

RECEIVED

FEB 17 2022

HISTORIC DISTRICT COMMISSION

For Office Use Only:  
Date of Filing: \_\_\_\_\_  
Date of Public Hearing: \_\_\_\_\_  
65 Day Period Ends: \_\_\_\_\_  
Type of Work: \_\_\_\_\_

**WESTPORT HISTORIC DISTRICT COMMISSION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (CA)**

*Application is hereby made for the issuance of a Certificate of Appropriateness under the Historic District Ordinance of Westport, Connecticut, enacted pursuant to the enabling authority contained in Chapter 97A, Section 7-147d and 147e, as amended, of the General Statutes of Connecticut.*

**SECTION 1 (To be completed by the Applicant):**

Address of proposed work: 35 WRIGHT STREET

Owner: \_\_\_\_\_

Phone: c/o 203-454-8008 Email: Gloria@landuse-ct.com

Agent/Contractor: GLORIA GOUVEIA, LAND USE CONSULTANTS, CORP

Address: 131 KING'S HIGHWAY N, WESTPORT

Phone: 203-454-8008 Email: Gloria@landuse-ct.com

Anticipated date of completion: N/A

Gloria Gouveia, Agent 02/16/2022  
Owner's Signature (Application must be signed) Date

**SECTION 2 (To be completed by the Zoning Enforcement Officer)**

- Appears to comply with regulations
- Appears not to comply with regulations
- More information needed

Signature of Zoning Enforcement Officer indicating preliminary review of compliance with zoning regulations.

**SECTION 3 (To be completed by the Historic District Commission)**

Date of Public Hearing: \_\_\_\_\_

Certificate of Appropriateness APPROVED  
List any conditions or modifications:  
\_\_\_\_\_  
\_\_\_\_\_

Certificate of Appropriateness DENIED  
List reasons for denial:  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Signature/Chair, WHDC Date

*After approval has been obtained from the Historic District Commission, work cannot commence until proper zoning and building permits have been obtained from the Planning and Zoning and Building Departments.*

**SECTION 4 (To be completed by the Historic District Commission)**

FINAL APPROVAL

Signature/WHDC: \_\_\_\_\_ Date of Site Inspection: \_\_\_\_\_



**WESTPORT**<sup>SM</sup>

## Historic District Commission

Town Hall, 110 Myrtle Avenue  
Westport, CT 06880  
Westportct.gov  
Telephone (203) 341-1184

### WESTPORT HISTORIC DISTRICT COMMISSION LEGAL NOTICE

Meeting ID: 884 1414 6725  
Passcode: 042814  
Dial by your location  
+1 646 876 9923 US (New York)

Join Zoom Meeting

<https://us02web.zoom.us/j/88414146725?pwd=U213UmV4UDFaM3VtWINGNIJVCzlmQT09>

The Westport Historic District Commission will hold a public meeting at 7:00 p.m. on **Tuesday, March 8, 2022** for the following purposes:

1. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated January 29, 2022, for modifications to existing driveway at **6 Violet Lane** which is located in the Violet Lane Local Historic District and the Westport Center National Historic District.
2. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated February 7, 2022, for proposed re-siding of house at **83 Kings Highway North** which is located in the Kings Highway North Local Historic District: Kings Highway North National Historic District.
3. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated February 16, 2022, for proposed new walkway and stairs at **276 Main Street** which is located in the Gorham Avenue Local Historic District.
4. To take such action as the meeting may determine to approve a *Certificate of Appropriateness* application dated February 16, 2022, for proposed demolition of cottage and replace in same location and add solar panels at **35 Wright Street** which is located in the Kings Highway North Local Historic District: Kings Highway North National Historic District.

Bill Harris, Chair  
Historic District Commission  
February 23, 2022

#### Special Notice Regarding This Electronic Meeting:

Pursuant to the Governor's Executive Order No. 7B, there will be no physical location for this meeting. This meeting will be held electronically. Telephone and Zoom video participation details are above. Comments from the public will be received during the Public Hearing. A copy of the applications and Historic District Commission agenda for the hearing are available on-line at [www.westportct.gov](http://www.westportct.gov) on the Town Calendar web page under March 8, 2022.

*It is the policy of the Town of Westport that all Town-sponsored public meetings and events are accessible to people with disabilities. If you need assistance in participating in a meeting or event due to a disability as defined under the Americans with Disabilities Act, please contact Westport's ADA Coordinator at 203-341-1043 or [eflug@westportct.gov](mailto:eflug@westportct.gov) at least three (3) business days prior to the scheduled meeting or event to request an accommodation.*

**OWNER'S AUTHORIZATION**

To Whom It May Concern:

As Owner of record of 35 Wright Street, Westport, CT 06880, I hereby authorize Gloria Gouveia d/b/a Land Use Consultants, and J.P. Franzen Associates, Architects to represent my interests in the matter of applications to and permits from the Town of Westport, CT 06880, for property located at 35 Wright Street, Westport, CT 06880.

*Carl Anton Muller*

*20 September 2021*

---

Cynthia M. Muller for Cynthia M. Muller Revocable Trust

DATE



THE CYNTHIA LEIDNER MULLER REVOCABLE TRUST AGREEMENT #1

DELEGATION OF AUTHORITY

WHEREAS, the Cynthia Leidner Muller Revocable Trust Agreement #1 (the "Trust") is a Pennsylvania trust governed by Trust Agreement dated March 30, 2012 (the "Trust Deed");

WHEREAS, Peter Rosenberg presently is the sole trustee of the Trust (the "Trustee");

WHEREAS, the Trust owns that certain residential real property located at 35 Wright Street, Westport, Connecticut 06880 (the "Property");

WHEREAS, Section 1 of Part III of the Trust Deed empowers the Trustee to employ legal and investment counsel, custodians, accountants and other agents for the transaction of any business of the Trust;

WHEREAS, the Trustee wishes to delegate to Carl Muller (the "Agent") authority to enter into any agreements or contracts with third parties, and to execute on behalf of the Trustee any and all documents necessary or desirable, for the construction, remodeling, or other physical improvement of the Property, subject to the restrictions and limitations set forth herein, and the Agent wishes to accept such delegation of authority.

NOW, THEREFORE, in consideration of the foregoing, the Trustee hereby delegates as follows:

1. The Trustee hereby delegates to the Agent authority to enter into any agreements or contracts with third parties (including, but not limited to, architects and contractors), and execute any and all documents necessary or desirable, on behalf of the Trustee in regard to the construction, remodeling, or other physical improvement of the Property.

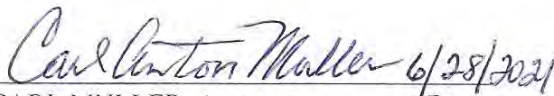
2. This Delegation of Authority shall remain in effect until revoked by written instrument signed by the Trustee and delivered to the Agent. Any third party without actual notice of the revocation of this Delegation of Authority shall be entitled to assume that it is in full force and effect.

3. This Delegation of Authority may be executed by facsimile, email or other electronic transmission and in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

4. The Agent hereby accepts the foregoing delegation subject to the terms and conditions set forth above.

5. This Delegation of Authority shall be governed by the laws of the Commonwealth of Pennsylvania, and shall be effective as of the date set forth below.

  
\_\_\_\_\_  
PETER ROSENBERG, Trustee      6/24/2021  
Date

  
\_\_\_\_\_  
CARL MULLER, Agent      6/28/2021  
Date

## 35 WRIGHT ST – NARRATIVE

Revised February 16, 2022

We are proposing a comprehensive rehabilitation project for this property. **Comments regarding the cottage are highlighted.**

The main house was built ca.1845 by Zalman Sanford, who is shown as owner on the 1855 map of Westport. The building is a two-story, 3-bay-by-2-bay Greek Revival style residence.<sup>1</sup>

The property is located between the Post Rd. West and Orchard Lane, on the South side of Wright St. The lot is long and narrow and slopes gently up to the South. The slope is bifurcated by a low stone wall between the house and cottage.

The main house is located only about 30' from the public way as was typical of the period. A cottage of uncertain age is located to the rear of the house, about 200' from the public way and close to the Westerly property line, affording a clear view of the depth of the lot and gardens from the main house. Originally the home consisted of a main gable facing Wright St. with an "El" addition on the left side. At some point another rear facing gable was added on the rear of the "El". There was an also addition to the main house built in the late twentieth century consisting of an attached garage and an extension to the front entry. On the rear kitchen wing there is a twentieth century modular greenhouse.

**At the rear of the property is a detached cottage likely constructed around the turn of the 19<sup>th</sup> century, formerly and most recently used as a studio for architect Theodore C. Muller and his wife, artist, and landscape designer Helen Muller, who remained in residence on the property until 1991. The structure is in severely deteriorated condition.**

**Our proposal is to renovate the main house and to demolish the cottage and replace it with a compatible structure.** Also, we are proposing various site improvements. The following is a description of the project scope:

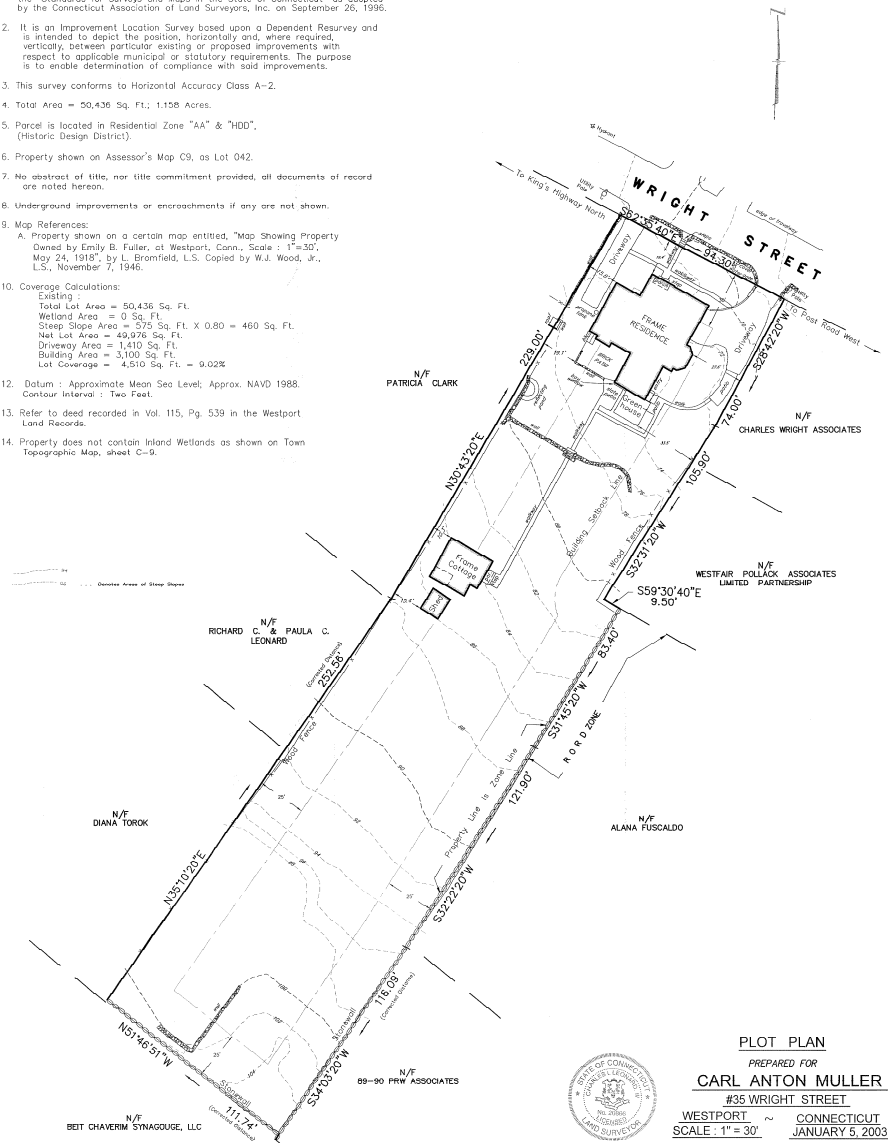
- Main House redesign of attached garage exterior to harmonize with main house architecture including roof railing and new garage doors.
- Extend rear gable over existing one-story portion of kitchen wing add one story addition with conservatory roof.
- Removal of greenhouse and replace with one story addition. Replace windows and exterior doors; add solar panels and shutters.
- **Cottage: demolish and replace in same location; add solar panels.**
- Site: add wood picket fencing, gates, patio and retaining walls. Add walkways, trash enclosure and mechanical equipment. Site drainage improvements.

