

Historic Residential Structures Special Permit §32-18

The purpose of this regulation is to further the preservation, rehabilitation, restoration, reconstruction and/or adaptive re-use of historic residential structures and associated historic accessory structures in Westport residential districts. The Planning and Zoning Commission may, by grant of a Special Permit/HRS, authorize the use, setback, height and coverage incentives of this section in those circumstances where applicable zoning regulations have the practical effect of discouraging the preservation historic buildings and historic accessory structures.

JOINT COMMITTEE - ARB/HDC

Historic Residential Structures Special Permit §32-18

REVIEW AND RECOMMENDATION

Date: 01/26/2022

PROPERTY ADDRESS: 35 WRIGHT STREET

OWNER OF RECORD: HELEN MULLER, REVOCABLE TRUST Daytime Tel: c/o 203-454-8008

OWNER'S ADDRESS: C/O LAND USE CONSULTANTS 131 KINGS HWY N. WESTPORT Email: C/O GLORIA@LANDUSE-CT.COM

APPLICANT'S NAME (if different): GLORIA GOUVEIA, LAND USE CONSULTANTS & JACK FRANZEN, ARCHITECTS Daytime Tel: 203-454-8008

If the applicant is unable to obtain property owner's signature, please submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: 131 KINGS HIGHWAY NORTH, WESTPORT, CT Email: GLORIA@LANDUSE-CT.COM

Property Owner's Signature

Legal Representative's Signature (As authorized by owner)

PLANNING & ZONING STAFF NOTIFICATION OF SPECIAL PERMIT APPLICATION

- Appears to comply
- Appears not to comply
- Need more information

P&Z Staff Name _____

Date of P&Z Review _____

SUBMIT this completed form and seven (7) folded sets of the following materials to the Historic District Commission

(HDC) Office, Room 108, 10 days prior to scheduled meeting. (Meetings are held the first Tuesday of the month).

- Site Plans (11" x 17")
- Narratives describing the project, including construction details and proposed materials
- Existing plans drawn to scale, size (11" x 17")
- Proposed building plans drawn to scale, size (11" x 17")
- An electronic copy of entire set of submission materials and application form sent to HDC staff administrator

BRING the following materials with you to the meeting:

- Contextual photos of the site and existing conditions
- Other such materials as the applicant may deem appropriate to enable the Joint Committee to evaluate the design of the proposed project

Joint Committee Recommendation to Planning and Zoning Commission:

Chair's Signature: _____

Date: _____

OWNER'S AUTHORIZATION

To Whom It May Concern:

As Owner of record of 35 Wright Street, Westport, CT 06880, I hereby authorize Gloria Gouveia d/b/a Land Use Consultants, and J.P. Franzen Associates, Architects to represent my interests in the matter of applications to and permits from the Town of Westport, CT 06880, for property located at 35 Wright Street, Westport, CT 06880.

Carl Anton Muller

20 September 2021

Cynthia M. Muller for Cynthia M. Muller Revocable Trust

DATE

THE CYNTHIA LEIDNER MULLER REVOCABLE TRUST AGREEMENT #1

DELEGATION OF AUTHORITY

WHEREAS, the Cynthia Leidner Muller Revocable Trust Agreement #1 (the "Trust") is a Pennsylvania trust governed by Trust Agreement dated March 30, 2012 (the "Trust Deed");

WHEREAS, Peter Rosenberg presently is the sole trustee of the Trust (the "Trustee");

WHEREAS, the Trust owns that certain residential real property located at 35 Wright Street, Westport, Connecticut 06880 (the "Property");

WHEREAS, Section 1 of Part III of the Trust Deed empowers the Trustee to employ legal and investment counsel, custodians, accountants and other agents for the transaction of any business of the Trust;

WHEREAS, the Trustee wishes to delegate to Carl Muller (the "Agent") authority to enter into any agreements or contracts with third parties, and to execute on behalf of the Trustee any and all documents necessary or desirable, for the construction, remodeling, or other physical improvement of the Property, subject to the restrictions and limitations set forth herein, and the Agent wishes to accept such delegation of authority.

NOW, THEREFORE, in consideration of the foregoing, the Trustee hereby delegates as follows:

1. The Trustee hereby delegates to the Agent authority to enter into any agreements or contracts with third parties (including, but not limited to, architects and contractors), and execute any and all documents necessary or desirable, on behalf of the Trustee in regard to the construction, remodeling, or other physical improvement of the Property.

2. This Delegation of Authority shall remain in effect until revoked by written instrument signed by the Trustee and delivered to the Agent. Any third party without actual notice of the revocation of this Delegation of Authority shall be entitled to assume that it is in full force and effect.

3. This Delegation of Authority may be executed by facsimile, email or other electronic transmission and in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

4. The Agent hereby accepts the foregoing delegation subject to the terms and conditions set forth above.

5. This Delegation of Authority shall be governed by the laws of the Commonwealth of Pennsylvania, and shall be effective as of the date set forth below.



PETER ROSENBERG, Trustee 6/24/2021
Date



CARL MULLER, Agent 6/28/2021
Date

35 WRIGHT ST - NARRATIVE

We are proposing a comprehensive rehabilitation project for this property.

The main house was built ca.1845 by Zalman Sanford, who is shown as owner on the 1855 map of Westport. The building is a two-story, 3-bay-by-2-bay Greek Revival style residence.¹

The property is located between the Post Rd. West and Orchard Lane, on the South side of Wright St. The lot is long and narrow and slopes gently up to the South. The slope is bifurcated by a low stone wall between the house and cottage.

