



WESTPORT™

JOINT COMMITTEE PUBLIC MEETING
(Historic District Commission and Architectural Review Board)

NOTICE AND AGENDA
Tuesday, February 1, 2022, 7:00 PM
AGENDA

Meeting ID: 881 5354 4808
Passcode: 245492
Dial by your location
+1 646 876 9923 US (New York)

Join Zoom Meeting
<https://us02web.zoom.us/j/88153544808?pwd=T3VHQmhlUGViM0dHemJlb2RrTGphZz09>

Notice is hereby given that the Joint Committee of the Historic District Commission and the Architectural Review Board will hold an electronic public meeting on **Tuesday, February 1, 2022** at 7:00 PM for the following purpose:

1. To approve minutes from the January 4, 2022 meeting.
2. To review and comment on the proposed demolition and construction of exterior storefront façade and doors at **160 – 184 Main Street** (PID# C10//140/000) submitted by Kimberly Coca, Heitler Houstoun Architects for property owned by Hulbert Thomas F EST OF C/O Harding & Carbone Inc. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
3. To adjourn the meeting.

Special Notice Regarding This Electronic Meeting:

There will be no physical location for this meeting. This meeting will be held electronically. Telephone and Zoom video participation details are above. Comments from the public will be received during the public meeting. A copy of the applications and Joint Committee agenda for the meeting is available on-line at www.westportct.gov and on the Town Calendar web page under February 1, 2022.

Bill Harris, HDC Chairman
Ward French, ARB Chairman
January 25, 2022

It is the policy of the Town of Westport that all Town-sponsored public meetings and events are accessible to people with disabilities. If you need assistance in participating in a meeting or event due to a disability as defined under the Americans with Disabilities Act, please contact Westport's ADA Coordinator at 203-341-1043 or eflug@westportct.gov at least three (3) business days prior to the scheduled meeting or event to request an accommodation.



WESTPORT™

JOINT COMMITTEE PUBLIC MEETING
(Historic District Commission and Architectural Review Board)

Tuesday, January 4, 2022, 7:00 PM
DRAFT MINUTES

Members Present:

David Mann, ARB Member

Bill Harris, HDC Co-Chair

Scott Springer, HDC Member

Wendy Van Wie, HDC Member

Martha Eidman, HDC Member

Staff Present:

Donna Douglass, HDC Administrator

Notice is hereby given that the Joint Committee of the Historic District Commission and the Architectural Review Board held an electronic public meeting on **Tuesday, January 4, 2022** at 7:00 PM for the following purpose:

1. To approve minutes from the December 7, 2021 meeting.
MOTION (made by Eidman): To approve the minutes of the December 7, 2021 meeting.
SECOND: Mann
SEATED: Eidman, Mann
VOTE: Unanimously approved
- ~~2. To review and comment on the proposed new Main Street tunnel submitted by Miggs Burroughs for property owned by the Town of Westport. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.~~
Withdrawn by applicant.
3. To review and comment on the proposed new addition and windows at **10 Bay Street** (PID# C09//156/000) submitted by Nick DeMaio, Philip Cerrone Architect for property owned by 10 Bay Street Property LLC. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.
MOTION (made by Eidman): To approve the revised application as submitted for the proposed new addition and windows at 10 Bay Street (PID# C09//156/000) submitted by Nick DeMaio, Philip Cerrone Architect for property owned by 10 Bay Street Property LLC..
SECOND: Harris
SEATED: Mann, Harris, Springer, Van Wie, Eidman
VOTE: Unanimously approved
4. To review and comment on the proposed new signage and awning at **40 Post Road East/21 Jesup Road** (PID# C09//153/000) submitted by John Massari, Accent Signs & Awnings for property owned by Winwest Post LLC/Win Properties Inc. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.

MOTION (made by Harris): To approve a modified version of the application posted in the agenda/meeting packet presented live during the meeting as a compliance alternative for the proposed new signage and awning at 40 Post Road East/21 Jesup Road (PID# C09//153/000) submitted by John Massari, Accent Signs & Awnings for property owned by Winwest Post LLC/Win Properties Inc.

SECOND: Springer

SEATED: Mann, Harris, Springer, Van Wie, Eidman

VOTE: Unanimously approved

5. To review and comment on the proposed façade renovation at **139 Main Street** (PID# C10//081/000) submitted by Frederick William Hoag Architect for property owned by KMD RE LLC. Comments offered at the meeting will be considered in anticipation of further zoning review and approvals.

MOTION (made by Mann): To approve the proposed application with the railing being code compliant and complementary to the existing iron work with a preference to maintain the current iron work if possible for the façade renovation at 139 Main Street (PID# C10//081/000) submitted by Frederick William Hoag Architect for property owned by KMD RE LLC.

SECOND: Harris

SEATED: Mann, Harris, Springer, Van Wie, Eidman

VOTE: Unanimously approved

6. To adjourn the meeting.

Meeting Adjourned at 7:49 PM

Bill Harris, HDC Chairman
Ward French, ARB Chairman
January 5, 2022

Village District Overlay (VDO) Zone Westport Center §36;

The purpose of this Village District Overlay (VDO) is to protect the distinctive character, landscape, and historic structures and development pattern within this Village District while encouraging a mixed use, walkable district that is attractive to residents, employees, and visitors. New construction or substantial rehabilitation in the Village District should be compatible with the existing character of the district and reinforce both the existing development patterns and connections to the Saugatuck River. (See copy of Westport Regulations §36-2 attached 9pgs)

JOINT COMMITTEE
REVIEW and RECOMMENDATION

PROPERTY ADDRESS: 160-184 Main Street, Westport, CT 06881

OWNER OF RECORD: IA Thomas Hulbert TR Daytime Tel #: 860-616-1392

OWNER'S ADDRESS: C/O Cushman & Wakefield, 51 Trumbull St Hartford, CT 06103 E-mail: Kim.Neilander@cushwake.com

APPLICANT'S NAME (if different): _____ Daytime Tel #: _____

If the applicant is unable to obtain property owner's signature, submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: _____ E-mail: _____

Kim Neilander Cushman & Wakefield U.S, Inc. subagent for Bank of America, N.A. as
agent for: Bank of America

Property Owner's Signature

Legal Representative Signature (As authorized by owner)

Required Review and Approvals for Properties Located in the VDO Zone:

- Certificate of Appropriateness (if property is located within a local historic district or designated a local historic property)
- Joint Committee Review and Recommendation of proposed design plans
- Compliance Alternative for Joint Committee Review (if applicant requests consideration of an alternative approach that satisfies the intent of the design principles but is not in compliance with design standards)
- Site Plan Approval by the Planning and Zoning Commission

Prior to Joint Committee Review and Recommendation Meeting, please submit the following: (Call for Meeting dates)

This application completed and the following required materials to Historic District Commission Office, Room108 203-341-1184.

- Submit a narrative, describing the project, including construction details, proposed materials and how the improvements are consistent with the style or how the improvements vary, a rationale of why the variation should be, approved under Sec 36-2.2.
- Seven (7) copies of the Historic Resources Inventory Form if the property is listed; (Available in HDC Office)
- Seven (7) copies of Site Plan (11" x 17").
- Seven (7) copies of Existing Style of the Building and
- Seven (7) copies of scaled Building Plans, including Existing Conditions Plans and Proposed Plans. (11" x 17").
- Seven (7) complete sets of photos showing the original Building(s) (if applicable), include photos of the Buildings to either side of the proposed project and the view from across the street. A contrasting demonstration of the Existing Building in current Streetscape and the Proposed Building within context of its surroundings.
- Also, submit such other material deemed appropriate by applicant to enable the Joint Committee to evaluate the design.
- E-mail an Electronic Version of ALL your submitted materials to ddouglass@westportct.gov

Joint Committee Recommendations to P&Z Commission are; _____

Joint Committee Chair's Signature: _____ Date: _____

VUORI WESTPORT

166 MAIN STREET
WESTPORT, CT 06880



T.000
COVER

DRAWING INDEX

T.000	COVER, DRAWING INDEX, BUILDING INFORMATION
A.100	SITE PLAN
A.101	PHOTOS OF EXISTING STOREFRONT
A.102	NEIGHBORING BUILDINGS
A.103	EXISTING EXTERIOR ELEVATION
A.104	PROPOSED EXTERIOR ELEVATION
A.105	SECTIONS THROUGH PROPOSED STOREFRONT
A.106	PROPOSED STOREFRONT MATERIALS
A.107	PROPOSED STOREFRONT RENDERINGS
A.201	1ST FLOOR DEMOLITION PLAN
A.202	1ST FLOOR CONSTRUCTION PLAN

BUILDING INFORMATION

PROJECT NAME: VUORI WESTPORT (VUWP)
ADDRESS (BUILDING) : 184 MAIN STREET, WESTPORT, CT 06880
ADDRESS (PROJECT SPACE) : 166 MAIN STREET, WESTPORT, CT 06880

PROJECT SCOPE:

2,973 SF TENANT BUILD OUT OF EXISTING RETAIL SPACE. SCOPE OF WORK INCLUDES DEMOLITION AND CONSTRUCTION OF EXTERIOR STOREFRONT FACADE AND DOORS; INTERIOR NON-LOAD BEARING PARTITIONS, LIGHTING, ELECTRICAL, PLUMBING, MECHANICAL, SPRINKLER, FIRE ALARM AND FINISHES.

NO CHANGE TO EXISTING OCCUPANCY, USE OR EGRESS.