**NOTES:**

- This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
- This survey conforms to Horizontal Accuracy Class A-2.
- Total Area = 50,436 Sq. Ft.; 1.158 Acres.
- Parcel is located in Residential Zone "AA" & "HDD", (Historic Design District).
- Property shown on Assessor's Map C9, as Lot 042.
- No abstract of title, nor title commitment provided, all documents of record are noted hereon.
- Underground improvements or encroachments if any are not shown.
- Map References:
  - Property shown on a certain map entitled, "Map Showing Property Owned by Emily B. Fuller, et Westport, Conn., Scale: 1"=30", May 24, 1918", by L. Bronfield, L.S. Copied by W.J. Wood, Jr., L.S., November 7, 1946.
- Coverage Calculations:
 

Existing:

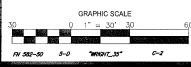
  - Total Lot Area = 50,436 Sq. Ft.
  - Wetland Area = 0 Sq. Ft.
  - Steep Slope Area = 575 Sq. Ft. X 0.80 = 460 Sq. Ft.
  - Net Lot Area = 49,976 Sq. Ft.
  - Driveway Area = 1,410 Sq. Ft.
  - Building Area = 3,100 Sq. Ft.
  - Lot Coverage = 4,510 Sq. Ft. = 9.02%
- Datum: Approximate Mean Sea Level; Approx. NAVD 1988. Contour Interval: Two Feet.
- Refer to deed recorded in Vol. 115, Pg. 539 in the Westport Land Records.
- Property does not contain Inland Wetlands as shown on Town Topographic Map, sheet C-9.



**PLOT PLAN**  
 PREPARED FOR  
**CARL ANTON MULLER**  
 #35 WRIGHT STREET  
 WESTPORT ~ CONNECTICUT  
 SCALE: 1" = 30'  
 JANUARY 5, 2003

LEONARD SURVEYORS, LLC  
 "CERTIFIED SUBSTANTIALLY CORRECT"  
 CLASS A-2 ACCURACY  
*Charles Leonard*  
 CHARLES L. LEONARD IV, P.E. & L.S., CORN. REG. NO. 20080

REVISION TABLE	
DATE	DESCRIPTION
AUGUST 08, 2002	PROPOSED ADDITION & COROLLARY ADDED
MAY 8, 2006	ADDITIONAL PROVISIONS BEHIND AWARD
1-05-2003	UPDATES & FIELD SPOOFING



LEONARD SURVEYORS, LLC  
 800 POND STREET SUITE 200  
 WESTPORT, CONNECTICUT 06880  
 PHONE: (203) 261-0888  
 FAX: (203) 261-1432

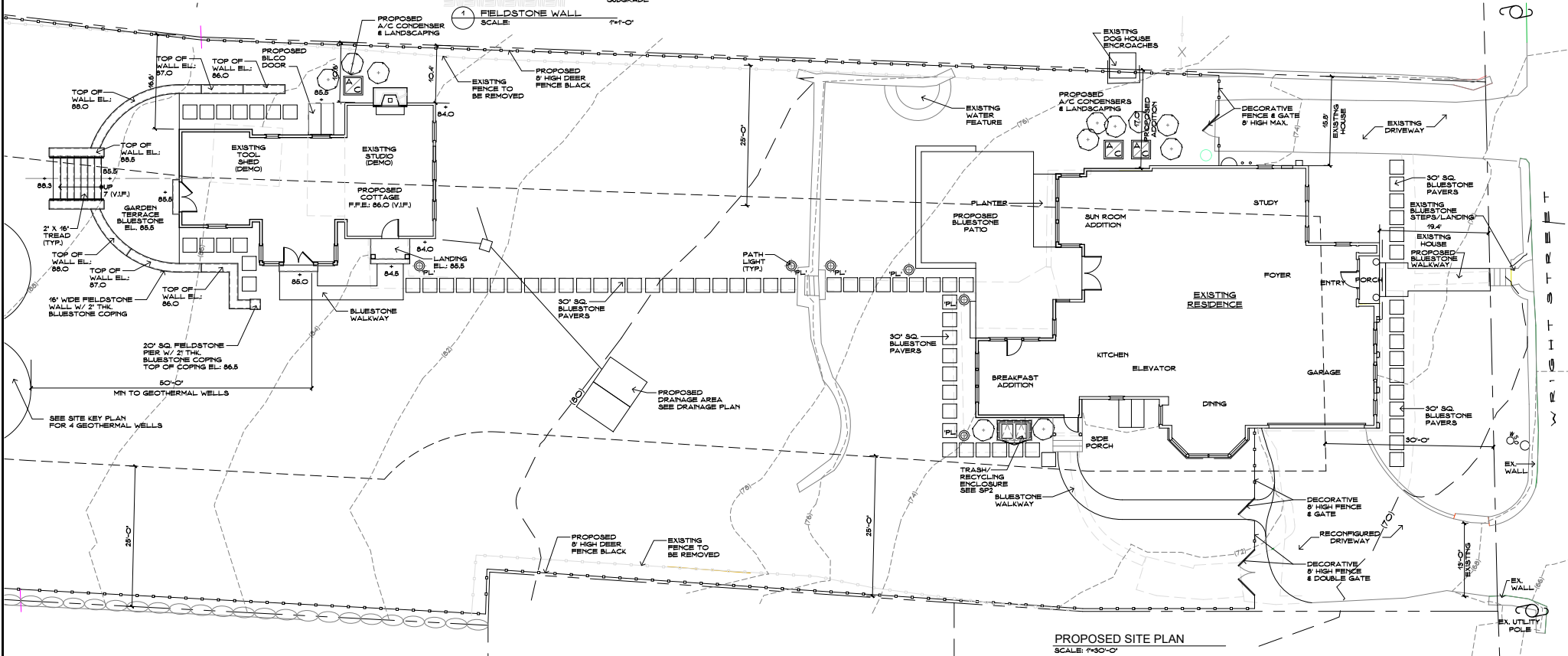
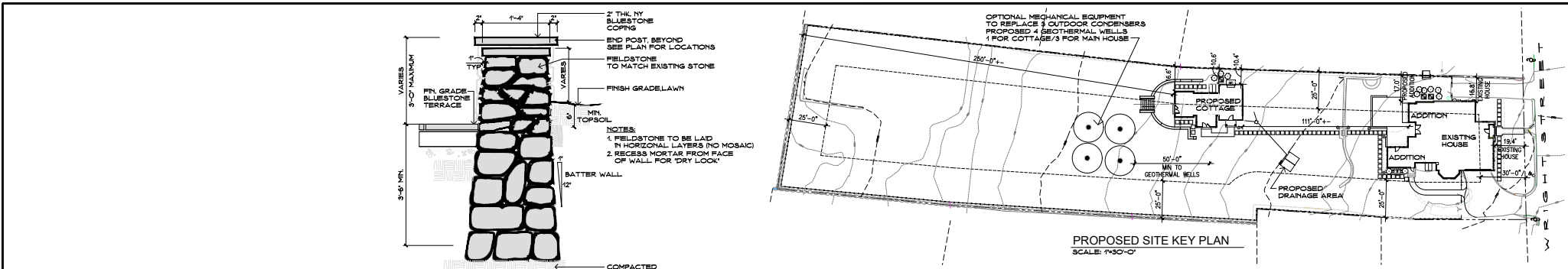
PROJECT  
**PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE**  
 35 WRIGHT STREET  
 WESTPORT, CT 06880

DATE  
**JAN. 12, 2022**

J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C.  
 TIDE MILL BUILDING  
 95 HARBOR ROAD  
 SOUTHPORT, CT 06880  
 TEL. 503 299-0529  
 WWW.FRANZENARCHITECTS.COM

ISSUED FOR TOWN REVIEW 1/12/22

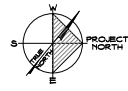
SCALE  
**1"=50'-0"**  
 DRAWN BY  
**DRW**  
 CHECKED BY  
**07/221**  
 DRAWING NO.  
**EXS1**



**LOT COVERAGE CHART**

LOT SIZE NET	49,976 SF
LOT COVERAGE MAX 25%	
EXISTING 8.00%	
PROPOSED	
HOUSE	2,872 SF
DRIVEWAYS	1,369 SF
COTTAGE	1,007 SF
TOTAL	5,248 SF (10.50% AF)
PROPOSED COVERAGE	10.20%
FAR N/A	

NOTE: INFORMATION FOR THIS PLAN WAS TAKEN FROM MAP TITLED "LOT PLAN, PREPARED FOR CAR. ANTON MULLER DATED JANUARY 5, 2003, REVISED 4 DEC. 2021 SCALE: 1"=30'-0" PREPARED BY LEONARD SURVEYORS, LLC, 803 POST RD EAST WESTPORT, CT



**PROPOSED SITE PLAN AND STONE WALLS**

PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE  
35 WRIGHT STREET WESTPORT, CT 06880

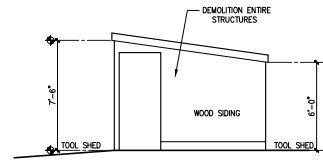
DRAWING TITLE: PROPOSED SITE PLAN AND STONE WALLS

DATE: JAN. 12, 2022

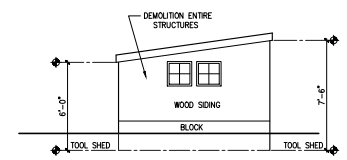
ISSUED FOR TOWN REVIEW 1/12/22

<p>J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C.</p> <p>TIDE MILL BUILDING 95 HARBOR ROAD SOUTHBRITAIN, CT 06488 TEL: 0313 229-0529 WWW.FRANZENARCHITECTS.COM</p>	<p>SCALE: 1/8"=1'-0"</p> <p>DRAWN BY: RPA</p> <p>DATE: 07/22/21</p> <p>DRAWING NO.: SP1</p>
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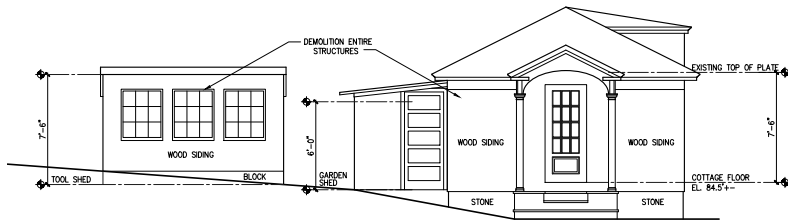