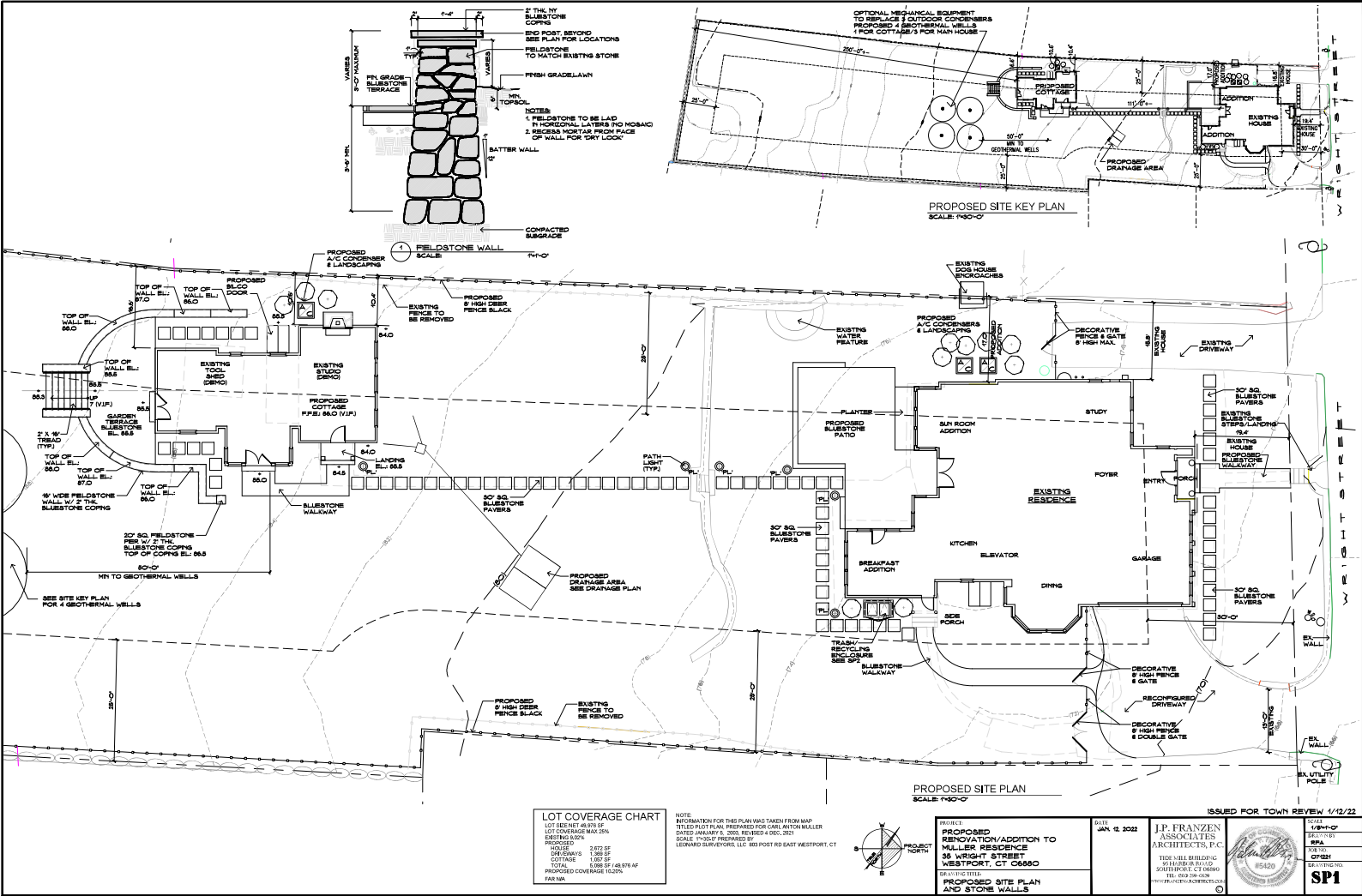
The main house is located only about 30' from the public way as was typical of the period. A cottage of uncertain age is located to the rear of the house, about 200' from the public way and close to the Westerly property line, affording a clear view of the depth of the lot and gardens from the main house. Originally the home consisted of a main gable facing Wright St. with an "El" addition on the left side. At some point another rear facing gable was added on the rear of the "El". There was an also addition to the main house built in the late twentieth century consisting of an attached garage and an extension to the front entry. On the rear kitchen wing there is a twentieth century modular greenhouse.

At the rear of the property is a detached cottage likely constructed around the turn of the 19th century, formerly and most recently used as a studio for architect Theodore C. Muller and his wife, artist, and landscape designer Helen Muller, who remained in residence on the property until 1991. The structure is in severely deteriorated condition.

Our proposal is to renovate the main house and to demolish the cottage and replace it with a compatible structure. Also, we are proposing various site improvements. The following is a description of the project scope:

- Main House redesign of attached garage exterior to harmonize with main house architecture including roof railing and new garage doors.
- Extend rear gable over existing one-story portion of kitchen wing add one story addition with conservatory roof.
- Removal of greenhouse and replace with one story addition. Replace windows and exterior doors; add solar panels and shutters.
- Cottage: demolish and replace in same location; add solar panels.
- Site: add wood picket fencing, gates, patio and retaining walls. Add walkways, trash enclosure and mechanical equipment. Site drainage improvements.

¹Historic Source Inventory by P.A.L. Inc. dated 10/04/2011



PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE

35 WRIGHT STREET WESTPORT, CT 06880

DRAWING LIST

General

G1 COVER SHEET

Site

EXS1 EXISTING A-2 SURVEY
 SP1 PROPOSED SITE PLAN AND STONE WALLS
 SP2 PROPOSED FRONT (STREET) ELEVATION
 AND TRASH ENCLOSURE
 Drainage and Erosion Control
 1 of 2 DRAINAGE PLAN
 2 of 2 DETAIL SHEET

Demolition

EXR1 DEMOLITION PLANS AND EXTERIOR ELEVATIONS

Architectural

MAIN HOUSE

A1 PROPOSED FIRST AND SECOND FLOOR PLANS
 A2 PROPOSED CELLAR AND ATTIC PLANS
 A3 PROPOSED NORTH AND EAST EXTERIOR ELEVATIONS
 AND ROOF PLAN
 A4 PROPOSED SOUTH AND WEST EXTERIOR ELEVATIONS