BUILDING PLANNING:

OWNER: HULBERT THOMAS F EST OF
CO OWNER: C/O HARDING & CARBONE INC
ZONING MAP: BCD
PARCEL: C10140000
LOT FRONTAGE: 149'-0"
LOT DEPTH: VARIES - ANGLED LOT (62'-112')

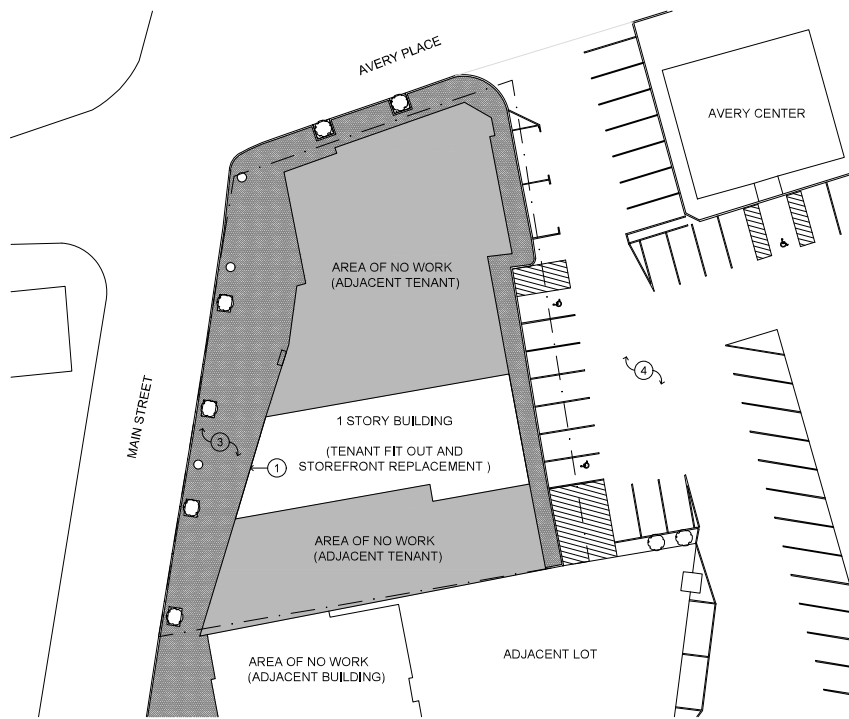
ZONING DISTRICT: BCD (BUSINESS CENTER DISTRICT) & VDO (VILLAGE DISTRICT OVERLAY)
HISTORIC DISTRICT: VILLAGE OVERLAY DISTRICT
HISTORICAL ZONING MAPS: VDO (VILLAGE DISTRICT OVERLAY)
BUILDING IS NOT LISTED ON THE HISTORIC RESOURCES INVENTORY

NUMBER OF BUILDINGS: 1
NUMBER OF FLOORS: 1 STORY & BASEMENT
YEAR BUILT: 1948
YEAR REMODELED: 2012
BUILDING USE: RETAIL
PRIMARY LAND USE: 320-RETAIL

GROSS FLOOR AREA: 12,560 SQ. FT
RESIDENTIAL UNITS: NONE
TOTAL # OF UNITS: 5 RETAIL UNITS

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22





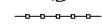

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.553.4250 F: 212.553.4251
WWW.HEITLERHOUSTONARCHITECTS.COM



SITE PLAN KEYNOTES

- ① LOCATION OF NEW STOREFRONT WITHIN EXISTING OPENING.
- ② NOT USED.
- ③ EXISTING PAVING, LANDSCAPE & SITE FURNITURE TO REMAIN.
- ④ EXISTING PARKING & SERVICE, ENTRY TO REMAIN.

SITE PLAN LEGEND

-  EXISTING PAVING
-  EXISTING PARKING LOT
-  EXISTING BUILDING FOOTPRINT
-  EXISTING TREE
-  EXISTING FENCE
-  PROPERTY LINE

A.100
SITE PLAN

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22
SCALE: 1/32"=1'-0"

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.553.4250 F: 212.553.4251
WWW.HEITLERHOUSTON.COM



A.101

PHOTOS OF EXISTING STOREFRONT

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1,21.22

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET NEW YORK, NY 10018
T: 212.553.4250 F: 212.553.4251
WWW.HEITLERHOUSTON.COM



NEIGHBORING BUILDINGS - KEY



1
NEIGHBORING BUILDINGS



2
NEIGHBORING BUILDINGS - NORTH



3
NEIGHBORING BUILDINGS - SOUTH



4
NEIGHBORING BUILDINGS - SOUTH



5
NEIGHBORING BUILDINGS - SOUTH



6
NEIGHBORING BUILDINGS - OPPOSITE VIEW



7
NEIGHBORING BUILDINGS - OPPOSITE VIEW

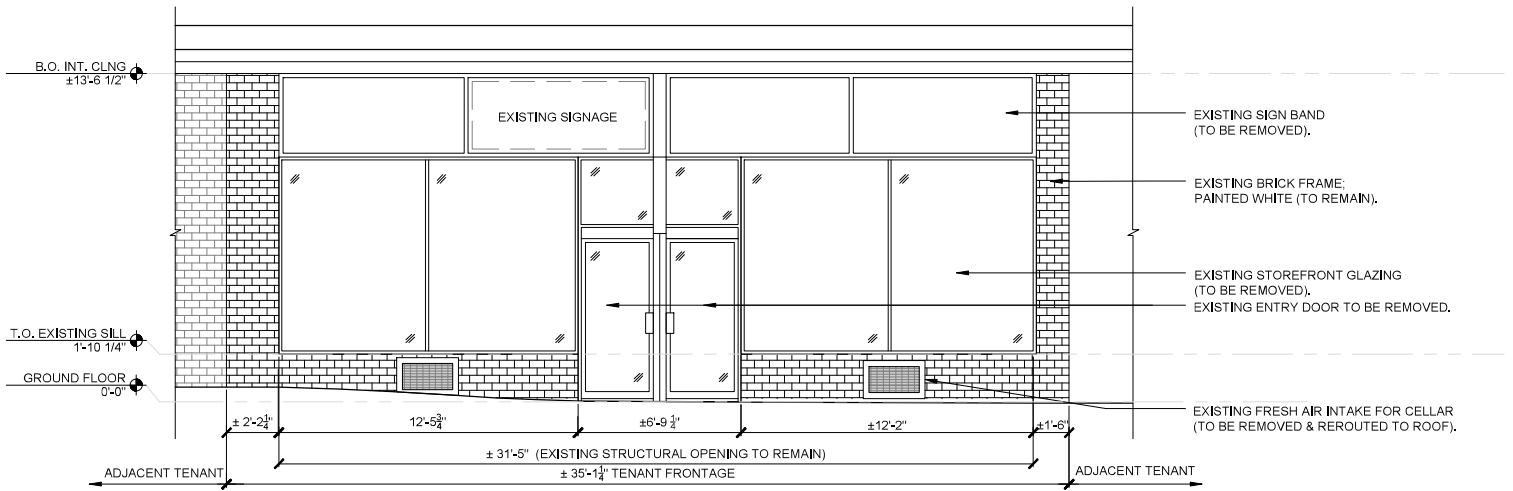


8
NEIGHBORING BUILDINGS - OPPOSITE VIEW

A.102
NEIGHBORING BUILDINGS

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22

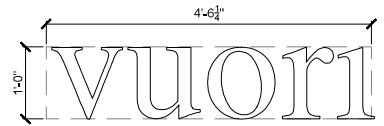
**HEITLER
HOUSTON**
ARCHITECTS
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.553.4250 F: 212.553.4251
WWW.HEITLERHOUSTON.COM



A.103
EXISTING EXTERIOR ELEVATION

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22
SCALE: 1/4"=1'-0"

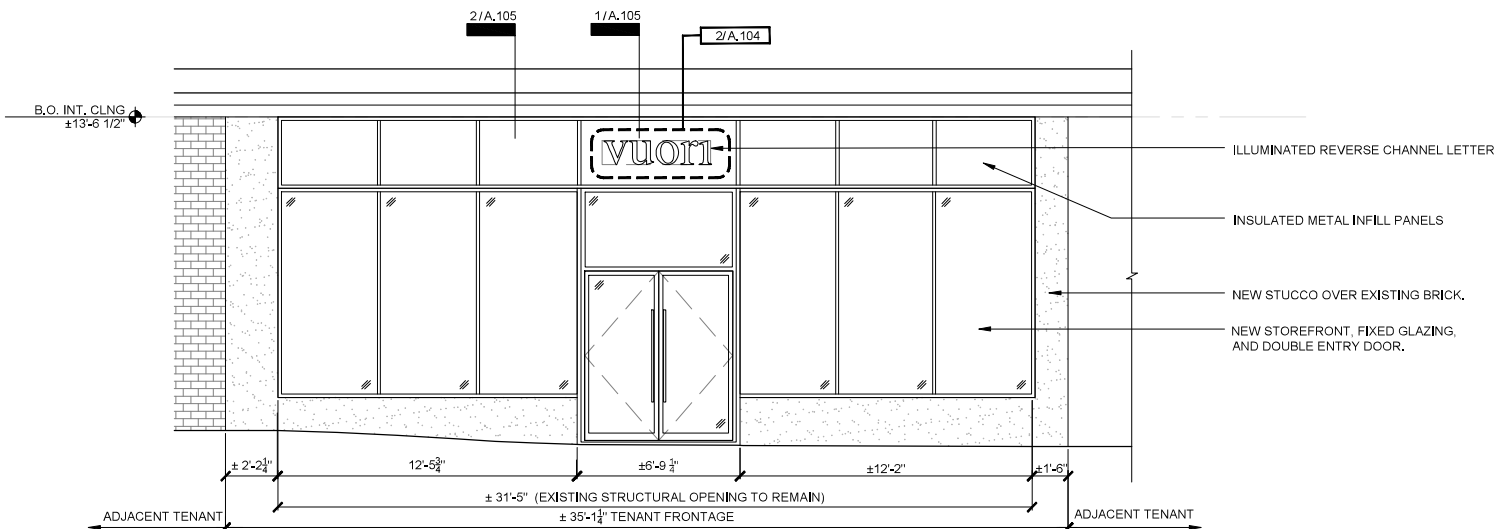




2

SIGNAGE

3/4" = 1'-0"