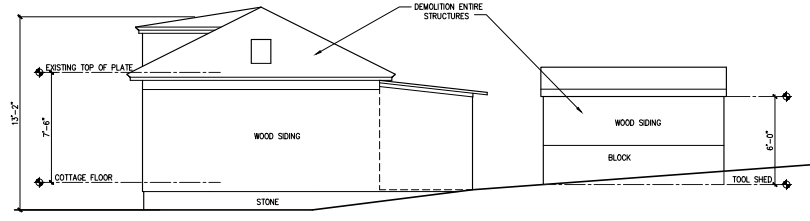
TOOL SHED  
SIDE ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



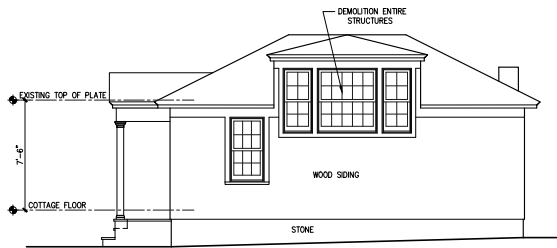
TOOL SHED  
SIDE ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



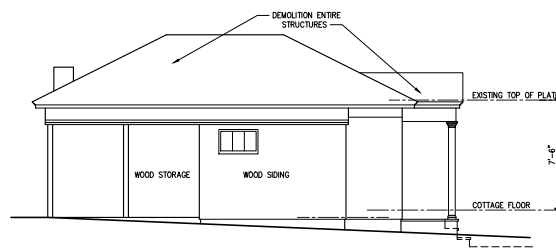
COTTAGE AND TOOL SHED  
FRONT ELEVATION (EAST)  
SCALE: 1/4"=1'-0"



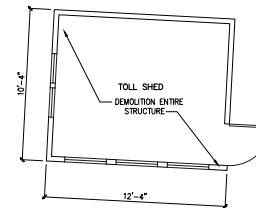
COTTAGE AND TOOL SHED  
REAR ELEVATION (WEST)  
SCALE: 1/4"=1'-0"



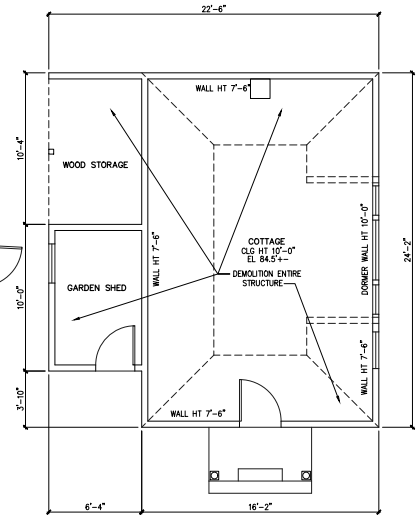
COTTAGE  
SIDE ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



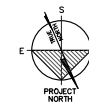
COTTAGE  
SIDE ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



EXISTING TOOL SHED PLAN  
REMOVE ENTIRE STRUCTURE  
SCALE: 1/4"=1'-0"



EXISTING COTTAGE PLAN  
REMOVE ENTIRE STRUCTURE  
SCALE: 1/4"=1'-0"



PROJECT:  
PROPOSED  
RENOVATION/ADDITION TO  
MULLER RESIDENCE  
35 WRIGHT STREET  
WESTPORT, CT 06880

DRAWING TITLE:  
DEMOLITION PLANS AND  
EXTERIOR ELEVATIONS

DATE:  
JAN. 02, 2022

J.P. FRANZEN  
ASSOCIATES  
ARCHITECTS, P.C.

TIDE MILL BUILDING  
55 HARBOR ROAD  
SCHIFFERSPORT, CT 06880  
TEL. 0303-299-0529  
WWW.FRANZENARCHITECTS.COM



SCALE:  
AS SHOWN

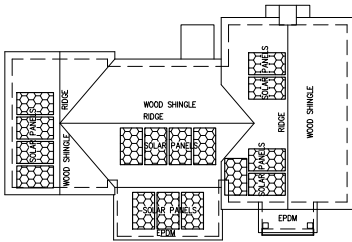
DRAWN BY:  
DRW

REVISION:  
07/22/21

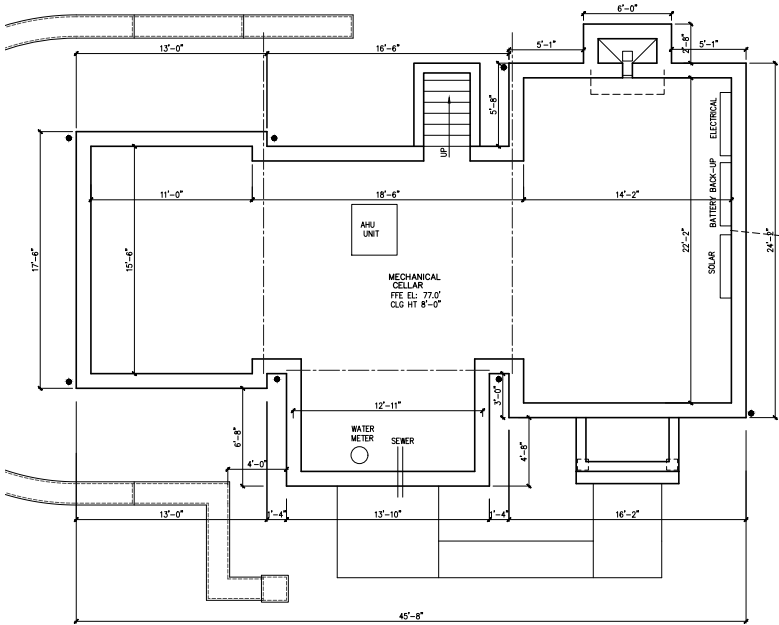
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EXR1

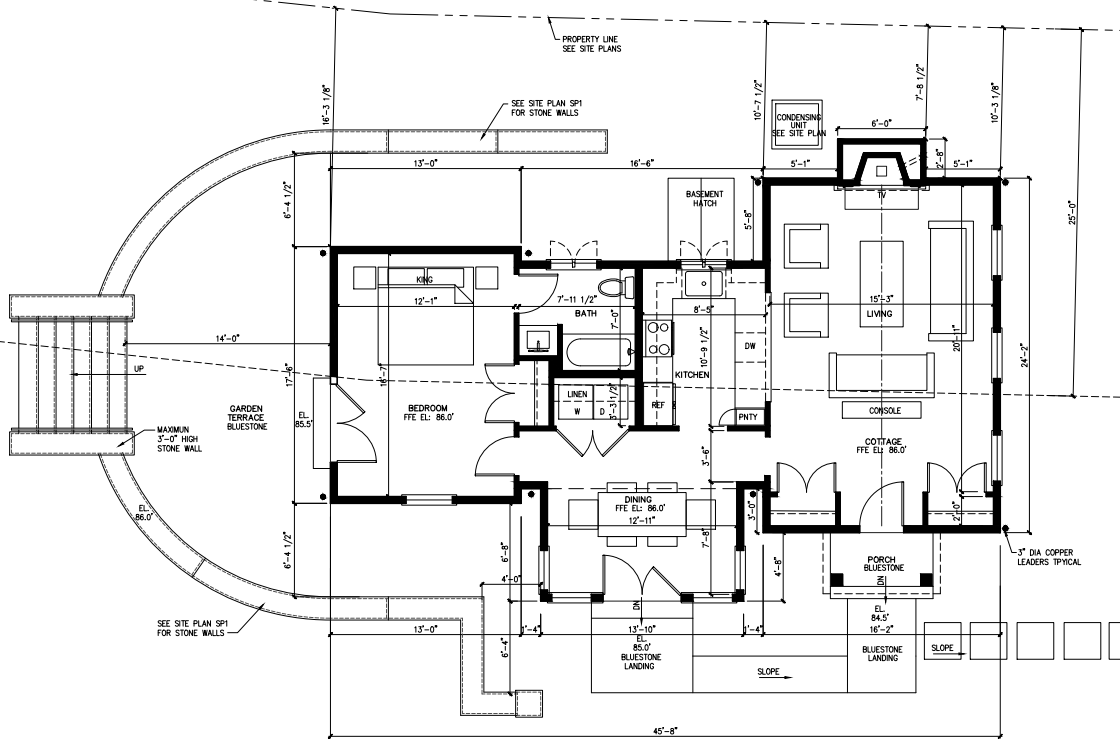
ISSUED FOR TOWN REVIEW 1/12/22



PROPOSED COTTAGE ROOF PLAN  
SCALE: 1/8"=1'-0"



PROPOSED COTTAGE CELLAR PLAN  
SCALE: 1/4"=1'-0"