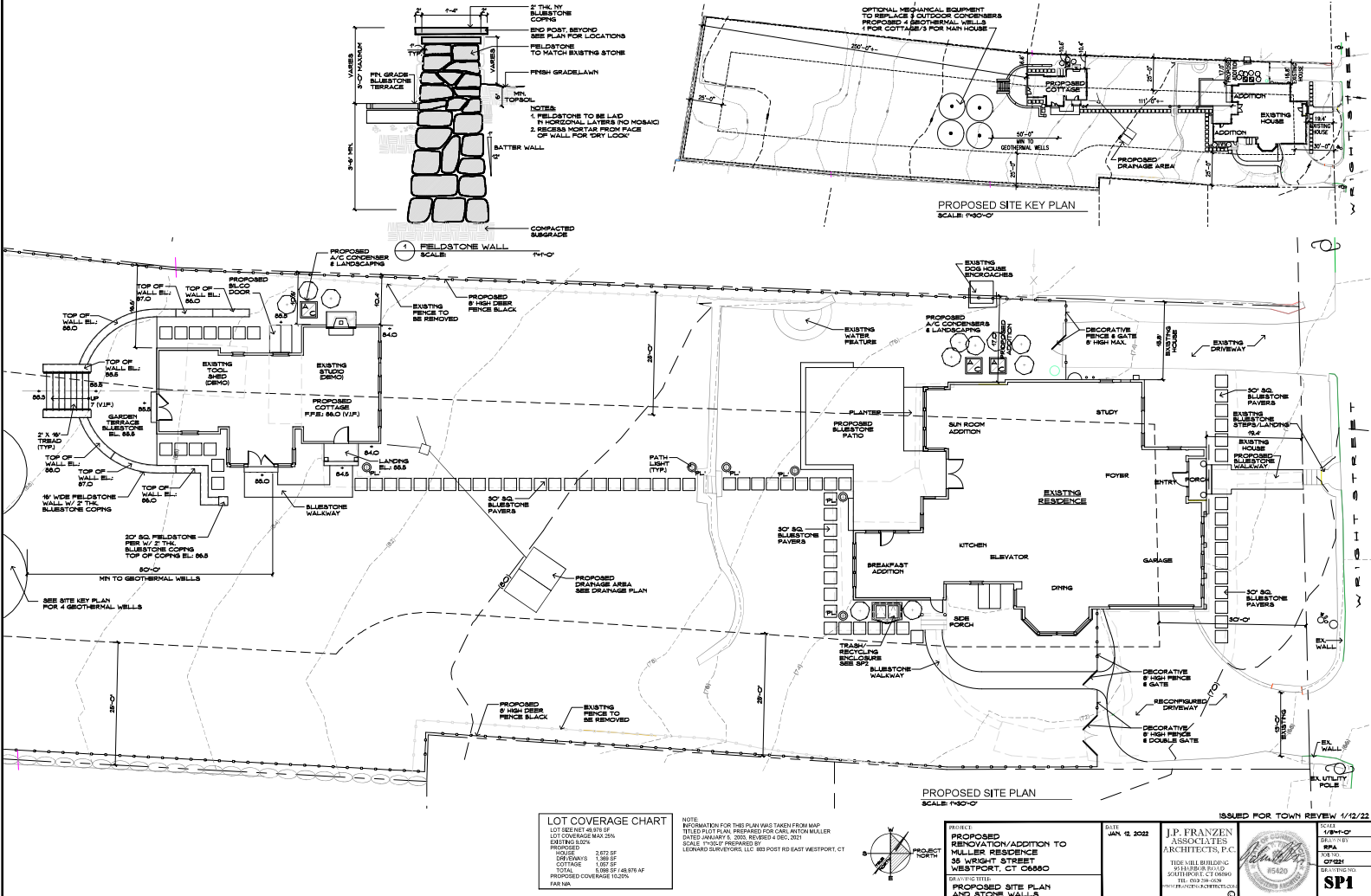
COTTAGE

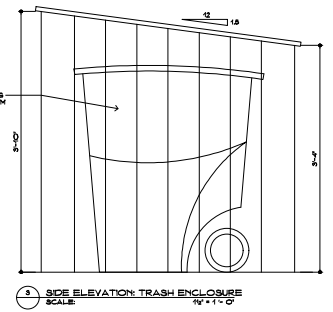
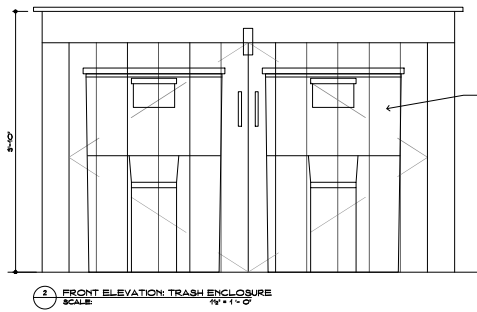
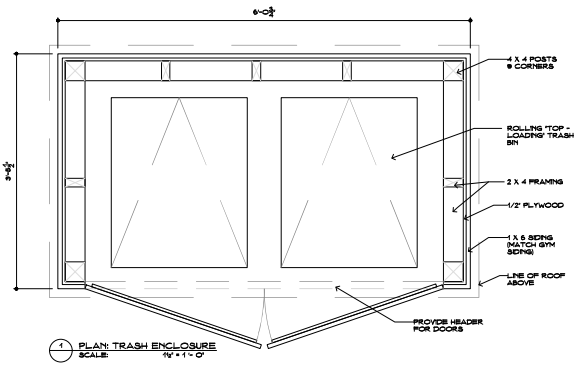
CA1 PROPOSED CELLAR, FIRST FLOOR
 AND ROOF PLANS
 CA2 PROPOSED EXTERIOR ELEVATIONS

13 TOTAL DRAWINGS

ISSUED FOR TOWN REVIEW 1/12/22

PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880	DATE JAN 12 2022	J.P. FRANZEN ASSOCIATES, ARCHITECTS, P.C. 100 THE BRIDING HILL ROAD WESTPORT, CT 06880 TEL: 010-200-0000 WWW.FRANZENARCHITECTS.COM	SCALE NONE
	DRAWING TITLE COVER SHEET		 DRAWN BY L.P.M. CHECKED BY C.M.M. DRAWING NO. G1