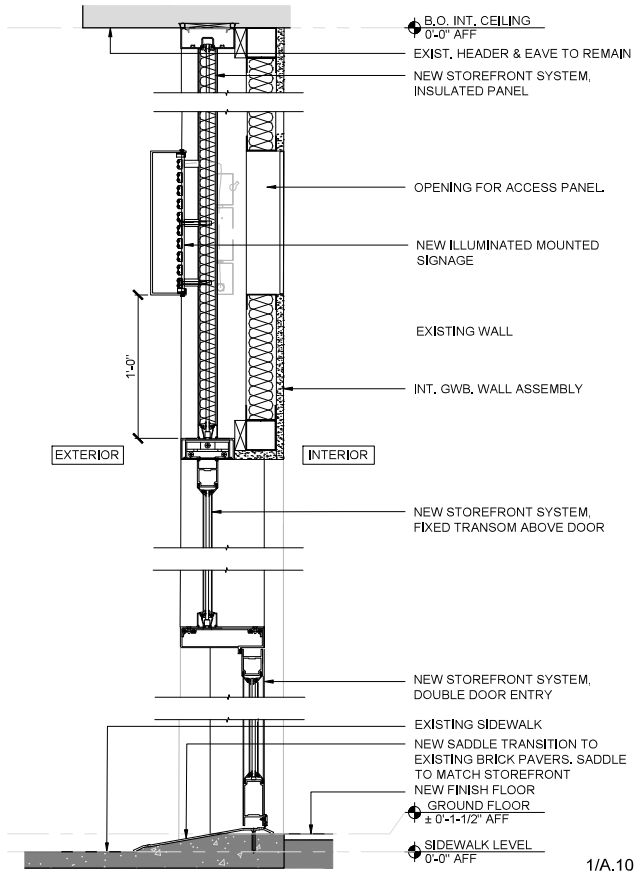
A.104

PROPOSED EXTERIOR ELEVATION

166 MAIN STREET, WESTPORT, CT 06880
 AKA 184 MAIN STREET
 1.21.22

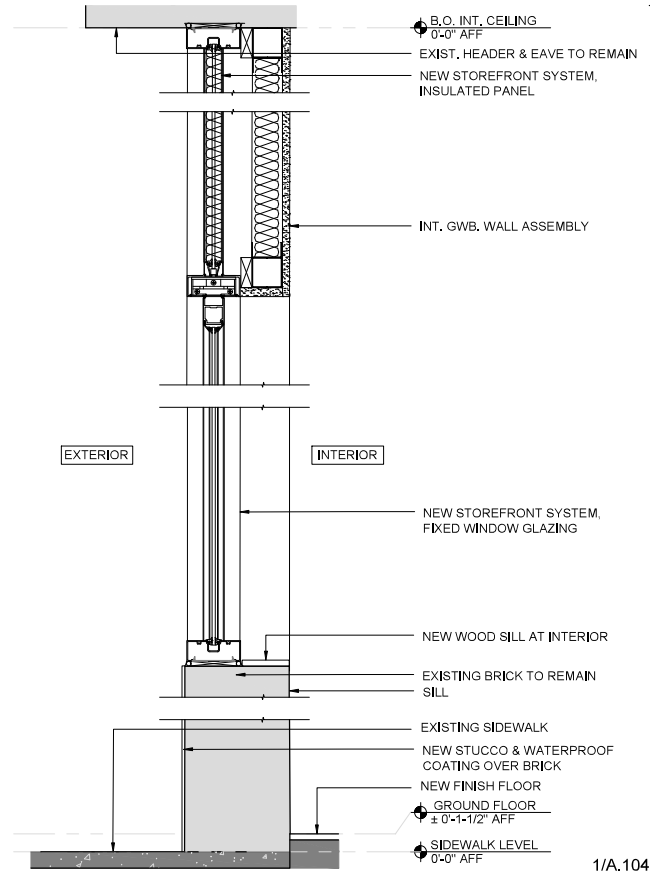
SCALE: 1/4"=1'-0"

**HEITLER
 HOUSTON
 ARCHITECTS**
 15 W 36TH STREET, NEW YORK, NY 10018
 T: 212.553.4250 F: 212.553.4251
 WWW.HEITLERHOUSTON.COM



1
STOREFRONT SECTION AT DOOR

1/2" = 1'-0"



2
STOREFRONT SECTION AT WINDOW

1/2" = 1'-0"

A.105

SECTIONS THROUGH PROPOSED STOREFRONT

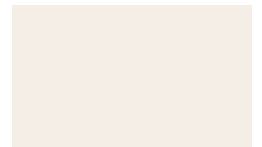
166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22

SCALE: 1"=1'-0"

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.533.4250 F: 212.533.4251
WWW.HEITLERHOUSTON.COM



STOREFRONT MULLION AND
METAL PANEL FINISH: BLACK
ANNODIZED



FINE STUCCO FINISH: STO
16003

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1,21.22

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.533.4250 F: 212.533.4251
WWW.HEITLERHOUSTON.COM

A.106

PROPOSED STOREFRONT MATERIALS

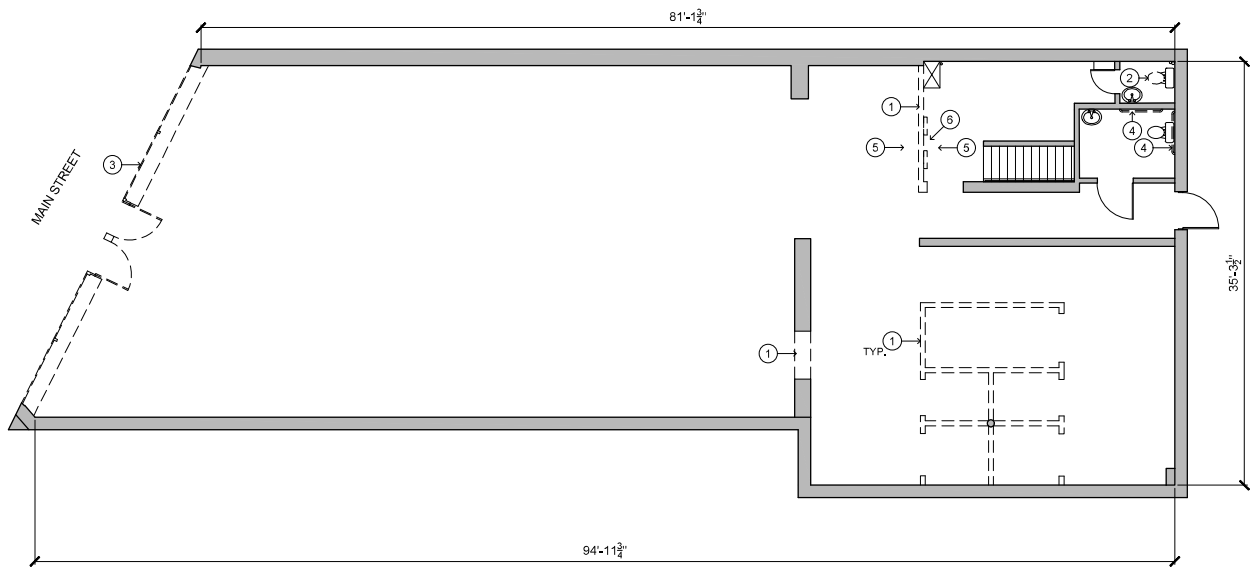


A.107

PROPOSED STOREFRONT RENDERING

166 MAIN STREET, WESTPORT, CT 06880
AKA 184 MAIN STREET
1.21.22

**HEITLER
HOUSTON
ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
T: 212.553.4250 F: 212.553.4251
WWW.HEITLERHOUSTONARCHITECTS.COM



DEMOLITION PLAN KEYNOTES

- ① REMOVE EXISTING INTERIOR PARTITION WALL.
- ② REMOVE EXISTING PLUMBING FIXTURE.
- ③ REMOVE EXISTING STOREFRONT AND DOORS, SEE EXTERIOR ELEVATIONS, EXISTING BRICK BELOW SILL AND AT PIERS TO REMAIN.
- ④ REMOVE EXISTING GRAB BARS.
- ⑤ REMOVE EXISTING POWER RECP TACLE
- ⑥ REMOVE EXISTING DATA

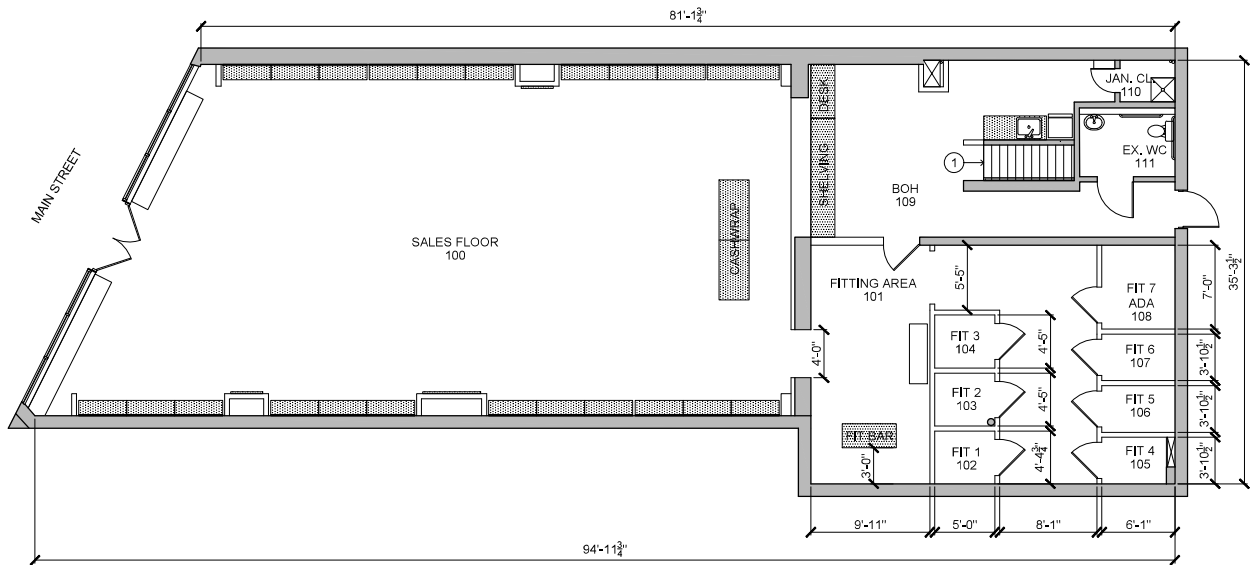
166 MAIN STREET, WESTPORT, CT 06880
 AKA 184 MAIN STREET
 1.21.22

SCALE: 1/8"=1'-0"

**HEITLER
 HOUSTON
 ARCHITECTS**
 15 W 36TH STREET, NEW YORK, NY 10018
 T: 212.553.4250 F: 212.533.4251
 WWW.HEITLERHOUSTON.COM

A.201

1ST FLOOR DEMOLITION PLAN



CONSTRUCTION PLAN KEYNOTES

- ① EXISTING STAIRS TO RETAIL STORAGE AT CELLAR BELOW.