980 SF  
PROPOSED COTTAGE FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



PROJECT:  
PROPOSED  
RENOVATION/ADDITION TO  
MULLER RESIDENCE  
35 WRIGHT STREET  
WESTPORT, CT 06880

DRAWING TITLE:  
PROPOSED COTTAGE CELLAR,  
FIRST FLOOR AND ROOF PLANS

DATE:  
JAN. 12, 2022

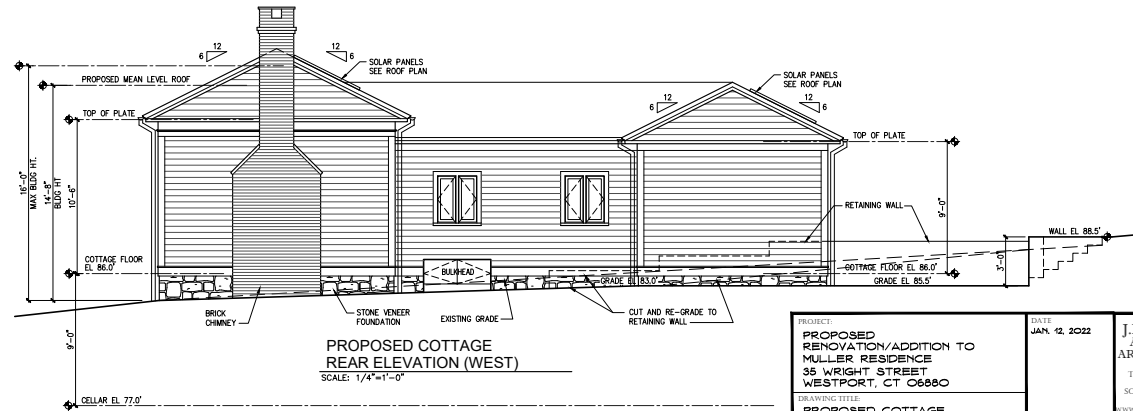
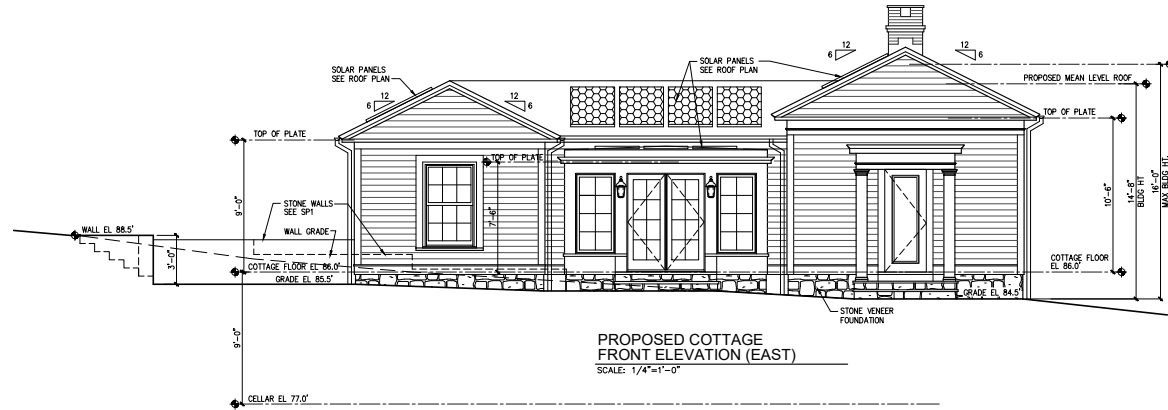
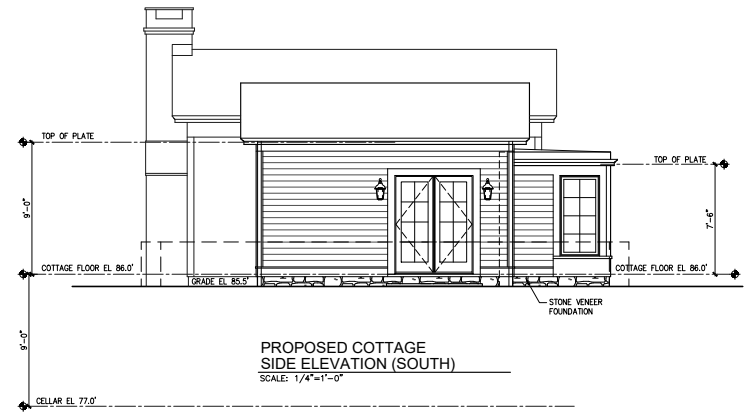
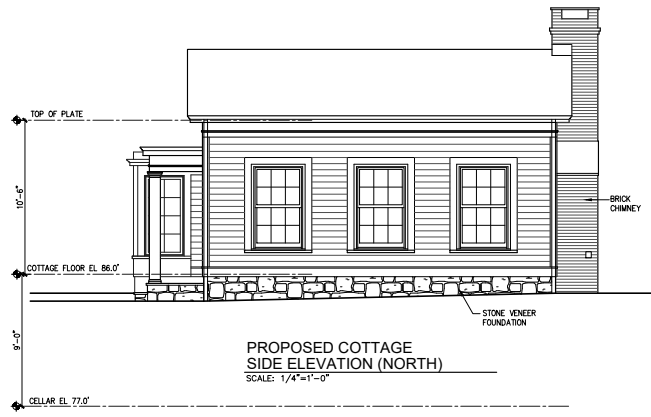
J.P. FRANZEN  
ASSOCIATES  
ARCHITECTS, P.C.  
TIDE MILL BUILDING  
95 HARBOR ROAD  
SOUTHPORT, CT 06890  
TEL: 503.299-0529  
WWW.FRANZENARCHITECTS.COM



SCALE:  
1/4"=1'-0"  
DRAWN BY:  
DRW  
CHECKED BY:  
07421  
DRAWING NO.



ISSUED FOR TOWN REVIEW 1/12/22



**EXTERIOR MATERIALS**

1. WALL SIDING  
EXTERIOR SIDING SHALL BE CLEAR RED CEDAR  
1/2" CLAPBOARD WITH 5" EXPOSURE
2. ROOF  
ROOF SHINGLES 5/12 ARE TO BE PREMIUM GRADE WESTERN RED CEDAR WITH CEDAR-LAST-PRESERVATIVE-TREATMENT  
SHINGLES TO BE 18" TAPER SAWN, 5 1/4" EXPOSURE;  
4 1/4" EXPOSURE AT LOW SLOPE ROOFS.  
ROOF LOW 1/2" EPSM BLACK SINGLE PLY
3. TRIM AND CASINGS  
WOOD CEDAR OR MAHOGANY PAINTED SOFT GLOSS
4. WINDOWS/DOORS  
PAINTED WOOD WINDOWS DOUBLE HUNG & CASEMENT AND FRENCH DOORS WITH INSULATED GLASS AND 5/8" SIMULATED DIVIDED LITES.  
SOLID DOORS TO BE MAHOGANY PAINTED.
5. GUTTERS AND LEADERS  
RED COPPER GUTTER TO BE 5 1/2" HALF ROUND AND 3" DIAMETER ROUND RED COPPER LEADERS
6. FLASHING  
COPPER FLASHING (RED FINISH)
7. PATIOS AND WALKS:  
BLUESTONE
8. STONE WALLS:  
NATIVE FIELD STONE VENEER  
TO MATCH EXISTING RETAINING WALL
9. FOUNDATIONS  
HOUSE ADDITION AND COTTAGE TO BE STONE VENEER TO MATCH EXISTING STONE FOUNDATION
10. CHIMNEY COTTAGE  
BRICK RED
11. FENCE  
STREET FENCE WOOD CEDAR PAINTED 3"-8" HIGH  
WOOD PIERS 4"-10" HIGH  
DEER FENCE BLACK STEEL NETTED 8'-0" HIGH
12. BASEMENT MATCH  
COTTAGE COMPOSITE CONSTRUCTION  
SIMULATE WOOD LOOK

ISSUED FOR TOWN REVIEW 1/12/22

PROJECT:  
**PROPOSED  
RENOVATION/ADDITION TO  
MULLER RESIDENCE  
35 WRIGHT STREET  
WESTPORT, CT 06880**

DRAWING TITLE:  
**PROPOSED COTTAGE  
EXTERIOR ELEVATIONS**

DATE  
JAN. 12, 2022

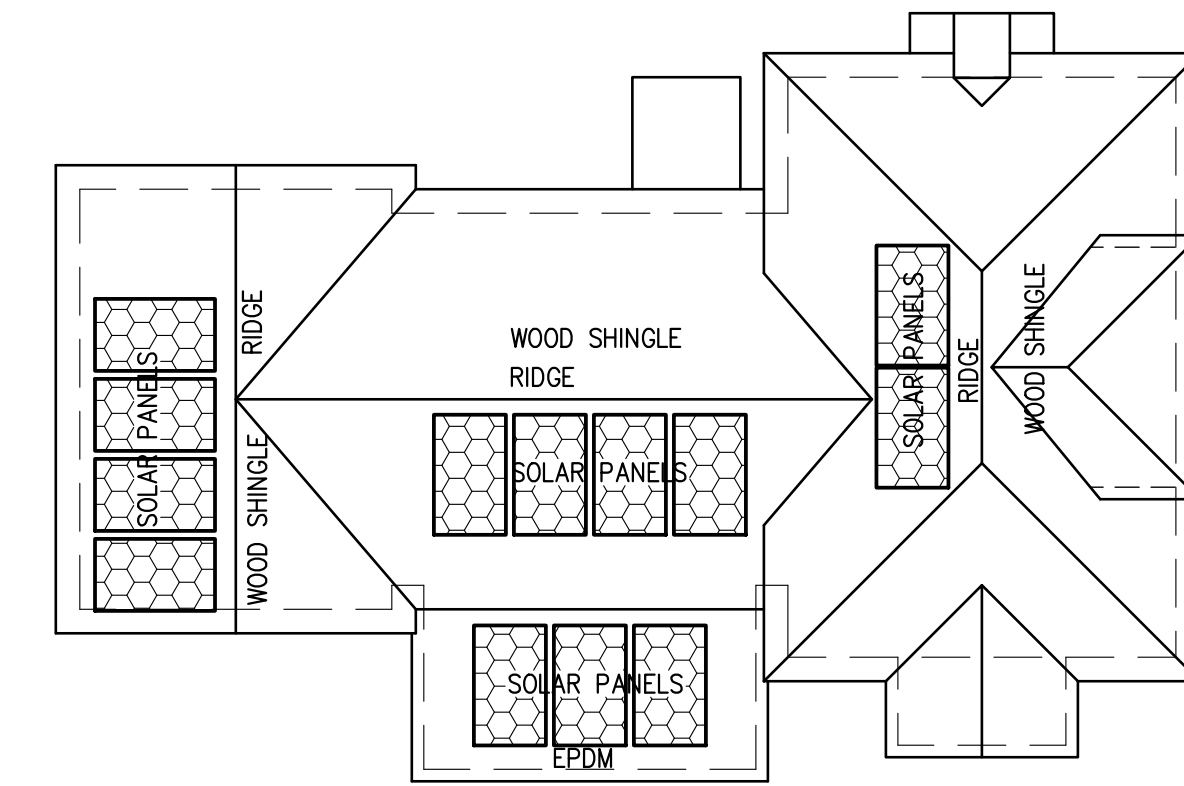
J.P. FRANZEN  
ASSOCIATES  
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SCALE  
1/4"=1'-0"