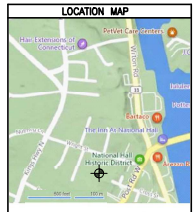
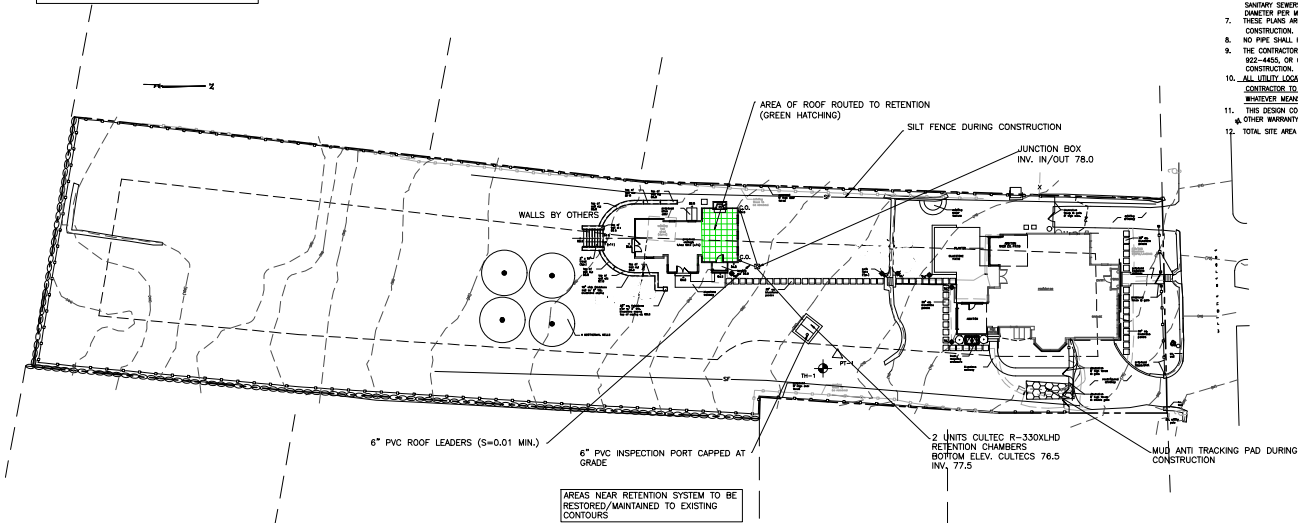


PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880		DATE: JAN 12, 2022	ISSUED FOR TOWN REVIEW 4/12/22	SCALE: AS NOTED
ARCHITECT: J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. ONE MILL BUILDING 97 HULL ST. # 210 SOUTH BRITAIN, CT 06090 TEL: 802 238-6228 WWW.FRANZENARCHITECTS.COM		DRAWN BY: JPA	CHECKED BY: JPA	DATE PLOTTED: 07/28/22
PROPOSED FRONT (STREET) ELEVATION AND DETAILS				SHEET NO: SP2

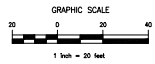
COVERAGE CHART	
GROSS LOT AREA	50200 S.F.
WETLANDS	0 S.F.
STEEP SLOPES	0 S.F.
TOTAL WETLANDS AND STEEP SLOPES	0 S.F.
REDUCTION	0 S.F.
BASE LOT AREA	50200 S.F.
HOUSE	2672 S.F.
DRIVEWAYS	1369 S.F.
PATIO	678 S.F.
WALKS	864 S.F.
COTTAGE	1057 S.F.
TOTAL	6640 S.F.
	13.2%

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION AND STRUCTURES SHALL COMPLY WITH ALL MUNICIPAL OR STATE REQUIREMENTS. ALL WORK SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, TO THE SATISFACTION OF THE ENGINEERING BUREAU, THAT CONSTRUCTION IS IN ACCORDANCE WITH THESE PLANS.
- THE ENGINEERING BUREAU OF THE DEPARTMENT OF PUBLIC WORKS AND THE ENGINEER OF RECORD SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.
- NO CERTIFICATE OF CONFORMANCE TO STANDARDS SHALL BE ISSUED BY THE DESIGN ENGINEER IF PROPER NOTICE IS NOT PROVIDED FOR INSPECTORS OR IF INSPECTIONS ARE NOT MADE PRIOR TO BACKFILLING OF BELOW GROUND STRUCTURES AND APPURTENANCES.
- SUBSURFACE STRUCTURES AND UTILITIES HAVE BEEN DETERMINED FROM EXISTING RECORDS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. IN ORDER TO AVOID CONFLICT OF THE PROPOSED WORK AND EXISTING UTILITIES, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY EXCAVATING TEST HOLES. IF THE CONTRACTOR DETERMINES THAT A CONFLICT EXISTS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL MAKE THE NECESSARY ADJUSTMENTS.
- EXISTING PROPERTY AND UTILITY INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE ARCHITECT.
- ALL SANITARY SEWER PIPE SHALL BE EITHER SDR-35 PVC (ASTM D-3034) OR CLASS 52 DUCTILE IRON (ANSI A 21-51), AS INDICATED ON THE PLANS, UNLESS OTHERWISE INDICATED. ALL SANITARY SEWER PIPE SHALL HAVE RUBBER GASKET FULL-TYPE JOINTS. INSTALLATION AND SANITARY SEWERS SHALL NOT EXCEED 150 GALLONS PER INCH OF PIPE DIAMETER PER FOOT OF PIPE IN 24 HOURS. THESE PLANS ARE FOR MUNICIPAL OR STATE AGENCY APPROVAL ONLY, NOT FOR CONSTRUCTION.
- NO PIPE SHALL HAVE A BEND OF GREATER THAN 45 DEGREES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, OR OTHER APPROPRIATE CONTACT POINT PRIOR TO START OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LOCATION OF THE UTILITIES IN THE FIELD BY WHATEVER MEANS HE DEEMS PRUDENT.
- THIS DESIGN CONFORMS TO APPLICABLE CODES AND ACCEPTED PRACTICE, NO OTHER WARRANTY IS EXPRESSED OR IMPLIED.
- TOTAL SITE AREA = 1.162 ACRES



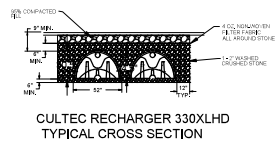
- SEDIMENTATION AND EROSION CONTROL NOTES:**
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. PERMANENT STABILIZATION SHALL BE SCHEDULED AS SOON AS FINAL GRACES ARE ESTABLISHED.
 - ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED WITH AN APPROVED SEED MIXTURE. COVER NEWLY SEEDS WITH MULCH OR SOIL MULCH.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2008 CONNECTICUT TRENDS FOR SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. CHECK AFTER EACH STORM EVENT.
 - ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF REQUIRED BY TOWN AUTHORITIES.
 - SEDIMENT DEPOSITS REMOVED FROM FILTER BARRIERS SHALL BE PLACED IN FILL AREAS OR SPREAD WHERE THERE IS PROPOSED RESIDUAL COVER. ANY SEDIMENT DEPOSITS REMAINING AFTER THE FILTER BARRIER IS REMOVED SHALL BE FINE GRADED AND PLANTED ACCORDING TO PLAN.
 - THE SITE CONSTRUCTION CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, REPORTING ALL VIOLATIONS TO THE CONSTRUCTION SITE OF THE REQUIREMENTS AND PROVISIONS OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE (AND/OR THE CONSTRUCTION COMMISSION) OF ANY VIOLATION OF THIS RESPONSIBILITY AND COVERING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED TO A NEW OWNER.