A.202

1ST FLOOR CONSTRUCTION PLAN

166 MAIN STREET, WESTPORT, CT 06880
 AKA 184 MAIN STREET
 1.21.22

SCALE: 1/8"=1'-0"

**HEITLER
 HOUSTON
 ARCHITECTS**
15 W 36TH STREET, NEW YORK, NY 10018
 T: 212.553.4250 F: 212.553.4251
 WWW.HEITLERHOUSTON.COM

Historic Residential Structures Special Permit §32-18

The purpose of this regulation is to further the preservation, rehabilitation, restoration, reconstruction and/or adaptive re-use of historic residential structures and associated historic accessory structures in Westport residential districts. The Planning and Zoning Commission may, by grant of a Special Permit/HRS, authorize the use, setback, height and coverage incentives of this section in those circumstances where applicable zoning regulations have the practical effect of discouraging the preservation historic buildings and historic accessory structures.

JOINT COMMITTEE - ARB/HDC

Historic Residential Structures Special Permit §32-18

REVIEW AND RECOMMENDATION

Date: 01/26/2022

PROPERTY ADDRESS: 35 WRIGHT STREET

OWNER OF RECORD: HELEN MULLER, REVOCABLE TRUST Daytime Tel: c/o 203-454-8008

OWNER'S ADDRESS: C/O LAND USE CONSULTANTS 131 KINGS HWY N. WESTPORT Email: C/O GLORIA@LANDUSE-CT.COM

APPLICANT'S NAME (if different): GLORIA GOUVEIA, LAND USE CONSULTANTS & JACK FRANZEN, ARCHITECTS Daytime Tel: 203-454-8008

If the applicant is unable to obtain property owner's signature, please submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: 131 KINGS HIGHWAY NORTH, WESTPORT, CT Email: GLORIA@LANDUSE-CT.COM

Property Owner's Signature

Legal Representative's Signature (As authorized by owner)

PLANNING & ZONING STAFF NOTIFICATION OF SPECIAL PERMIT APPLICATION

- Appears to comply
- Appears not to comply
- Need more information

P&Z Staff Name _____

Date of P&Z Review _____

SUBMIT this completed form and seven (7) folded sets of the following materials to the Historic District Commission

(HDC) Office, Room 108, 10 days prior to scheduled meeting. (Meetings are held the first Tuesday of the month).

- Site Plans (11" x 17")
- Narratives describing the project, including construction details and proposed materials
- Existing plans drawn to scale, size (11" x 17")
- Proposed building plans drawn to scale, size (11" x 17")
- An electronic copy of entire set of submission materials and application form sent to HDC staff administrator

BRING the following materials with you to the meeting:

- Contextual photos of the site and existing conditions
- Other such materials as the applicant may deem appropriate to enable the Joint Committee to evaluate the design of the proposed project

Joint Committee Recommendation to Planning and Zoning Commission:

Chair's Signature: _____

Date: _____

OWNER'S AUTHORIZATION

To Whom It May Concern:

As Owner of record of 35 Wright Street, Westport, CT 06880, I hereby authorize Gloria Gouveia d/b/a Land Use Consultants, and J.P. Franzen Associates, Architects to represent my interests in the matter of applications to and permits from the Town of Westport, CT 06880, for property located at 35 Wright Street, Westport, CT 06880.

Carl Anton Muller

20 September 2021

Cynthia M. Muller for Cynthia M. Muller Revocable Trust

DATE

THE CYNTHIA LEIDNER MULLER REVOCABLE TRUST AGREEMENT #1

DELEGATION OF AUTHORITY

WHEREAS, the Cynthia Leidner Muller Revocable Trust Agreement #1 (the "Trust") is a Pennsylvania trust governed by Trust Agreement dated March 30, 2012 (the "Trust Deed");

WHEREAS, Peter Rosenberg presently is the sole trustee of the Trust (the "Trustee");

WHEREAS, the Trust owns that certain residential real property located at 35 Wright Street, Westport, Connecticut 06880 (the "Property");

WHEREAS, Section 1 of Part III of the Trust Deed empowers the Trustee to employ legal and investment counsel, custodians, accountants and other agents for the transaction of any business of the Trust;

WHEREAS, the Trustee wishes to delegate to Carl Muller (the "Agent") authority to enter into any agreements or contracts with third parties, and to execute on behalf of the Trustee any and all documents necessary or desirable, for the construction, remodeling, or other physical improvement of the Property, subject to the restrictions and limitations set forth herein, and the Agent wishes to accept such delegation of authority.

NOW, THEREFORE, in consideration of the foregoing, the Trustee hereby delegates as follows:

1. The Trustee hereby delegates to the Agent authority to enter into any agreements or contracts with third parties (including, but not limited to, architects and contractors), and execute any and all documents necessary or desirable, on behalf of the Trustee in regard to the construction, remodeling, or other physical improvement of the Property.

2. This Delegation of Authority shall remain in effect until revoked by written instrument signed by the Trustee and delivered to the Agent. Any third party without actual notice of the revocation of this Delegation of Authority shall be entitled to assume that it is in full force and effect.

3. This Delegation of Authority may be executed by facsimile, email or other electronic transmission and in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

4. The Agent hereby accepts the foregoing delegation subject to the terms and conditions set forth above.

5. This Delegation of Authority shall be governed by the laws of the Commonwealth of Pennsylvania, and shall be effective as of the date set forth below.



PETER ROSENBERG, Trustee 6/24/2021
Date



CARL MULLER, Agent 6/28/2021
Date

35 WRIGHT ST - NARRATIVE

We are proposing a comprehensive rehabilitation project for this property.

The main house was built ca.1845 by Zalman Sanford, who is shown as owner on the 1855 map of Westport. The building is a two-story, 3-bay-by-2-bay Greek Revival style residence.¹

The property is located between the Post Rd. West and Orchard Lane, on the South side of Wright St. The lot is long and narrow and slopes gently up to the South. The slope is bifurcated by a low stone wall between the house and cottage.

The main house is located only about 30' from the public way as was typical of the period. A cottage of uncertain age is located to the rear of the house, about 200' from the public way and close to the Westerly property line, affording a clear view of the depth of the lot and gardens from the main house. Originally the home consisted of a main gable facing Wright St. with an "El" addition on the left side. At some point another rear facing gable was added on the rear of the "El". There was an also addition to the main house built in the late twentieth century consisting of an attached garage and an extension to the front entry. On the rear kitchen wing there is a twentieth century modular greenhouse.

At the rear of the property is a detached cottage likely constructed around the turn of the 19th century, formerly and most recently used as a studio for architect Theodore C. Muller and his wife, artist, and landscape designer Helen Muller, who remained in residence on the property until 1991. The structure is in severely deteriorated condition.

Our proposal is to renovate the main house and to demolish the cottage and replace it with a compatible structure. Also, we are proposing various site improvements. The following is a description of the project scope:

- Main House redesign of attached garage exterior to harmonize with main house architecture including roof railing and new garage doors.
- Extend rear gable over existing one-story portion of kitchen wing add one story addition with conservatory roof.
- Removal of greenhouse and replace with one story addition. Replace windows and exterior doors; add solar panels and shutters.
- Cottage: demolish and replace in same location; add solar panels.
- Site: add wood picket fencing, gates, patio and retaining walls. Add walkways, trash enclosure and mechanical equipment. Site drainage improvements.

