ID No.:**

0430



STATE OF CONNECTICUT

**CONNECTICUT HISTORICAL COMMISSION**  
59 South Prospect Street, Hartford, CT 06106

**HISTORIC RESOURCES INVENTORY FORM**  
For Buildings and Structures

**CONTINUATION SHEET**

Item number: \_\_\_\_\_

PAL, Pawtucket, RI 02860  
June 2000

**Address:** 64 Kings Highway North

**Name:** House

**NR District:** Kings Highway North Historic District

**Local District:** Kings Highway North Historic District

**Neg No.:** 32:5

**HRS ID No.:** 0431