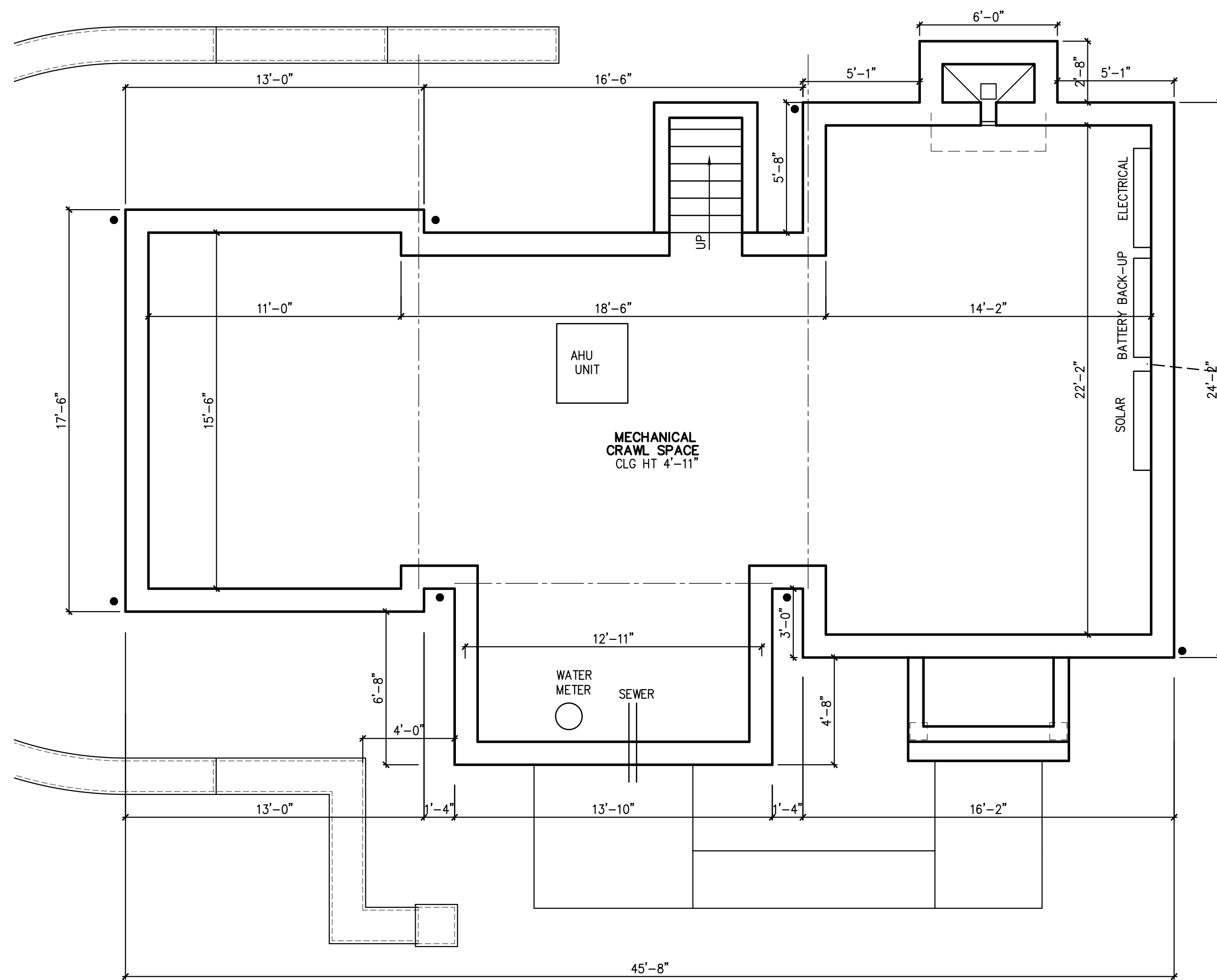
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DRW

DATE  
07/22/21

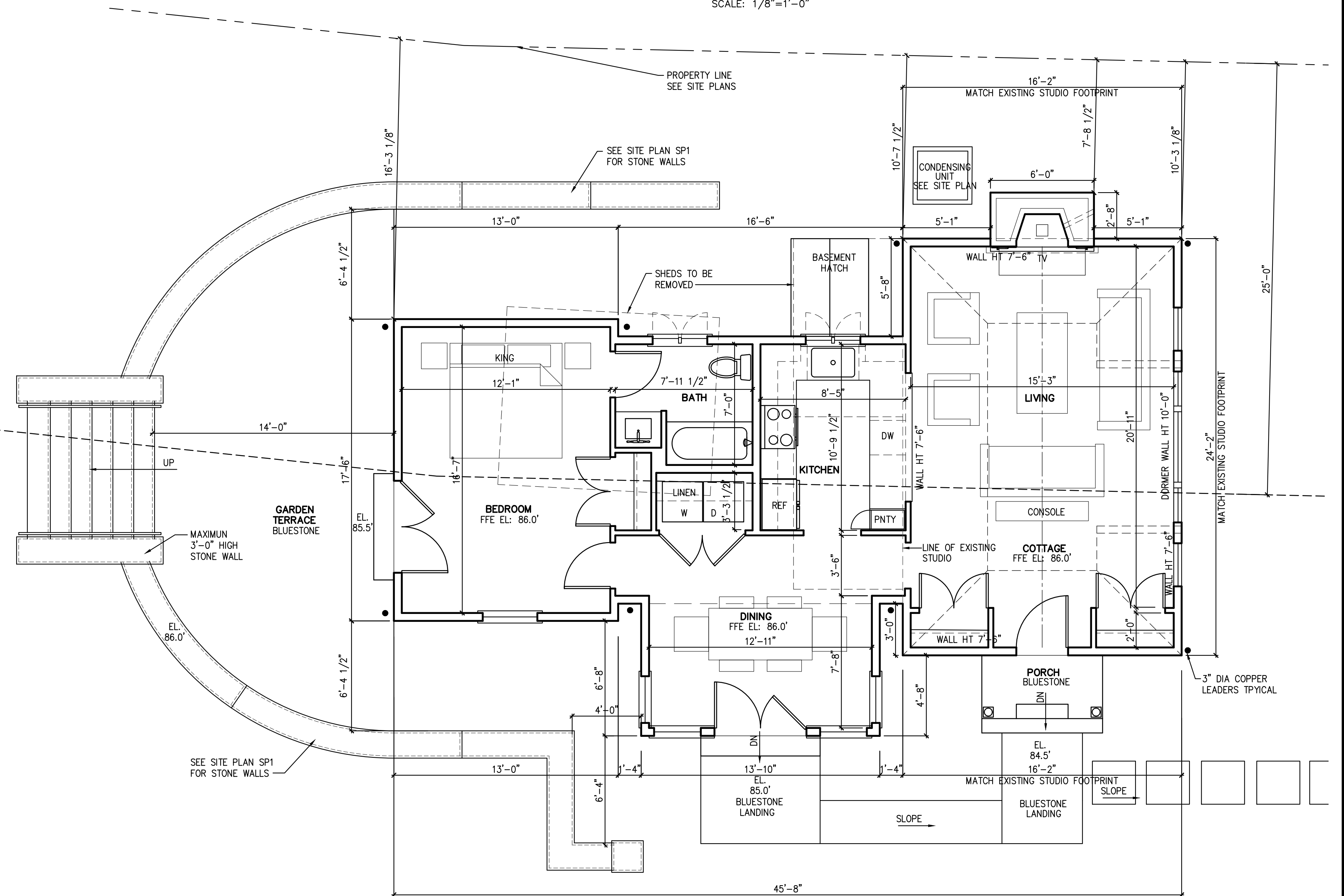
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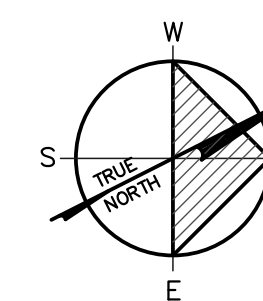
**PROPOSED COTTAGE ROOF PLAN**  
SCALE: 1/8"=1'-0"



**PROPOSED COTTAGE CRAWL SPACE PLAN**  
SCALE: 1/4"=1'-0"



**980 SF PROPOSED COTTAGE FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



PROJECT:  
**PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE**  
35 WRIGHT STREET  
WESTPORT, CT 06880

DRAWING TITLE:  
**PROPOSED COTTAGE CRAWL FIRST FLOOR AND ROOF PLANS**

DATE:  
JAN. 12, 2022  
REV 2/15/22

REVISED 2/15/22  
ISSUED FOR TOWN REVIEW 1/12/22

**J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C.**  
TIDE MILL BUILDING  
95 HARBOR ROAD  
SOUTHPORT, CT 06890  
TEL: (203) 259-0529  
WWW.FRANZENARCHITECTS.COM

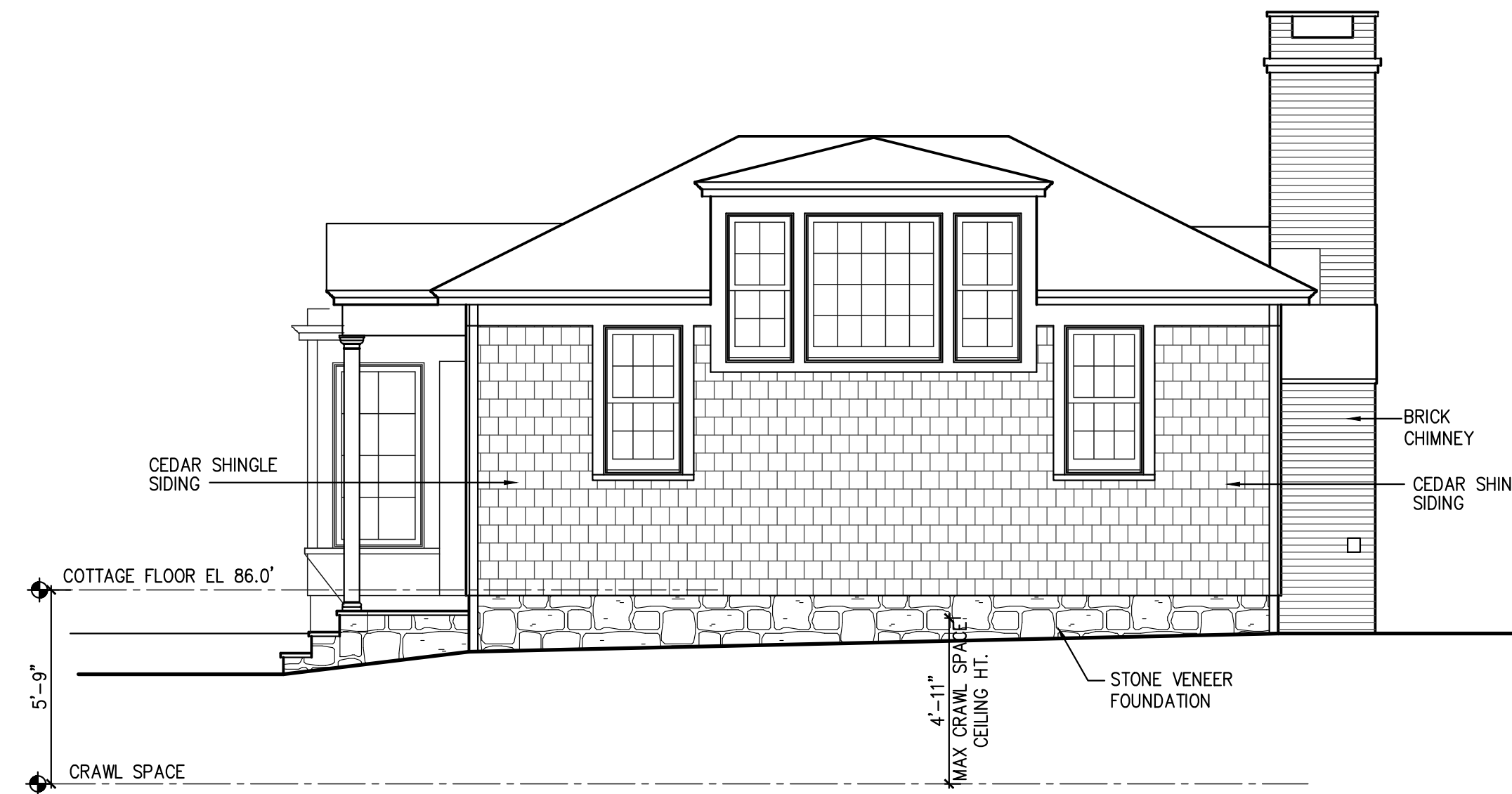


SCALE:  
1/4"=1'-0"