¹Historic Source Inventory by P.A.L. Inc. dated 10/04/2011

PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE

35 WRIGHT STREET WESTPORT, CT 06880

DRAWING LIST

General

G1 COVER SHEET

Site

EXS1 EXISTING A-2 SURVEY
 SP1 PROPOSED SITE PLAN AND STONE WALLS
 SP2 PROPOSED FRONT (STREET) ELEVATION
 AND TRASH ENCLOSURE
 Drainage and Erosion Control
 1 of 2 DRAINAGE PLAN
 2 of 2 DETAIL SHEET

Demolition

EXR1 DEMOLITION PLANS AND EXTERIOR ELEVATIONS

Architectural

MAIN HOUSE

A1 PROPOSED FIRST AND SECOND FLOOR PLANS
 A2 PROPOSED CELLAR AND ATTIC PLANS
 A3 PROPOSED NORTH AND EAST EXTERIOR ELEVATIONS
 AND ROOF PLAN
 A4 PROPOSED SOUTH AND WEST EXTERIOR ELEVATIONS

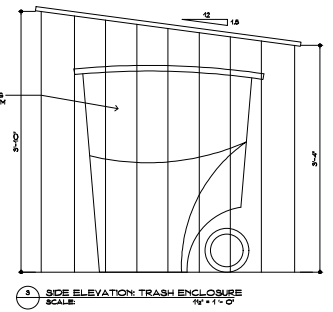
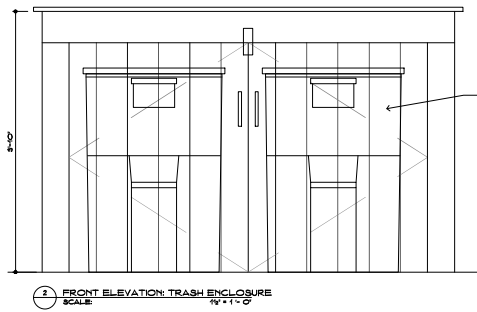
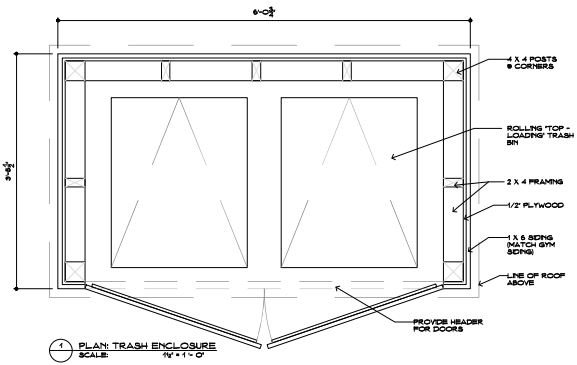
COTTAGE

CA1 PROPOSED CELLAR, FIRST FLOOR
 AND ROOF PLANS
 CA2 PROPOSED EXTERIOR ELEVATIONS

13 TOTAL DRAWINGS

ISSUED FOR TOWN REVIEW 1/12/22

PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880	DATE JAN 12 2022	J.P. FRANZEN ASSOCIATES, ARCHITECTS, P.C. 100 THE BRIDING HILL ROAD WESTPORT, CT 06880 TEL: 010-200-0000 WWW.JPFANZEN.COM	STATE NONE
	DRAWING TITLE COVER SHEET		 DRAWING NO. G1

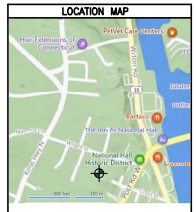
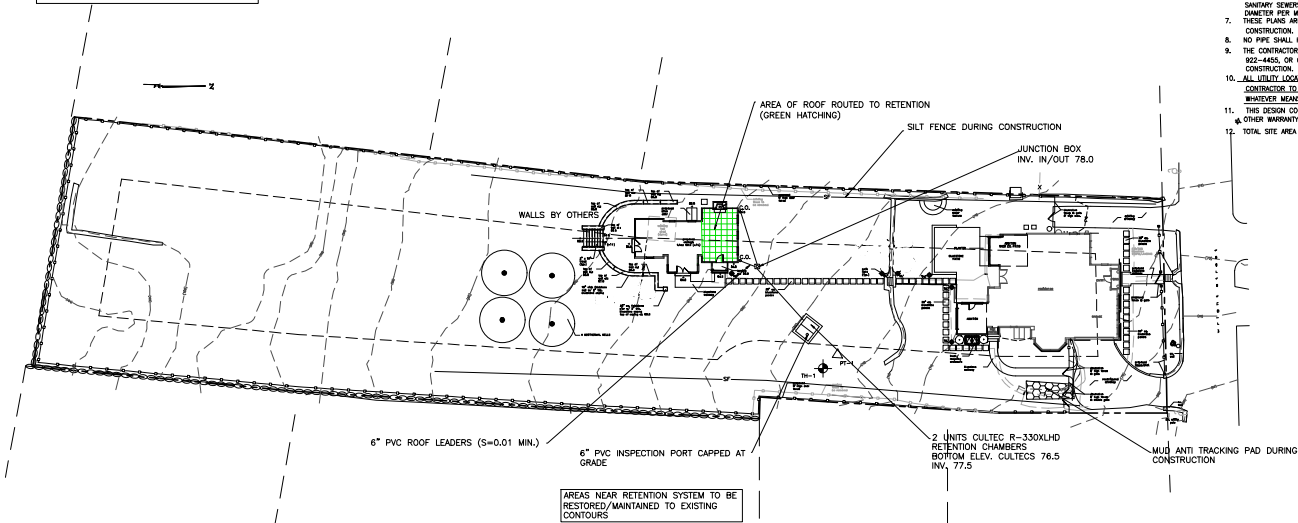


PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 35 WRIGHT STREET WESTPORT, CT 06880		DATE: JAN 12, 2022	ISSUED FOR TOWN REVIEW 4/12/22	SCALE: AS NOTED
ARCHITECT: J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. ONE MILL BUILDING 97 HULL ST. # 210 SOUTH BRITAIN, CT 06060 TEL: 802 238-6528 WWW.FRANZENARCHITECTS.COM				DRAWN BY: RFA CHECKED BY: CJF DATE PLOTTED: 1/12/22 SHEET NO.: SP2

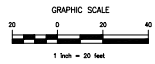
COVERAGE CHART	
GROSS LOT AREA	50200 S.F.
WETLANDS	0 S.F.
STEEP SLOPES	0 S.F.
TOTAL WETLANDS AND STEEP SLOPES	0 S.F.
REDUCTION	0 S.F.
BASE LOT AREA	50200 S.F.
HOUSE	2672 S.F.
DRIVEWAYS	1369 S.F.
PATIO	678 S.F.
WALKS	864 S.F.
COTTAGE	1057 S.F.
TOTAL	6640 S.F.
	13.2%

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION AND STRUCTURES SHALL COMPLY WITH ALL MUNICIPAL OR STATE REQUIREMENTS. ALL WORK SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, TO THE SATISFACTION OF THE ENGINEERING BUREAU, THAT CONSTRUCTION IS IN ACCORDANCE WITH THESE PLANS.
- THE ENGINEERING BUREAU OF THE DEPARTMENT OF PUBLIC WORKS AND THE ENGINEER OF RECORD SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.
- NO CERTIFICATE OF CONFORMANCE TO STANDARDS SHALL BE ISSUED BY THE DESIGN ENGINEER IF PROPER NOTICE IS NOT PROVIDED FOR INSPECTORS OR IF INSPECTIONS ARE NOT MADE PRIOR TO BACKFILLING OF BELOW GROUND STRUCTURES AND APPURTENANCES.
- SUBSURFACE STRUCTURES AND UTILITIES HAVE BEEN DETERMINED FROM EXISTING RECORDS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. IN ORDER TO AVOID CONFLICT OF THE PROPOSED WORK AND EXISTING UTILITIES, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY EXCAVATING TEST HOLES. IF THE CONTRACTOR DETERMINES THAT A CONFLICT EXISTS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL MAKE THE NECESSARY ADJUSTMENTS.
- EXISTING PROPERTY AND UTILITY INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE ARCHITECT.
- ALL SANITARY SEWER PIPE SHALL BE EITHER 80#-35 P.V.C. (ASTM D-3034) OR CLASS 52 DUCTILE IRON (ANSI A 21-51), AS INDICATED ON THE PLANS, UNLESS OTHERWISE INDICATED. ALL SANITARY SEWER PIPE SHALL HAVE RUBBER GASKET FULL-TYPE JOINTS. INSTALLATION AND SANITARY SEWERS SHALL NOT EXCEED 150 GALLONS PER INCH OF PIPE DIAMETER PER FOOT OF PIPE IN 24 HOURS. THESE PLANS ARE FOR MUNICIPAL OR STATE AGENCY APPROVAL ONLY, NOT FOR CONSTRUCTION.
- NO PIPE SHALL HAVE A BEND OF GREATER THAN 45 DEGREES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, OR OTHER APPROPRIATE CONTACT POINT PRIOR TO START OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LOCATION OF THE UTILITIES IN THE FIELD BY WHATEVER MEANS HE DEEMS PRUDENT.
- THIS DESIGN CONFORMS TO APPLICABLE CODES AND ACCEPTED PRACTICE, NO OTHER WARRANTY IS EXPRESSED OR IMPLIED.
- TOTAL SITE AREA = 1.162 ACRES



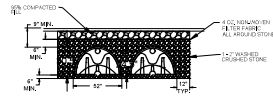
- SEDIMENTATION AND EROSION CONTROL NOTES:**
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. PERMANENT STABILIZATION SHALL BE SCHEDULED AS SOON AS FINAL GRACES ARE ESTABLISHED.
 - ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED WITH AN APPROVED SEED MIXTURE. COVER NEWLY SEEDS ARE BY MIGHTY HYD OR SLM.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2008 CONNECTICUT TRENCHES FOR SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. CHECK AFTER EACH STORM EVENT.
 - ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF REQUIRED BY TOWN ENGINEERS.
 - SEDIMENT DEPOSITS REMOVED FROM FILTER BARRIERS SHALL BE PLACED IN FILL AREAS OR SPREAD WHERE THERE IS INSUFFICIENT SEDIMENT COVER. ANY SEDIMENT DEPOSITS REMAINING AFTER THE FILTER BARRIER IS REMOVED SHALL BE FINE GRADED AND PLANTED ACCORDING TO PLAN.
 - THE SITE CONSTRUCTION CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, REPORTING ALL VIOLATIONS TO THE CONSTRUCTION SITE OF THE REQUIREMENTS AND PROVISIONS OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE (AND/OR THE CONSTRUCTION COMMISSION) OF ANY VIOLATION OF THIS RESPONSIBILITY AND COVERING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED TO A NEW OWNER.