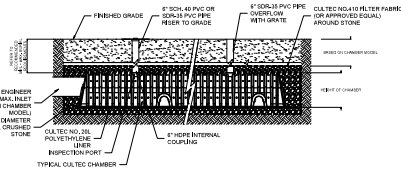
	ISSUED FOR TOWN REVIEW 1/12/22
	CARL MULLER
	35 WRIGHT STREET WESTPORT, CONNECTICUT
	DRAINAGE PLAN
CIVIL ENGINEERS	1913 pmh
FAIRFIELD COUNTY ENGINEERING L.L.C.	1 OF 2
40 WHEELER STREET, NORWALK, CONNECTICUT 06858 PH: (203) 831-8000 FAX: (203) 831-8000	1913_21122601.dwg

FCE Project#	1913	Date Performed:	9/23/09
Client:	Carl Muller		
Reference:	35 Wright Street, Westport		
Observed by:	Others		
Test Hole 1:	0.00' Unconsolidated Soil 29.20' Original Topsoil Layer 29.40' Orange/Brown Silty Loam 43.60' Brown Silty Loam and Fine Sand No Obstructions No Ledges Rads to 60"		

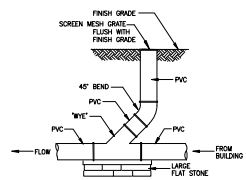
Conducted by:	Others	Project:	1913		
Location:	35 Wright Street	Town:	Westport		
Client:	Carl Muller	Date:	12/13/2021		
Weather conditions prior to and during tests:	Unknown				
Single Lot:	X	Subdivision:			
Number of holes:	6"	Depth of hole:	4.0'		
PT.1	200' for 1 use @ 60' for final design				
Pre-soak @ 9:30 AM					
Time	Time	Drop to	Drop in	Soil Description	Notes
9:45 AM	30"	Water	inches		
9:47 PM	2 Min	42"	6"	0.3 Min	Refill to 30"
9:50 AM		35"			
9:52 AM	2 Min	41"	6"	0.3 Min	



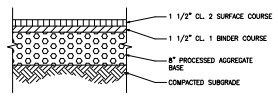
CULTEC RECHARGER 330XLHD
TYPICAL CROSS SECTION



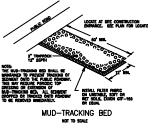
NUMBER OF UNITS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
CULTEC INSPECTION PORT AND OVERFLOW
(AS APPLICABLE)



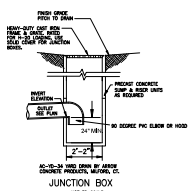
TYPICAL CLEANOUT
NOT TO SCALE



DRIVEWAY PAVEMENT
NOT TO SCALE




MUD-TRACKING BED
NOT TO SCALE




JUNCTION BOX
NOT TO SCALE



SLIT FENCE
NOT TO SCALE



12-26-21
Date



ISSUED FOR TOWN REVIEW 1/12/22

CARL MULLER
35 WRIGHT STREET
WESTPORT, CONNECTICUT

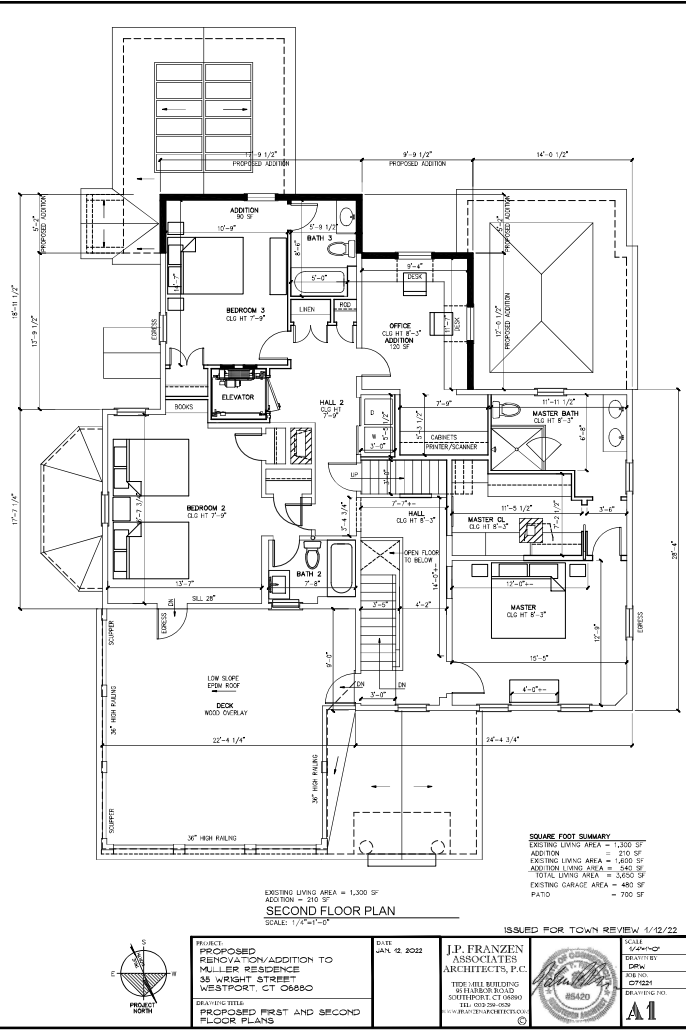
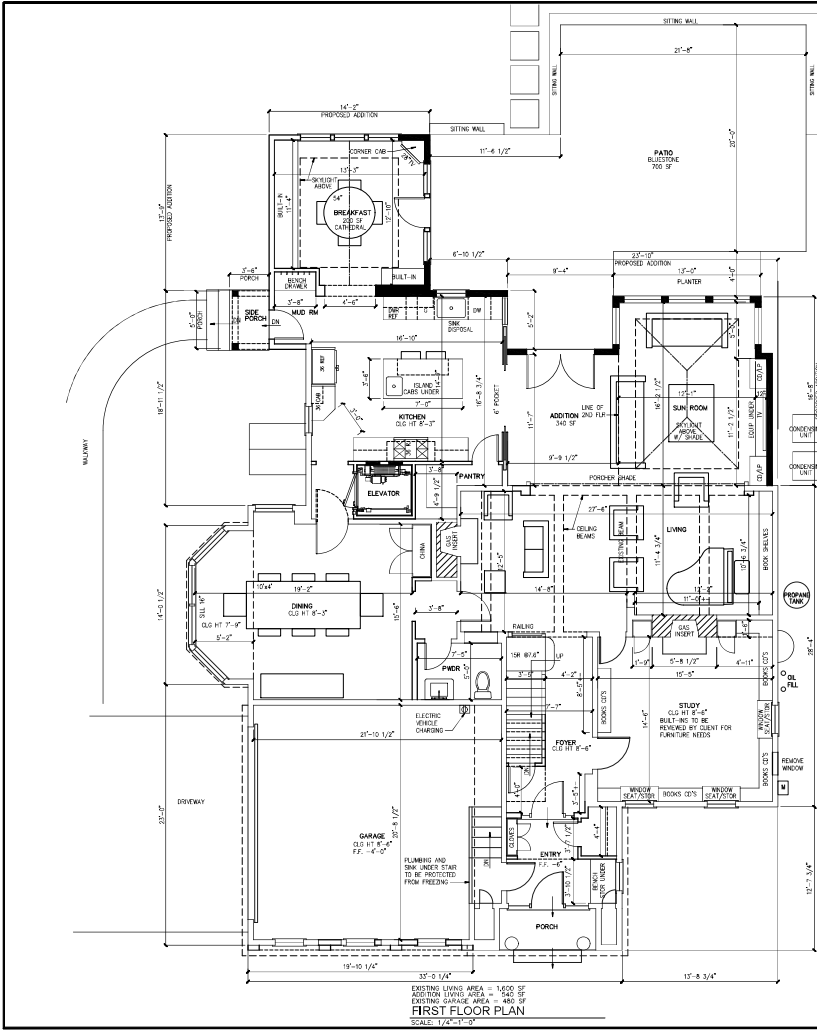
DETAIL SHEET