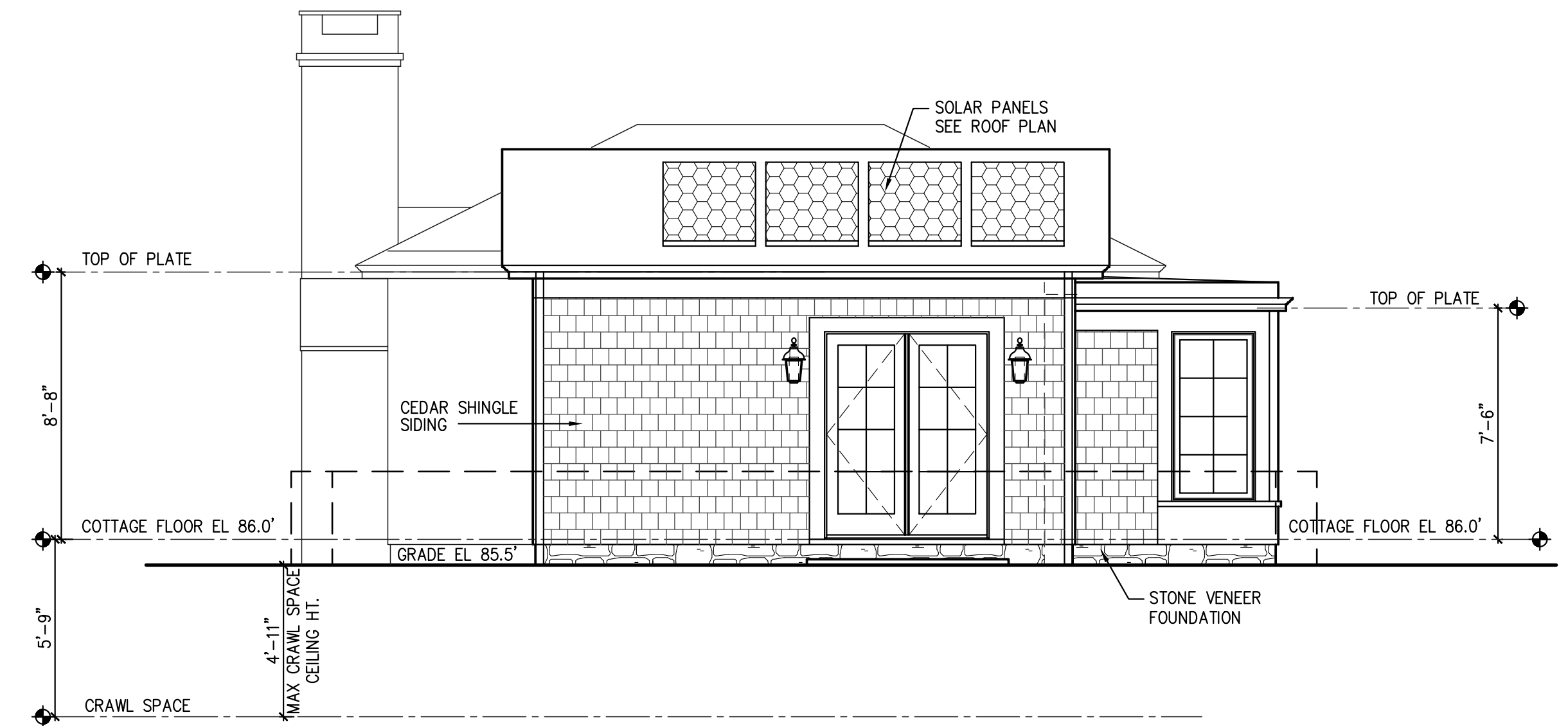
DRAWN BY:  
**DRW**

JOB NO.  
**071221**

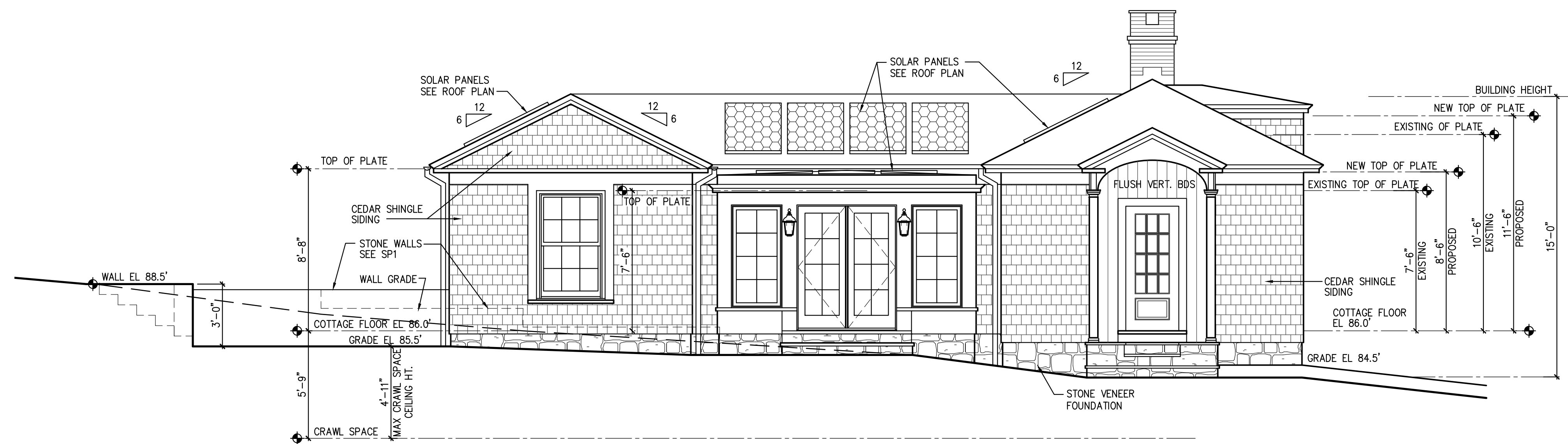
DRAWING NO.  
**CA1**



**PROPOSED COTTAGE  
SIDE ELEVATION (NORTH)**  
SCALE: 1/4"=1'-0"



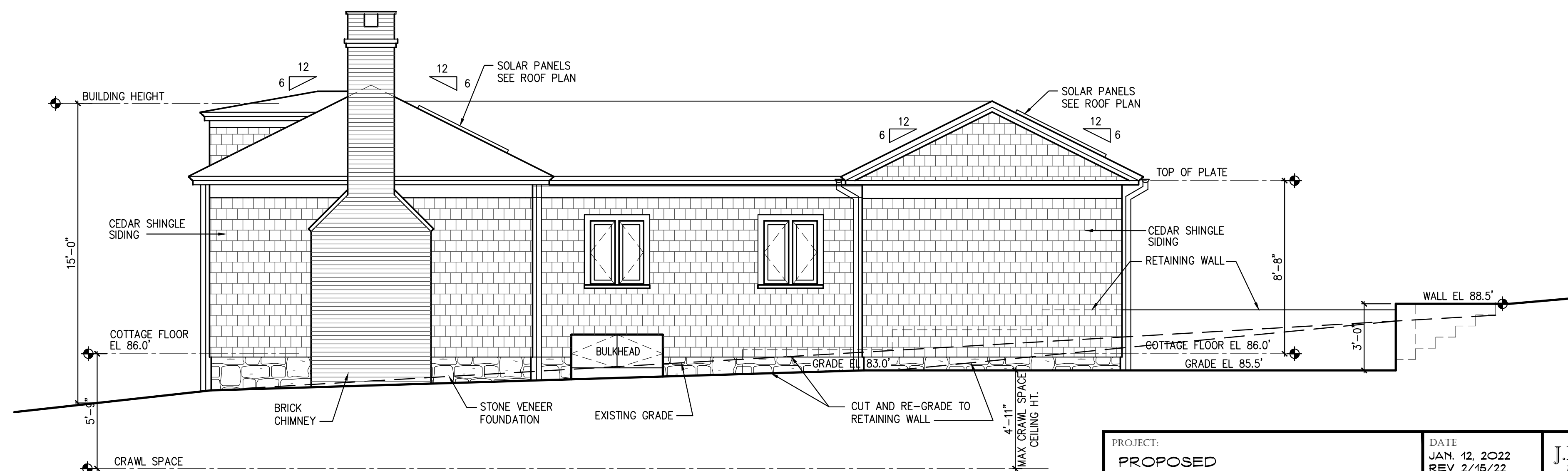
**PROPOSED COTTAGE  
SIDE ELEVATION (SOUTH)**  
SCALE: 1/4"=1'-0"



**PROPOSED COTTAGE  
FRONT ELEVATION (EAST)**  
SCALE: 1/4"=1'-0"

**EXTERIOR MATERIALS**

1. **WALL SIDING**  
EXTERIOR SIDING SHALL BE WESTERN RED CEDAR REBUTTED SHINGLES 6"± EXPOSURE
2. **ROOF**  
ROOF SHINGLES 5/12 ARE TO BE PREMIUM GRADE WESTERN RED CEDAR WITH CERTI-LAST-PRESERVATIVE-TREATMENT. SHINGLES TO BE 18", TAPER SAWN, 5 1/4" EXPOSURE; 4 1/4" EXPOSURE AT LOW SLOPE ROOFS. ROOF LOW 1/12 EPDM BLACK SINGLE PLY
3. **TRIM AND CASINGS**  
WOOD CEDAR OR MAHOGANY PAINTED SOFT GLOSS
4. **WINDOWS/DOORS**  
PAINTED WOOD WINDOWS DOUBLE HUNG & CASEMENT AND FRENCH DOORS WITH INSULATED GLASS AND 5/8" SIMULATED DIVIDED LITES. SOLID DOORS TO BE MAHOGANY PAINTED.
5. **GUTTERS AND LEADERS**  
RED COPPER GUTTER TO BE 5 1/2" HALF ROUND AND 3" DIAMETER ROUND RED COPPER LEADERS
6. **FLASHING:**  
COPPER FLASHING (RED FINISH)
7. **PATIOS AND WALKS:**  
BLUESTONE
8. **STONE WALLS:**  
NATIVE FIELD STONE VENEER TO MATCH EXISTING RETAINING WALL
9. **FOUNDATIONS**  
HOUSE ADDITION AND COTTAGE TO BE STONE VENEER TO MATCH EXISTING STONE FOUNDATION
10. **CHIMNEY COTTAGE**  
BRICK RED
11. **FENCE**  
DEER FENCE BLACK STEEL NETTED 8'-0" HIGH
12. **CRAWL SPACE HATCH**  
COTTAGE COMPOSITE CONSTRUCTION SIMULATE WOOD LOOK