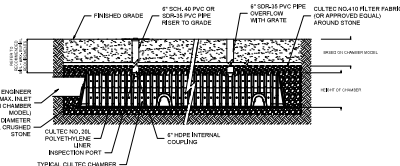
	ISSUED FOR TOWN REVIEW 1/12/22
	CARL MULLER
	35 WRIGHT STREET WESTPORT, CONNECTICUT
	DRAINAGE PLAN
CIVIL ENGINEERS	1913 proj#
FAIRFIELD COUNTY ENGINEERING L.L.C.	1 OF 2 sheet
40 WHEELER STREET, NORWALK, CONNECTICUT 06858 PH: (203) 831-8000 FAX: (203) 831-8000	

FCE Project#	1913	Date Performed:	9/23/09
Client:	Carl Muller		
Reference:	35 Wright Street, Westport		
Observed by:	Others		
Test Hole 1:			
	0.00'	Original Topsoil Layer	
	29.20'	Original Topsoil Layer	
	29.40'	Orange River Silty Loam	
	43.60'	Brown Silty Loam and Fine Sand	
	No Sloping		
	No Ledges		
	Roads to 60'		

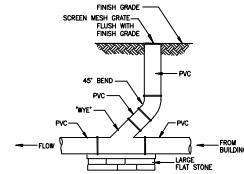
Conducted by:	Others	Project:	1913		
Location:	35 Wright Street	Town:	Westport		
Client:	Carl Muller	Date:	12/13/2021		
Weather conditions prior to and during tests:	Unknown				
Single Lot:	X	Subdivision:			
Number of holes:	6"	Depth of hole:	4.0'		
PT.1	200' for 1 use @ 60' for final design				
Pre-soak @ 9:30 AM					
Time	Time	Depth, ft	Drop, in	Soil Description, Strata	Refill to 30"
9:45 AM	Increment	Water	Inches	Time to drop 1 inch	
9:47 PM	2 Min	42"	6"	0.3 Min	
9:50 AM	2 Min	41"	6"	0.3 Min	



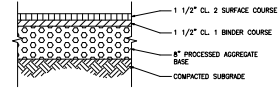
CULTEC RECHARGER 330XLHD
TYPICAL CROSS SECTION



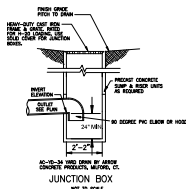
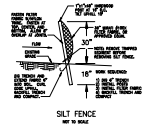
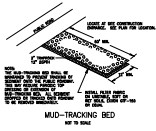
NUMBER OF LINES SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
CULTEC INSPECTION PORT AND OVERFLOW
(AS APPLICABLE)




TYPICAL CLEANOUT
NOT TO SCALE



DRIVEWAY PAVEMENT
NOT TO SCALE



JUNCTION BOX
NOT TO SCALE



12-26-21
Date

ISSUED FOR TOWN REVIEW 1/12/22

CARL MULLER
35 WRIGHT STREET
WESTPORT, CONNECTICUT

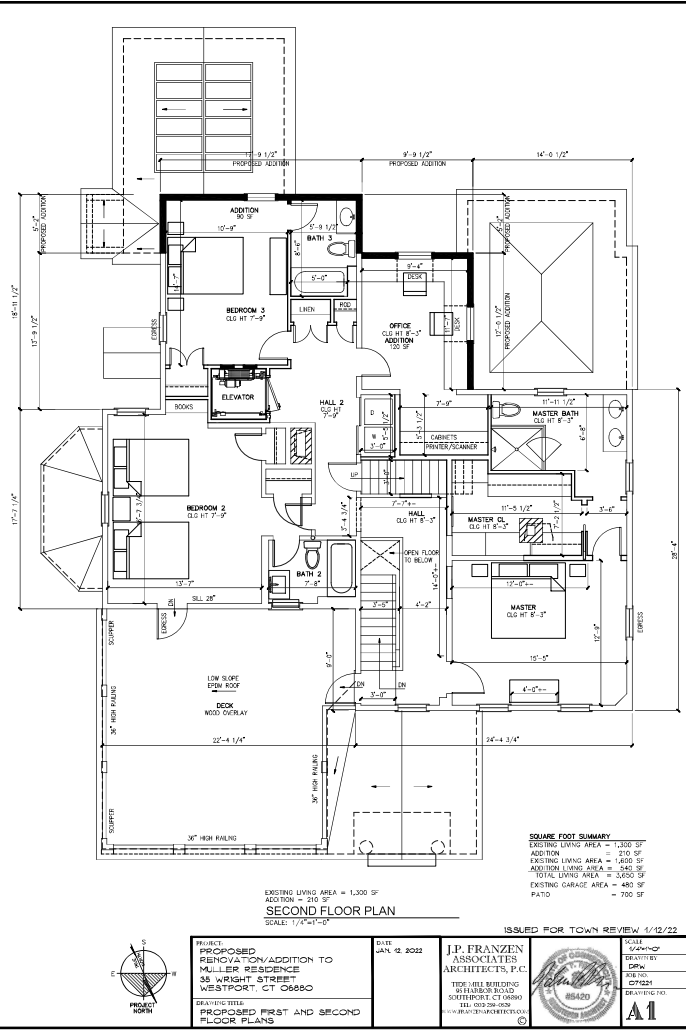
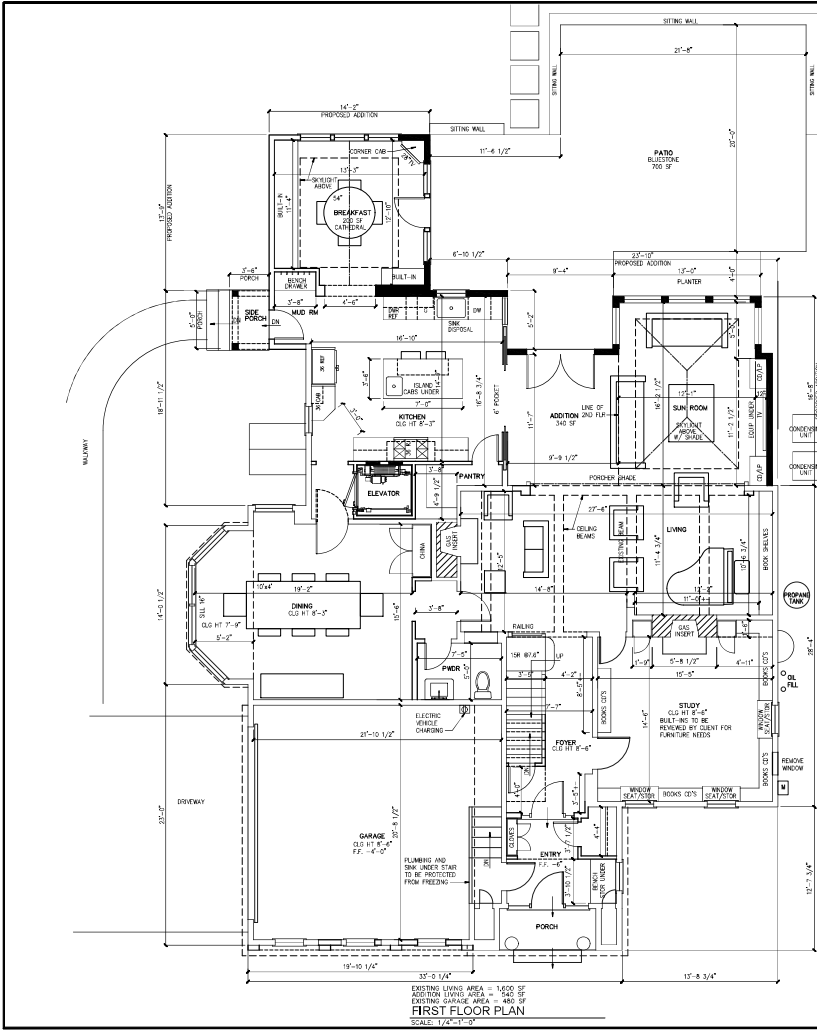
DETAIL SHEET

CIVIL ENGINEERS

1913
JOB#

2 OF 2
PAGES

FAIRFIELD COUNTY ENGINEERING L.L.C.
60 WHEEL STREET, NORWALK, CONNECTICUT 06858 POC (203) 831-8030 FAX (203) 831-8030 1913_21122601.dwg



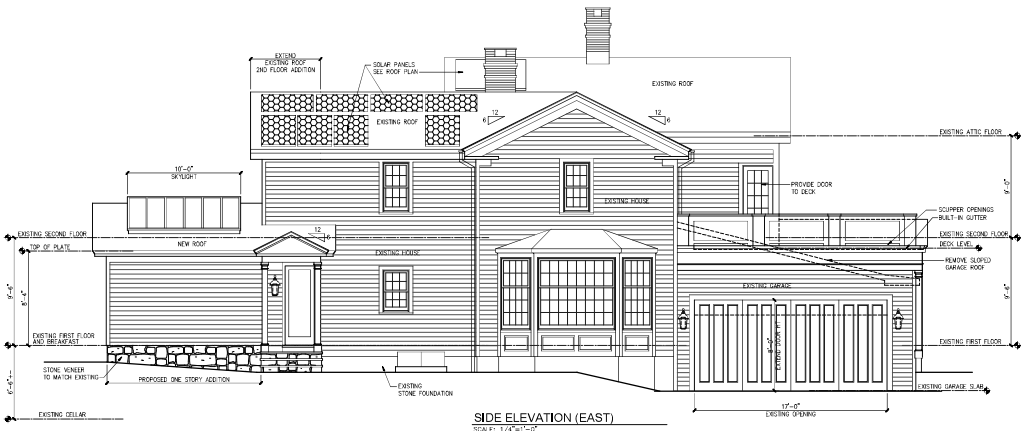
PROJECT:
 PROPOSED RENOVATION/ADDITION TO
 MILLER RESIDENCE
 38 WRIGHT STREET
 WESTPORT, CT 06880

DATE:
 JAN 12, 2022

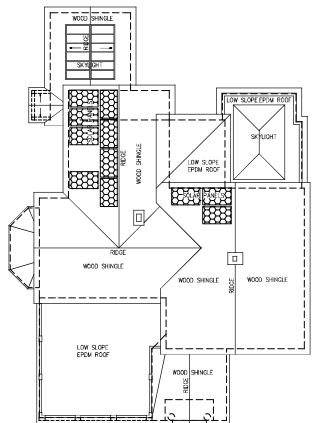
ISSUED FOR TOWN REVIEW 1/12/22

J.P. FRANZEN ASSOCIATES, P.C.
 ARCHITECTS, P.C.
 100 THE BIRTHING
 BULLHORN ROAD
 WESTPORT, CT 06880
 TEL: 010 290-0000
 WWW.JPFRANZEN.COM