CIVIL ENGINEERS

1913
JOB#

2 OF 2
SHEET

FAIRFIELD COUNTY ENGINEERING L.L.C.
60 WHIPPLE STREET, NORWALK, CONNECTICUT 06858 POC (203) 831-8000 FAX (203) 831-8000



PROJECT:
 PROPOSED RENOVATION/ADDITION TO
 MILLER RESIDENCE
 38 WRIGHT STREET
 WESTPORT, CT 06880

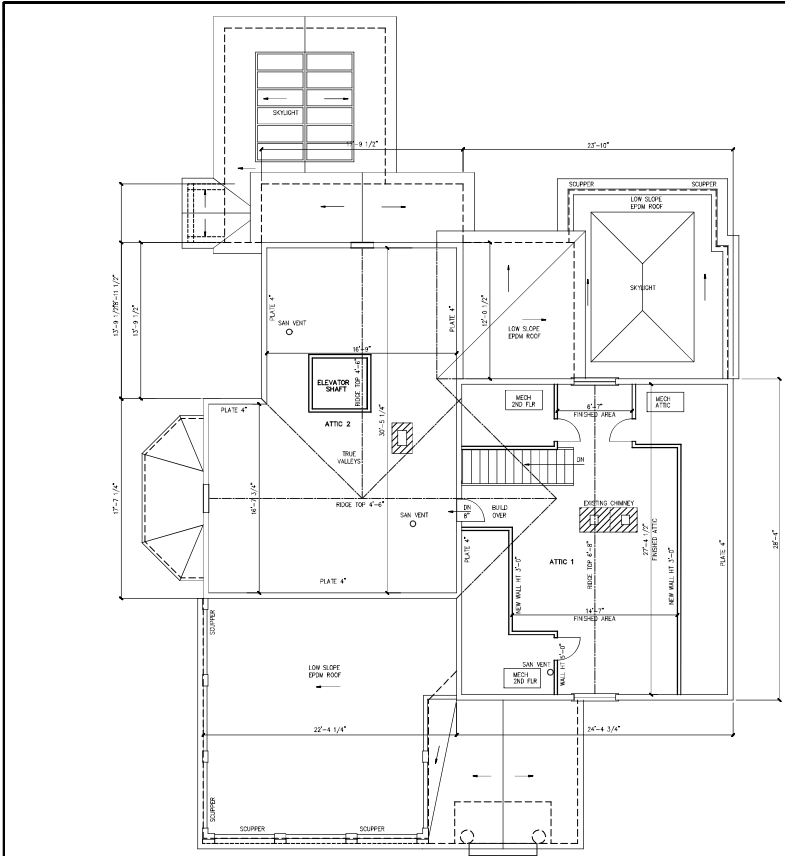
DATE:
 JAN 12, 2022

ISSUED FOR TOWN REVIEW 1/12/22

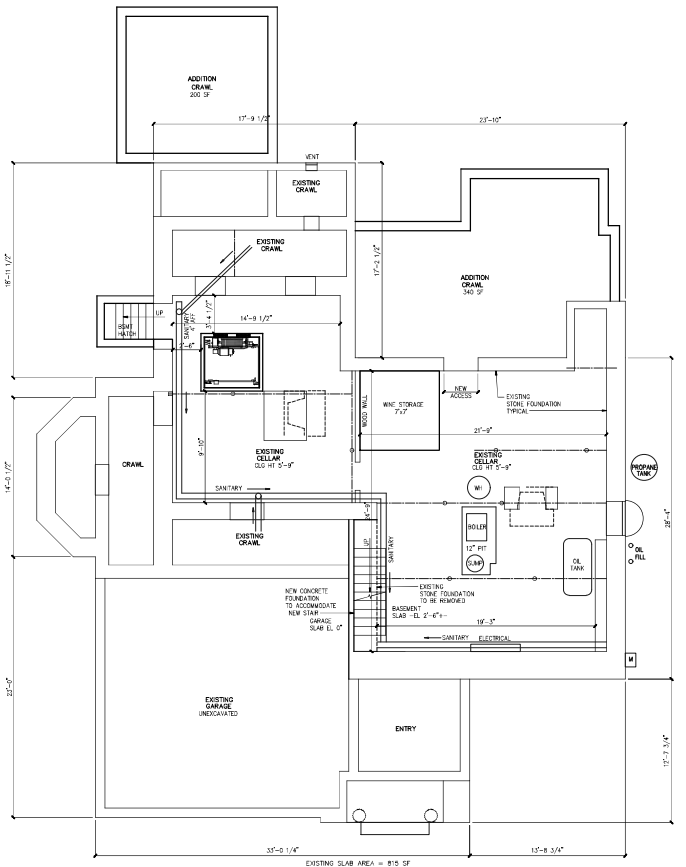
J.P. FRANZEN
 ARCHITECTS, P.C.
 100 THE BIRCHING
 BULLHURST ROAD
 WESTPORT, CT 06880
 TEL: 010 290-0029
 WWW.JPFRANZENARCHITECTS.COM



A1



ATTIC PLAN