**PROPOSED COTTAGE  
REAR ELEVATION (WEST)**  
SCALE: 1/4"=1'-0"

REVISED 2/15/22  
ISSUED FOR TOWN REVIEW 1/12/22

PROJECT: <b>PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE</b> 35 WRIGHT STREET WESTPORT, CT 06880 DRAWING TITLE: <b>PROPOSED COTTAGE EXTERIOR ELEVATIONS</b>	DATE: JAN. 12, 2022 REV 2/15/22	<b>J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C.</b> TIDE MILL BUILDING 95 HARBOR ROAD SOUTHPORT, CT 06890 TEL: (203) 259-0529 WWW.FRANZENARCHITECTS.COM		SCALE: 1/4"=1'-0"
	DRAWN BY: <b>DRW</b> JOB NO.: <b>071221</b> DRAWING NO.: <b>CA2</b>			





# 35 Wright Street

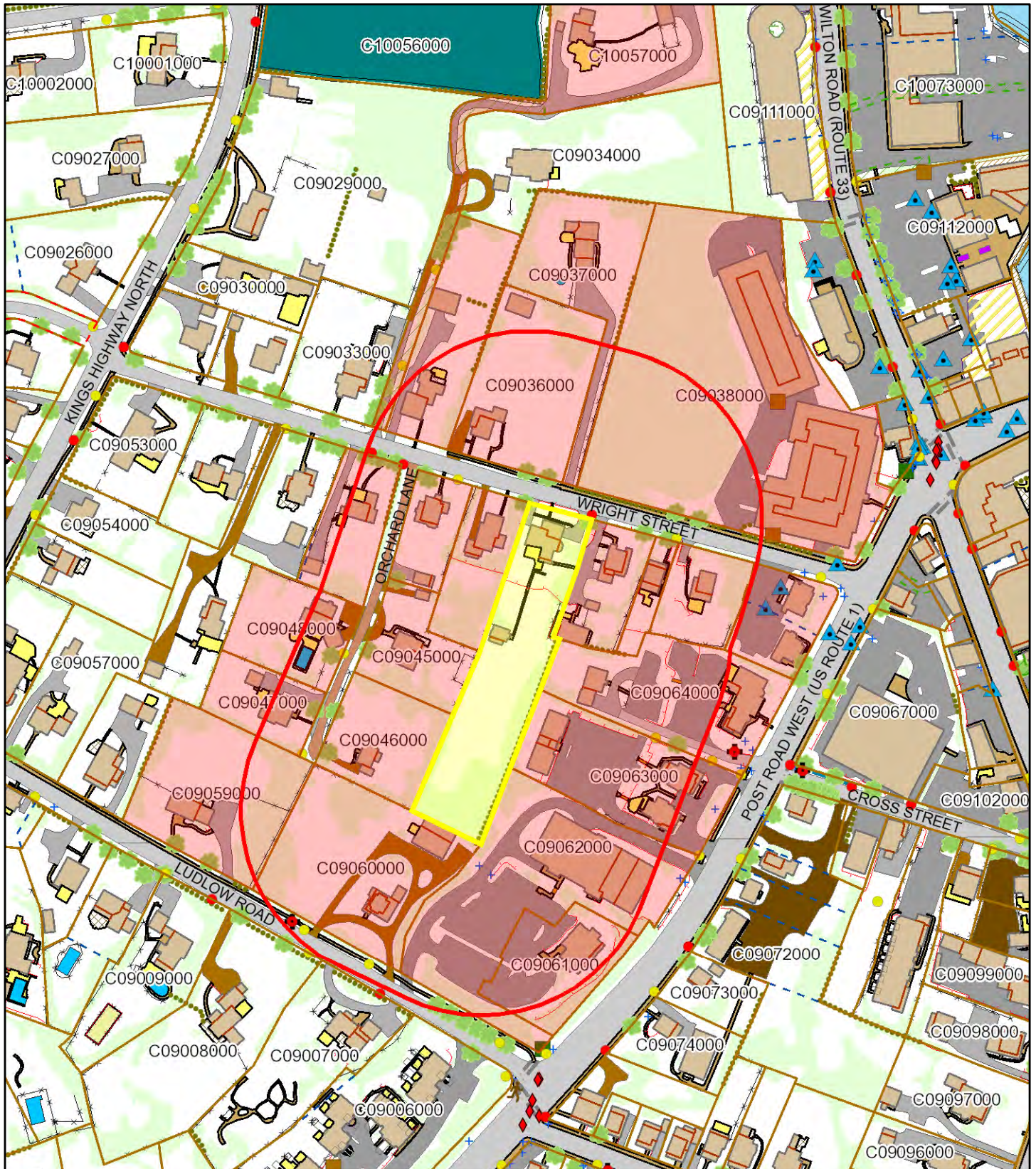
Westport, CT



January 19, 2022

1 inch = 200 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



MULLER RESIDENCE 35 WRIGHT STREET



COTTAGE SHED (WEST)



COTTAGE FRONT (EAST)



SHED FRONT (EAST)









## HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: Stacey Vairo, National Register and State Register Coordinator,  
Connecticut Commission on Culture & Tourism, One Constitution Plaza, 2nd Floor, Hartford, CT 06103

\* Note: Please attach any additional or expanded information on a separate sheet.

### GENERAL INFORMATION

Building Name (Common) \_\_\_\_\_  
 Building Name (Historic) Zalman Sanford House No. 1  
 Street Address or Location 35 Wright Street  
 Town/City Westport Village \_\_\_\_\_ County Fairfield  
 Owner(s) Cynthia M. Muller  Public  Private

### PROPERTY INFORMATION

Present Use: Residential  
 Historic Use: Residential  
 Accessibility to public: Exterior visible from public road?  Yes  No  
 Interior accessible?  Yes  No If yes, explain \_\_\_\_\_  
 Style of building Greek Revival Date of Construction 1845

Material(s) (Indicate use or location when appropriate):

Clapboard  Asbestos Siding  Brick  Wood Shingle  Asphalt Siding  
 Fieldstone  Board & Batten  Stucco  Cobblestone  Aluminum Siding  
 Concrete (Type \_\_\_\_\_)  Cut Stone (Type \_\_\_\_\_)  Other \_\_\_\_\_

### Structural System

Wood Frame  Post & Beam  Balloon  Load bearing masonry  Structural iron or steel  
 Other \_\_\_\_\_

### Roof (Type)

Gable  Flat  Mansard  Monitor  Sawtooth  
 Gambrel  Shed  Hip  Round  Other \_\_\_\_\_

(Material)

Wood Shingle  Roll Asphalt  Tin  Slate  Asphalt Shingle  
 Built up  Tile  Other \_\_\_\_\_

Number of Stories: 2 Approximate Dimensions \_\_\_\_\_

Structural Condition:  Excellent  Good  Fair  Deteriorated

Exterior Condition:  Excellent  Good  Fair  Deteriorated

Location Integrity:  On original site  Moved When? \_\_\_\_\_

Alterations?  Yes  No If yes, explain: Side and rear ell, enclosed front ent., att. bay window, att. garage

**FOR OFFICE USE:** Town # \_\_\_\_\_ Site # \_\_\_\_\_ UTM \_\_\_\_\_

District:  S  NR If NR, Specify:  Actual  Potential

**PROPERTY INFORMATION (CONT'D)**

**Related outbuildings or landscape features:**

- Barn       Shed       Garage       Carriage House       Shop       Garden
- Other landscape features or buildings: \_\_\_\_\_

**Surrounding Environment:**

- Open land     Woodland     Residential     Commercial     Industrial     Rural
- High building density     Scattered buildings visible from site

• Interrelationship of building and surroundings:

See Continuation Sheet

• Other notable features of building or site (*Interior and/or Exterior*)

See Continuation Sheet

Architect \_\_\_\_\_ Builder \_\_\_\_\_

• Historical or Architectural importance:

See Continuation Sheet

• Sources:

See Continuation Sheet

Photographer PAL Inc. \_\_\_\_\_ Date 10/4/2011

View \_\_\_\_\_ Negative on File \_\_\_\_\_

Name \_\_\_\_\_ Date 10/4/2011

Organization PAL Inc. \_\_\_\_\_

Address 210 Lonsdale Avenue, Pawtucket, RI 02860

• Subsequent field evaluations:

**Threats to the building or site:**

- None known     Highways     Vandalism     Developers     Renewal     Private
- Deterioration     Zoning     Other \_\_\_\_\_     Explanation \_\_\_\_\_



STATE OF CONNECTICUT

COMMISSION ON CULTURE & TOURISM  
STATE HISTORIC PRESERVATION OFFICE

One Constitution Plaza, Second Floor, Hartford, CT 06103

HISTORIC RESOURCE INVENTORY FORM

For Buildings and Structures

FOR OFFICE USE ONLY

TOWN NO.:            SITE NO.:  
UTM: 18/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_  
QUAD:  
DISTRICT:            NR: Actual  
                              Potential

CONTINUATION SHEET

Item Number: \_\_\_\_\_ Date: October 2011

PAL, Pawtucket, RI 02860

35 Wright Street, Westport, CT

**Interrelationship of building and surroundings:**

The house occupies a level grass lawn and faces north towards Wright Street. The lot is raised about a foot above street level and supported by a low fieldstone retaining wall. Evergreen shrubs and tall trees line the east and west sides of the property. Several smaller shrubs are along the foundation of the house. A gravel driveway runs along the west side of the lot.

**Other notable features of building or site (*Interior and/or Exterior*):**

The building is a two-story, three-bay-by-two-bay, Greek Revival style residence. The asphalt shingle-clad, front-gable roof has a wide rake boards and shallow gable returns and a brick chimney at the center of the roof ridge. The walls are clad in clapboard and rest on a stone block foundation. The main entrance is recessed within a pedimented addition attached to the west bay of the north (facade) elevation which contains a panel door with full-height sidelights and a four-light transom. The entry is framed by fluted columns in the annex. Windows primarily consist of six-over-six double-hung sash with narrow wood trim and lintels. A rectangular louvered opening is located in the gable on the facade. A two-story ell and a one-story attached garage built in the 1960s extends from the east elevation of the house. The garage features a row of single pane windows in the entablature on the north elevation. The additions alter the original plan of the house; however the original block is visible. Minor alterations include the replacement of some materials, like the windows.

**Historical or Architectural importance:**

The house was constructed ca. 1845 by Zalman Sanford, who is labeled as the owner on the 1855 map of Westport. It was sold to Francis Bennett, a river boat captain, in 1854. It also appears on the 1867 map of Westport, where it is listed as the house of Capt. E.F. Bennett. Bennett sold the property to Capt. Peter Buckley, also a riverboat captain, the same year. Due to a lack of documentation, ownership information at the turn of the twentieth century is unknown. By 1923, the property is occupied by a teacher Robert W. and his wife Emily B. Fuller. The Fullers continued to occupy the property until 1950. By 1955, the house was occupied by Theodore C. Muller. Muller remained on the property until 1991. Cynthia M. Muller is the current owner of the property.

**Sources:**

Beers, J.H. & Co. Atlas of the County of Fairfield. 1867; Cunningham, Jan. Kings Highway North HD NR. Hartford: Connecticut Historical Commission, 1997; Hopkins, G.M. Atlas of the County of Fairfield. 1879; Sanborn Fire Insurance Maps. 1891-1940; Westport Directory (W.D.). Loveland, CO: US West Marketing Resources, 1991; W.D. Chicago, IL: Johnson Publishing Co., 1985; W.D. Providence, RI: C. DeWitt White Co., 1917-1918; W.D. New Haven: The Price & Lee Co., 1923-1974. WHD files.