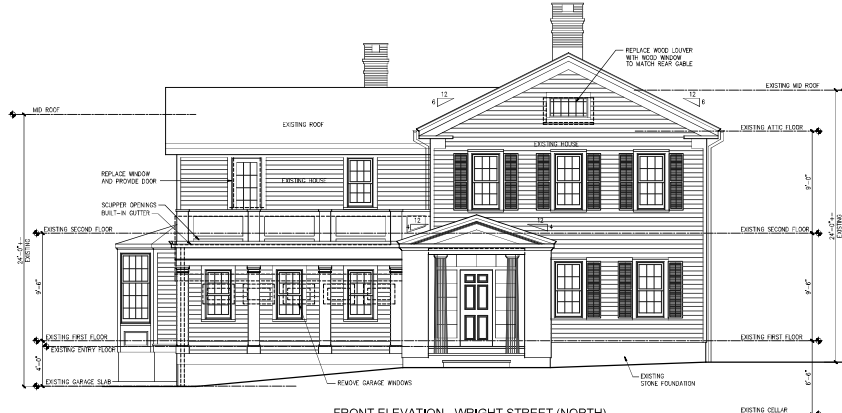




SIDE ELEVATION (EAST)
SCALE: 1/4"=1'-0"



HOUSE ROOF PLAN
SCALE: 1/8"=1'-0"



FRONT ELEVATION - WRIGHT STREET (NORTH)
SCALE: 1/4"=1'-0"

- EXTERIOR MATERIALS**
- 1. WALLS:** EXTERIOR SHALL BE CLEAR RED CEDAR LOG CLADDING WITH 1" X 1" BRICKS.
 - 2. ROOF:** ROOF SHINGLES 5/8"X12" TO BE PREMIUM GRADE WESTERN RED CEDAR WITH CERT. LAST PRESERVATIVE-TREATMENT. SHINGLES TO BE 1/2" THICK SHIMS, 1/4" EXPOSURE, 4 1/2" EXPOSURE AT LOW SLOPE ROOF. ROOF LOW 1/2"X12" SPIN BLACK SHALE PLY.
 - 3. TRIM AND CASINGS:** WOOD TRIM OR MANGANY PAINTE SOFT SOLDS.
 - 4. WINDOWS/DOORS:** STAINED WOOD WINDOWS DOUBLE HUNG & CASSEMENT AND FRENCH DOORS WITH INSULATED GLAZES AND 1/2" PAINTED BEVELED LINES. SOLID DOORS TO BE MANGANY PAINTED.
 - 5. GUTTERS AND LEADERS:** RED COPPER GUTTER TO BE 5 1/2" HALF ROUND AND 2" QUARTER ROUND RED COPPER LEADERS.
 - 6. FLASHING:** COPPER FLASHING (RED FINISH).
 - 7. PATIOS AND WALKS:** SELECTIVE.
 - 8. STONE WALLS:** SELECTIVE. 1"X12" STONE VENEER TO MATCH EXISTING RETAINING WALL.
 - 9. FOUNDATIONS:** HOUSE ADDITION AND COTTAGE TO BE STONE VENEER TO MATCH EXISTING STONE FOUNDATION.
 - 10. CHIMNEY COTTAGE:** BRICK RED.
 - 11. FENCE:** STREET FENCE WOOD CEDAR PAINTED 3"-5" HIGH WOOD PICKETS 4'-10" HIGH. REE FENCE BLACK STEEL NETTED 8'-8" HIGH.
 - 12. BASEMENT WINDOW:** COTTAGE CONCRETE CONSTRUCTION SIMULATE WOOD LOOK.

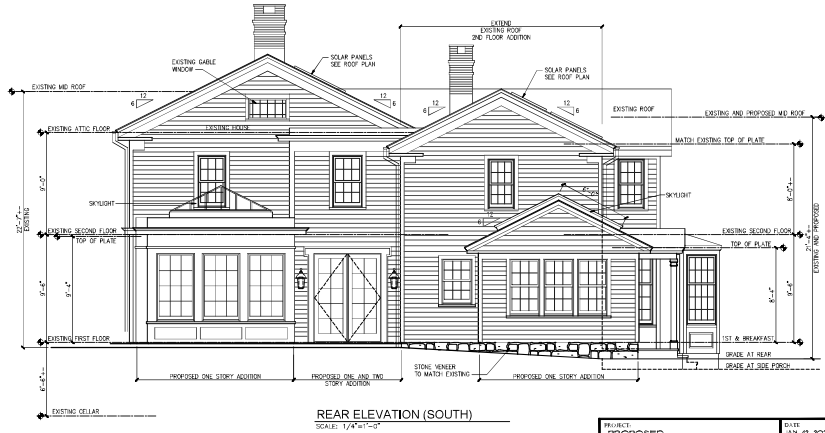
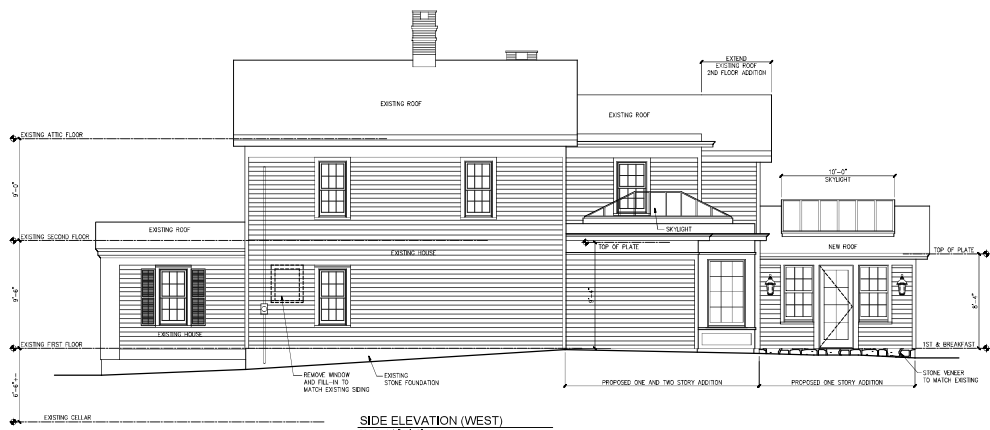
PROJECT:
PROPOSED RENOVATION/ADDITION TO MILLER RESIDENCE 38 WRIGHT STREET WESTPORT, CT 06880

DATE: JAN 12, 2022

J.P. FRANZEN ASSOCIATES, P.C. ARCHITECTS, P.C.
100 THE BIRCHWOODS BELLEVILLE ROAD WESTPORT, CT 06880
TEL: 010-200-4000 FAX: 010-200-4001

ISSUED FOR TOWN REVIEW 4/12/22

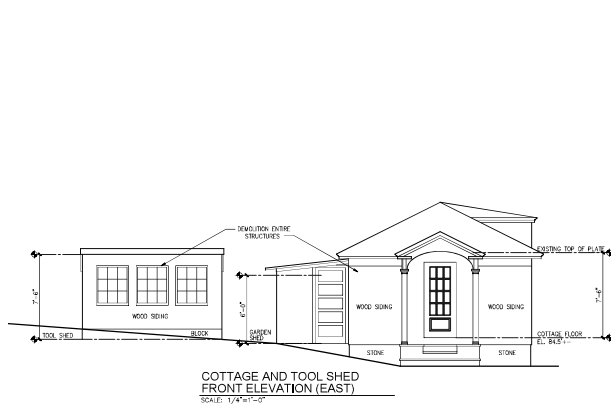
<p>SCALE: 1/4"=1'-0"</p> <p>DATE: JAN 12, 2022</p> <p>J.P. FRANZEN ASSOCIATES, P.C. ARCHITECTS, P.C.</p> <p>100 THE BIRCHWOODS BELLEVILLE ROAD WESTPORT, CT 06880</p> <p>TEL: 010-200-4000 FAX: 010-200-4001</p>	<p>ISSUED FOR TOWN REVIEW 4/12/22</p> <p>SCALE: 1/4"=1'-0"</p> <p>DATE: JAN 12, 2022</p> <p>J.P. FRANZEN ASSOCIATES, P.C. ARCHITECTS, P.C.</p> <p>100 THE BIRCHWOODS BELLEVILLE ROAD WESTPORT, CT 06880</p> <p>TEL: 010-200-4000 FAX: 010-200-4001</p>	<p>SCALE: 1/4"=1'-0"</p> <p>DATE: JAN 12, 2022</p> <p>J.P. FRANZEN ASSOCIATES, P.C. ARCHITECTS, P.C.</p> <p>100 THE BIRCHWOODS BELLEVILLE ROAD WESTPORT, CT 06880</p> <p>TEL: 010-200-4000 FAX: 010-200-4001</p>
--	--	--



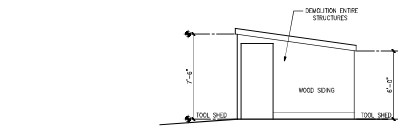
- EXTERIOR MATERIALS**
- 1. WALL BOND:**
EXTERIOR BOND SHALL BE CLEAR RED BRICK
LOW GLAZING WITH 0-1\"/>
 - 2. ROOF:**
ROOF SHINGLES 5/8\"/>
 - 3. TRIM AND CASINGS:**
WOOD TRIM OR MIMICRY PAINTED SOFT GLOSS
 - 4. WINDOWS/DOORS:**
PAINTED WOOD WINDOWS DOUBLE HUNG
& CASSETT AND FRENCH DOORS WITH INSULATED
GLASS AND 0-2\"/>
 - 5. GUTTERS AND LEAKERS:**
RED COPPER GUTTER TO BE 5 1/2\"/>
 - 6. FLASHING:**
CORNER FLASHING (RED FINISH)
 - 7. PATIOS AND WALKS:**
SELECTIVE
 - 8. STONE WALLS:**
BLUESHIRT STONE VENEER
TO MATCH EXISTING RETAINING WALL
 - 9. FOUNDATIONS:**
HOUSE ADDITION AND OUTAGE TO BE
STONE VENEER TO MATCH EXISTING
STONE FOUNDATION
 - 10. CHIMNEY COTTAGE:**
BRICK RED
 - 11. FENCE:**
STEEL FENCE WOOD CEDAR PAINTED 3\"/>
 - 12. BASEMENT CONCRETE CONSTRUCTION:**
SIMULATE WORK LOW