SCALE: 1/4"=1'-0"



EXISTING SLAB AREA = 815 SF
ADDITION CROSSIT = 240 SF
CELLAR PLAN
SCALE: 1/4"=1'-0"



PROJECT:
PROPOSED RENOVATION/ADDITION TO
MULLER RESIDENCE
38 WRIGHT STREET
WESTPORT, CT 06880

DATE:
JAN 12, 2022

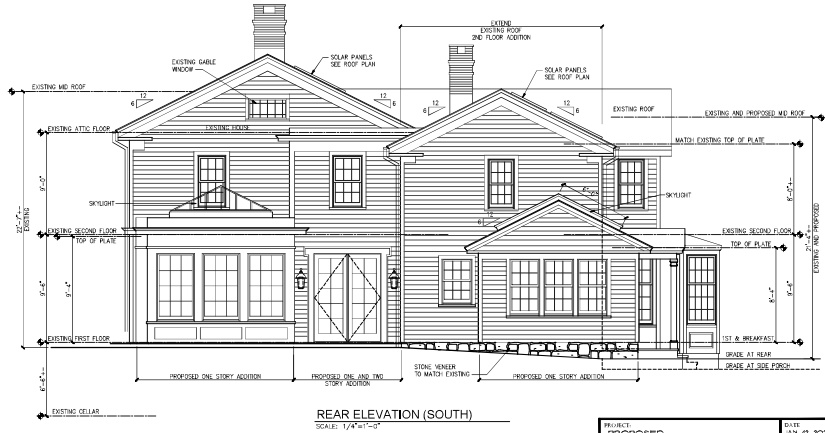
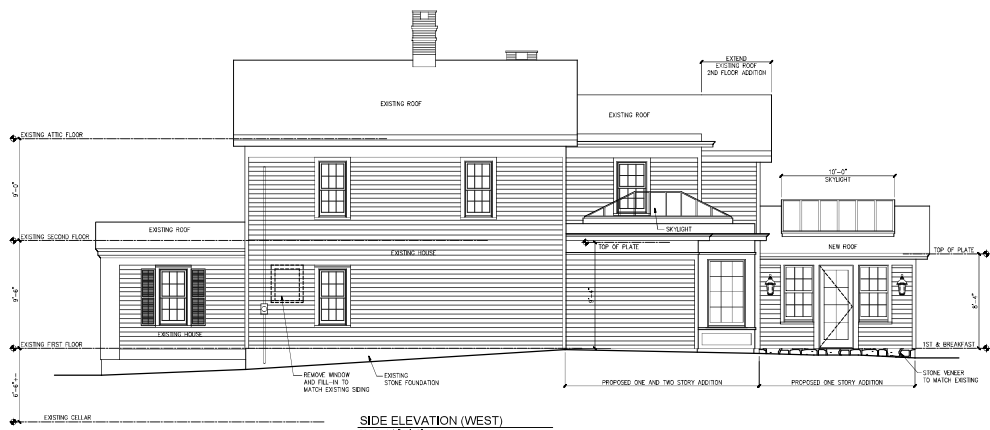
SEALING TITLE:
PROPOSED
CELLAR AND ATTIC PLANS

ISSUED FOR TOWN REVIEW 1/12/22


J.P. FRANZEN ASSOCIATES, P.C.
100 THE BIRCHING
SHELDON ROAD
WESTPORT, CT 06880
TEL: 010-200-0000
WWW.FRANZENARCHITECTS.COM



SCALE:
DRAWING:
DATE:
DRAWING NO.:

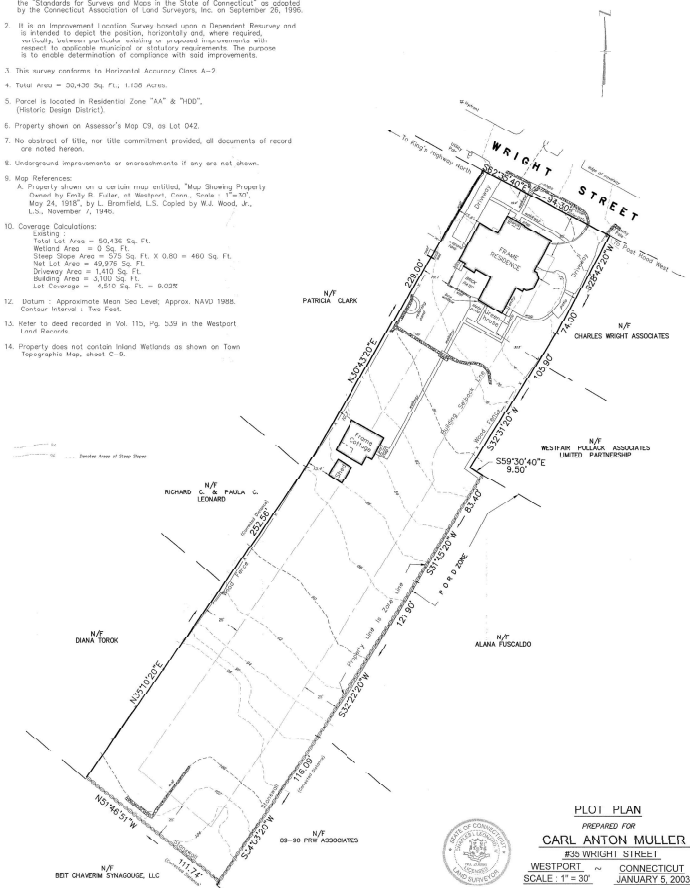


- EXTERIOR MATERIALS**
- 1. WALL BOND:**
EXTERIOR BOND SHALL BE CLEAR RED BRICK
LOW GLAZING WITH 0-1\"/>
 - 2. ROOF:**
ROOF SHINGLES 5/8\"/>
 - 3. TRIM AND CASINGS:**
WOOD TRIM OR MIMICRY PAINTED SOFT GLOSS
 - 4. WINDOWS/DOORS:**
PAINTED WOOD WINDOWS DOUBLE HUNG
& CASSETT AND FRENCH DOORS WITH INSULATED
GLASS AND 0-2\"/>
 - 5. GUTTERS AND LEAKERS:**
RED COPPER GUTTER TO BE 5 1/2\"/>
 - 6. FLASHING:**
CORNER FLASHING (RED FINISH)
 - 7. PATIOS AND WALKS:**
SELECTIVE
 - 8. STONE WALLS:**
SELECTIVE
TO MATCH EXISTING RETAINING WALL
 - 9. FOUNDATIONS:**
HOUSE ADDITION AND OUTAGE TO BE
STONE VENEER TO MATCH EXISTING
 - 10. CHIMNEY/COTTAGE:**
STONE FOUNDATION
BRICK RED
 - 11. FENCE:**
STEEL FENCE WOOD CEDAR PAINTED 3\"/>
 - 12. BASEMENT CONSTRUCTION:**
COTTAGE CONCRETE CONSTRUCTION
SIMULATE WOOD LOOK

PROJECT: PROPOSED RENOVATION/ADDITION TO MILLER RESIDENCE 38 WRIGHT STREET WESTPORT, CT 06880		DATE: JAN 12, 2022	ISSUED FOR TOWN REVIEW 1/12/22
DRAWING TITLE: PROPOSED SOUTH AND WEST EXTERIOR ELEVATIONS		ARCHITECT: J.P. FRANZEN ASSOCIATES, P.C. 1000 HILL BURNING BELLEVILLE ROAD WESTPORT, CT 06880 TEL: 010-290-4029 WWW: JPFANZENARCHITECTS.COM	SCALE: SHEET NO: DATE: DRAWN BY: CHECKED BY: APPROVED BY: 

NOTES

- This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 19-200a-1 through 19-200a-23 and the Standards for Surveys and Maps in the State of Connecticut, as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1995.
- If it is an Improvement Location Survey based upon a Deed and Boundary and is intended to depict the position, horizontality and, where required, verticality, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
- This survey conforms to Horizontal Accuracy Class A-2
- Total Area = 30,436 Sq. Ft.; 1.106 Acres.
- Parcel is located in Residential Zone "AA" & "HDD", (Historic Design District).
- Property shown on Assessor's Map D9, as Lot 042.
- No abstract of title, nor title commitment provided, all documents of record are noted hereon.
- Underground improvements or encroachments if any are not shown.
- Map Reference:
A. Property shown on a satellite image entitled, "Map Showing Property Owned by Carl A. Muller, et al. Westport, Town, Section 1-1-101", May 24, 1987, by L. Bramble, L.S., Copied by W.J. Wood, Jr., L.S., November 7, 1946.
- Corner Calculations:
Existing :
Total Lot Area = 60,436 Sq. Ft.
Wetland Area = 0 Sq. Ft.
Slope/Side Area = 325 Sq. Ft. @ 0.80 = 460 Sq. Ft.
Net Lot Area = 49,975 Sq. Ft.
Driveway Area = 1,433 Sq. Ft.
Building Area = 3,192 Sq. Ft.
Lot Coverage = 4.42% Sq. Ft. = 0.02%
- Datum : Approximate Mean Sea Level, Approx. NAVD 1985, Contour Interval : Two Feet.
- Refer to deed recorded in Vol. 115, Pg. 539 in the Westport Town Records.
- Property does not contain Inland Wetlands as shown on Town Topographic Map, sheet C-9.



PLAT PLAN
 PREPARED FOR
CARL ANTON MULLER
 #30 WRIGHT STREET
 WESTPORT IN CONNECTICUT
 SCALE: 1" = 30'
 JANUARY 5, 2022
LEONARD SURVEYORS, LLC
 "CERTIFIED SUBSTANTIALLY CORRECT"
 CLASS A & ADVISORY
Charles Leonard
 SURVEYOR L. LEONARD No. 12345, CONN. REG. NO. 20008

GRAPHIC SCALE
 0 10 20 30 40 50
 FEET

LEONARD SURVEYORS, LLC
 100 WESTPORT AVENUE
 WESTPORT, CT 06891
 TEL: 860-294-1234
 FAX: 860-294-5678
 WWW.LEONARDSURVEYORS.COM

DATE	REVISION TABLE

PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 30 WRIGHT STREET WESTPORT, CT 06891		DATE: JAN. 5, 2022	ISSUED FOR TOWN REVIEW 1/12/22
DRAWING TITLE: EXISTING A-3 SURVEY		J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. 100 W. WRIGHT ST. WESTPORT, CT 06891 TEL: 860-294-1234 FAX: 860-294-5678	SCALE: DRAWN BY: CHECKED BY: DATE: CITY: STATE: COUNTY: DELIVER TO: EXS1

MULLER RESIDENCE 35 WRIGHT STREET



SITE HOUSE (LOOKING NORTH)



SITE COTTAGE (LOOKING SOUTH)

MULLER RESIDENCE 35 WRIGHT STREET



SIDE (EAST)



REAR (SOUTH)



STREET (NORTH) AND SIDE (WEST)



SIDE (EAST)

MULLER RESIDENCE 35 WRIGHT STREET



COTTAGE SHED (WEST)



COTTAGE FRONT (EAST)



SHED FRONT (EAST)