**STATE OF CONNECTICUT**

**COMMISSION ON CULTURE & TOURISM  
STATE HISTORIC PRESERVATION OFFICE**

One Constitution Plaza, Second Floor, Hartford, CT 06103

**HISTORIC RESOURCE INVENTORY FORM**

For Buildings and Structures

**CONTINUATION SHEET**

Item Number: \_\_\_\_\_ Date: October 2011

PAL, Pawtucket, RI 02860

**35 Wright Street, Westport, CT**

**PHOTOGRAPHS**



View of the north elevation.

*FOR OFFICE USE ONLY*

TOWN NO.: \_\_\_\_\_ SITE NO.: \_\_\_\_\_

UTM: 18/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_/\_\_\_\_

QUAD: \_\_\_\_\_

DISTRICT: \_\_\_\_\_

NR: Actual  
Potential







# HISTORIC RESOURCES INVENTORY BUILDING AND STRUCTURES

HIST-6 REV 6-83

STATE OF CONNECTICUT  
CONNECTICUT HISTORICAL COMMISSION  
59 SOUTH PROSPECT STREET, HARTFORD, CONNECTICUT 06106  
(203) 566-3005

FOR OFFICE USE ONLY	
Town No.:	Site No.: <b>248</b>
UTM	
QUAD:	
DISTRICT	IF NR, SPECIFY
<input type="checkbox"/> S <input type="checkbox"/> NR	<input type="checkbox"/> Actual <input type="checkbox"/> Potential

IDENTIFICATION

1. BUILDING NAME (Common) **Jennings House** (Historic) **Elmstead**

2. TOWN CITY **Westport** VILLAGE \_\_\_\_\_ COUNTY **Fairfield**

3. STREET AND NUMBER (and/or location) **129 Morningside Drive South 5447/7**

4. OWNER(S) **Keehan, Edward J. & Pearl**  Public  Private

5. USE (Present) **Residence** (Historic) **Residence**

6. ACCESSIBILITY TO PUBLIC:  Yes  No EXTERIOR VISIBLE FROM PUBLIC ROAD  Yes  No INTERIOR ACCESSIBLE  Yes  No IF YES, EXPLAIN \_\_\_\_\_

DESCRIPTION

7. STYLE OF BUILDING **Picturesque Vernacular** DATE OF CONSTRUCTION **ca. 1781, 1884**

8. MATERIAL(S) (Indicate use or location when appropriate)

<input checked="" type="checkbox"/> Clapboard	<input type="checkbox"/> Asbestos Siding	<input type="checkbox"/> Brick	<input type="checkbox"/> Other (Specify) _____
<input type="checkbox"/> Wood Shingle	<input type="checkbox"/> Asphalt Siding	<input type="checkbox"/> Fieldstone	
<input type="checkbox"/> Board & Batten	<input type="checkbox"/> Stucco	<input type="checkbox"/> Cobblestone	
<input type="checkbox"/> Aluminum Siding	<input type="checkbox"/> Concrete Type: _____	<input type="checkbox"/> Cut stone Type: _____	

9. STRUCTURAL SYSTEM

<input type="checkbox"/> Wood frame	<input checked="" type="checkbox"/> Post and beam	<input type="checkbox"/> balloon
<input type="checkbox"/> Load bearing masonry		<input type="checkbox"/> Structural iron or steel
<input type="checkbox"/> Other (Specify) _____		

10. ROOF (Type)

<input checked="" type="checkbox"/> Gable	<input type="checkbox"/> Flat	<input type="checkbox"/> Mansard	<input type="checkbox"/> Monitor	<input type="checkbox"/> sawtooth
<input type="checkbox"/> Gambrel	<input type="checkbox"/> Shed	<input type="checkbox"/> Hip	<input type="checkbox"/> Round	<input type="checkbox"/> Other (Specify) _____

(Material)

<input checked="" type="checkbox"/> Wood Shingle	<input type="checkbox"/> Roll Asphalt	<input type="checkbox"/> Tin	<input type="checkbox"/> Slate
<input type="checkbox"/> Asphalt shingle	<input type="checkbox"/> Built up	<input type="checkbox"/> Tile	<input type="checkbox"/> Other (Specify) _____

11. NUMBER OF STORIES **2** APPROXIMATE DIMENSIONS **30x27 + bays & ells**

12. CONDITION (Structural)  Excellent  Good  Fair  Deteriorated (Exterior)  Excellent  Good  Fair  Deteriorated

13. INTEGRITY (Location)  On original site  Moved WHEN? \_\_\_\_\_ (Alterations)  Yes  No IF YES, EXPLAIN **rehabed, 1987**

14. RELATED BLDINGS OR LANDSCAPE FEATURES

<input checked="" type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Garage	<input type="checkbox"/> Other landscape features or buildings (Specify) _____
<input type="checkbox"/> Carriage house	<input type="checkbox"/> Shop	<input type="checkbox"/> Garden	

15. SURROUNDING ENVIRONMENT

<input type="checkbox"/> Open land	<input type="checkbox"/> Wood-land	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Scattered buildings visible from site
<input type="checkbox"/> Commercial	<input type="checkbox"/> Indus-trial	<input type="checkbox"/> Rural	<input type="checkbox"/> High building density

16. INTERRELATIONSHIP OF BUILDING AND SURROUNDINGS

**Located on north side of short lane between Morningside Dr. & Turkey Hill Road South.**



17. OTHER NOTABLE FEATURES OF BUILDING OR SITE (interior and/or exterior)

DESCRIPTION (Continued)

The picturesque vernacular dwelling has as its nucleus a 1781 house that was remodeled several times during the late-19th century. The 3-bay facade is dominated by a broad, cross gable set with a circular-headed window and an Italianate verandah with chamfered posts on pedestals with heavy moldings and a bracketed cornice. Full-length, 4-over-4 windows flank the central entrance bay set with double-leaf doors with hexagonal bottom panels. A handsome, 3-window wide, flat-roofed, square bay window on the east elevation has the same bracketed cornice as the verandah. Two side porches were (see continuation sheet)

18. ARCHITECT \_\_\_\_\_ BUILDER \_\_\_\_\_

19. HISTORICAL OR ARCHITECTURAL IMPORTANCE

SIGNIFICANCE

Once one of the most charming and complete picturesque farmhouses in Westport, the nucleus was built about 1781 by Abraham Andrews to replace a dwelling destroyed during Tryon's raid on Danbury in 1779. Although many houses in the Compo Road-Greens Farms area claimed damage, Andrew's claim to the state for war damages were the highest in the area. John Hyde acquired the house, and in 1835 he sold to Burr Whitehead. Williams Jennings, who lived in Minnesota from 1864-77, bought it in 1877. Both Whitehead and Jennings made changes to the house, which for all practical consideration is stylistically a late-19th century structure. Whitehead added the east kitchen ell, and the chimney was replaced with the present smaller one with a Victorian-era corbeled stack. Jennings added the bay window and corresponding verandahs in 1884. It survived basically unaltered (see continuation sheet)

SOURCES

Adams Manuscript.  
Westport Historical Society: House File.

PHOTO	PHOTOGRAPHER	DATE
	Mary E. McCahon	May, 1988
VIEW	northeast	NEGATIVE ON FILE
		CHC3:40
COMPILED BY	NAME	DATE
	Mary E. McCahon, Architectural Historian	June, 1988
	ORGANIZATION	
	Westport Historic District Commission	
ADDRESS		
Town Hall Westport, Conn. 06880		



20. SUBSEQUENT FIELD EVALUATIONS

21. THREATS TO BUILDING OR SITE

None known.     Highways     Vandalism     Developers     Other \_\_\_\_\_

Renewal     Private     Deterioration     Zoning     Explanation \_\_\_\_\_



STATE OF CONNECTICUT

CONNECTICUT HISTORICAL COMMISSION  
59 South Prospect Street, Hartford, Connecticut 06106

HISTORIC RESOURCES INVENTORY FORM  
For Buildings and Structures

FOR OFFICE USE ONLY

TOWN NO.:

SITE NO.:

UTM: 18 / - / - / - / - / -

QUAD:

DISTRICT: S NR: ACTUAL  
POTENTIAL

CONTINUATION SHEET

Item number: \_\_\_\_\_ Date: \_\_\_\_\_

Item 17

129 Morningside Drive South

originally set against the east elevation. The northernmost was removed, and the southern porch was rebuilt with new materials in 1987. While the house was painted dark, Victorian hues about the turn-of-the-century, it is remembered as being white since at least the first world war. Once one of the best detailed and most complete picturesque vernacular houses in town, much of its historic fabric was removed or altered, especially on the interior, during a ca. 1987 rehabilitation. Three vertical-sided barns in fair condition are still standing to the east of the southerly oriented house.

Item 19

since the 1880s until the mid-1980s. The house passed to William's son Georg P. Jennings, author of the 1933 Greens Farms Connecticut, a chatty, anecdotal account of his recollections of the community. Bessie Jennings (1895-1972), who inherited the house from her father, George, in 1933, carried on the family tradition of local historian. After a distinguished career as a history and civics teacher at Roger Ludlow High School in Fairfield, she conducted tours of Greens Farms and Westport for hundreds of second-grade school children. She also assisted her father with the preparation of his 1933 book. The Jennings Trail, a local, self-guided tour to some of Westport's most historic sites, was established in 1973 by the Westport Historical Society and Young Woman's League, is dedicated to Miss Jennings's memory to perpetuate her interest in preseving the identity of Greens Farms and the historic sites in Westport. After Bessie Jennings's death in 1972, the house passed to the Penny family to whom she was related. It was named Elmstead Place for the trees that once surrounded the picturesque dwelling.



248

STATE OF CONNECTICUT  
 CONNECTICUT HISTORICAL COMMISSION  
 59 South Prospect Street, Hartford, Connecticut 06106  
 HISTORIC RESOURCES INVENTORY FORM  
 For Buildings and Structures

FOR OFFICE USE ONLY			
TOWN NO.:	SITE NO.:		
UTM: 18/	/	/	/
QUAD:			
DISTRICT:	S	NR:	ACTUAL
			POTENTIAL

CONTINUATION SHEET

Item number: \_\_\_\_\_ Date: \_\_\_\_\_

Item 17

129 Morningside Drive South

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Item 19

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STATE OF CONNECTICUT

**CONNECTICUT HISTORICAL COMMISSION**  
59 South Prospect Street, Hartford, CT 06106

**HISTORIC RESOURCES INVENTORY FORM**  
For Buildings and Structures

**CONTINUATION SHEET**

Item number: \_\_\_\_\_

PAL, Pawtucket, RI 02860  
June 2000

**Address:** 129 Morningside Drive South

**Name:** Abraham Andrews/ Wm  
Jennings Hse (Elmstead Place)

**NR District:**

**Local District:**

**Neg No.:** 25:26

**HRS ID No.:** 0556