PROJECT: PROPOSED RENOVATION/ADDITION TO MILLER RESIDENCE 38 WRIGHT STREET WESTPORT, CT 06880	DATE: JAN 12, 2022	J.P. FRANZEN ASSOCIATES, P.C. ARCHITECTS, P.C. 1000 HILL BURNING BELLEVILLE ROAD WESTPORT, CT 06880 TEL: 010-200-0000 WWW: JPFANZENARCHITECTS.COM	SCALE: SHOWN:
	DRAWING TITLE: PROPOSED SOUTH AND WEST EXTERIOR ELEVATIONS		DATE: 01/12/22 DRAWING NO: A4

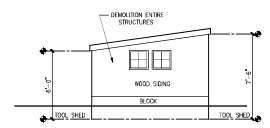




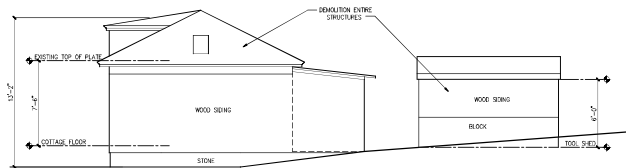
**COTTAGE AND TOOL SHED
FRONT ELEVATION (EAST)**
SCALE: 1/4"=1'-0"



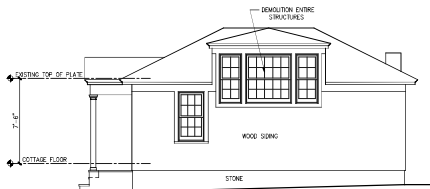
**TOOL SHED
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



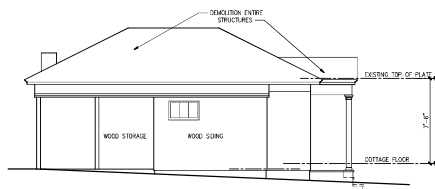
**TOOL SHED
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



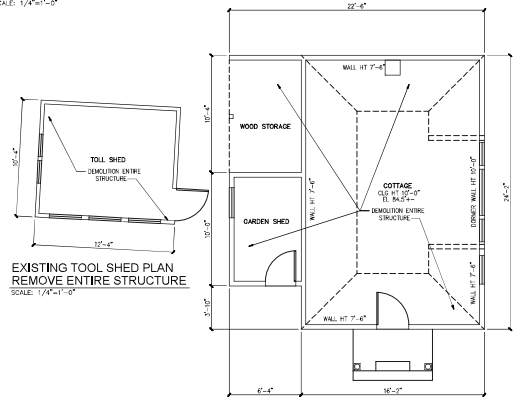
**COTTAGE AND TOOL SHED
REAR ELEVATION (WEST)**
SCALE: 1/4"=1'-0"



**COTTAGE
SIDE ELEVATION (NORTH)**
SCALE: 1/4"=1'-0"



**COTTAGE
SIDE ELEVATION (SOUTH)**
SCALE: 1/4"=1'-0"



**EXISTING TOOL SHED PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"

**EXISTING COTTAGE PLAN
REMOVE ENTIRE STRUCTURE**
SCALE: 1/4"=1'-0"



PROJECT:
PROPOSED
DEMOLITION/ADDITION TO
MULLER RESIDENCE
55 WRIGHT STREET
WESTPORT, CT 06880

DATE:
JAN 12 2022

J.P. FRANZEN
ASSOCIATES, P.C.
100 THE BIRTHING
SHEDDERS ROAD
SOUTHPORT, CT 06488
TEL: 010-200-0000
WWW.FRANZENARCHITECTS.COM

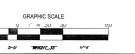
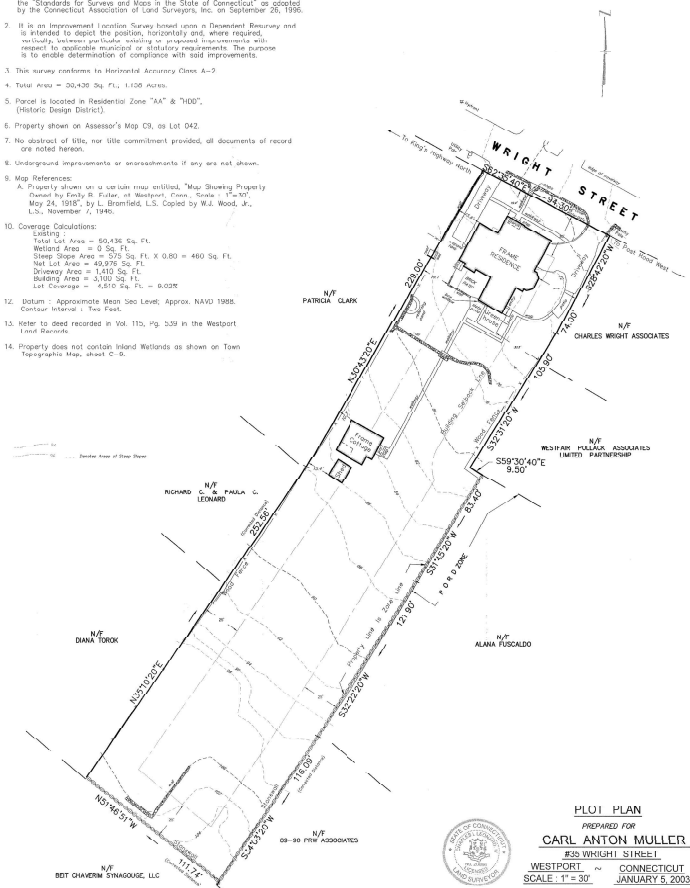


ISSUED FOR TOWN REVIEW 1/12/22

SCALE:
DRAWN BY:
EXAMINED BY:
DATE:
PROJECT:
DRAWING NO.
EXR1

NOTES

- This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 19-200a-1 through 19-200a-23 and the Standards for Surveys and Maps in the State of Connecticut, as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1995.
- If it is an Improvement Location Survey based upon a Deed and Boundary and is intended to depict the position, horizontality and, where required, verticality, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
- This survey conforms to Horizontal Accuracy Class A-2
- Total Area = 30,436 Sq. Ft. 1.106 Acres.
- Parcel is located in Residential Zone "AA" & "HDD", Historic Design District.
- Property shown on Assessor's Map D9, as Lot 042.
- No abstract of title, nor title commitment provided, all documents of record are noted hereon.
- Underground improvements or encroachments if any are not shown.
- Map Reference:
A. Property shown on a satellite image entitled, "Map Showing Property Owned by Carl A. Muller, et al. Westport, Town, Section 1-1-01", May 24, 1988, by L. Bramble, L.S., Copied by W.J. Wood, Jr., L.S., November 7, 1946.
- Corner Calculations:
Existing:
Total Lot Area = 60,436 Sq. Ft.
Welland Area = 0 Sq. Ft.
Slope/Side Area = 325 Sq. Ft. x 0.80 = 460 Sq. Ft.
Net Lot Area = 49,976 Sq. Ft.
Driveway Area = 1,433 Sq. Ft.
Building Area = 3,192 Sq. Ft.
Lot Coverage = 4.42% Sq. Ft. = 0.02%
- Datum: Approximate Mean Sea Level, Approx. NAVD 1985, Contour Interval: Two Feet.
- Refer to deed recorded in Vol. 115, Pg. 539 in the Westport Town Records.
- Property does not contain Inland Wetlands as shown on Town Topographic Map, sheet C-9.



LEONARD SURVEYORS, LLC
1000 WESTPORT AVENUE
WESTPORT, CT 06894
TEL: 860-294-0200
WWW.LEONARD-SURVEYORS.COM

DATE	REVISION TABLE	DESCRIPTION

PLAT PLAN
PREPARED FOR
CARL ANTON MULLER
#30 WRIGHT STREET
WESTPORT, CT CONNECTICUT
SCALE: 1" = 30'
JANUARY 5, 2022
LEONARD SURVEYORS, LLC
"CERTIFIED SUBSTANTIALLY CORRECT"
CLASS A & ADVISORY
Charles Leonard
DIRECTOR L. LEONARD 701 P.E. & C.S., 02067 700 100 20000

PROJECT: PROPOSED RENOVATION/ADDITION TO MULLER RESIDENCE 30 WRIGHT STREET WESTPORT, CT 06894		DATE: JAN 14 2022	ISSUED FOR TOWN REVIEW 1/12/22
EXISTING TITLE: EXISTING A-3 SURVEY		J.P. FRANZEN ASSOCIATES ARCHITECTS, P.C. 100 W. WRIGHT STREET WESTPORT, CT 06894 TEL: 860-294-0200 WWW.FRANZEN-ARCHITECTS.COM	SCALE: PROJECT: DATE: DRAWN: CHECKED: DATE/TIME: EXS1

MULLER RESIDENCE 35 WRIGHT STREET



SITE HOUSE (LOOKING NORTH)



SITE COTTAGE (LOOKING SOUTH)

MULLER RESIDENCE 35 WRIGHT STREET



SIDE (EAST)



REAR (SOUTH)



STREET (NORTH) AND SIDE (WEST)



SIDE (EAST)

MULLER RESIDENCE 35 WRIGHT STREET



COTTAGE SHED (WEST)



COTTAGE FRONT (EAST)



SHED FRONT (EAST)

