ARCHITECTURAL REVIEW BOARD APPLICATION
REVIEW AND RECOMMENDATION

ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

- [x] **COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS**
- [ ] **SPECIAL PERMIT USE**
- [ ] **SIGNAGE**

Submission Date: 11/19/21

1. Property Address 33 RIVERSIDE AVENUE, WESTPORT, CT
   (As listed in the Assessor's records)
2. Property PID# C09//120/000 Zoning District: GBD
3. Owner's Name: ABBEY ROAD RIVERSIDE, LLC Daytime Tel #: c/o 203-635-2200
   Owner's Address: c/o BAYBERRY PROPERTY MANAGEMENT, LLC P.O. Box 320486, FAIRFIELD, CT 06825 E-mail: c/o costantini@FLB.LAW
4. Agent's Name *(if different)*: ENRICO R. COSTANTINI, ESQ. Daytime Tel #: 203-635-2200
   Agent's Address: 315 POST RD WEST, WESTPORT, CT E-mail: costantini@FLB.LAW
5. Zoning Board of Appeals Case # *(if any)* N/A
6. Existing Uses of property: COMMERCIAL OFFICE SPACE
7. Reason for this Request: TO PERMIT THE CONSTRUCTION OF AN EXTERIOR BALCONY OVERLOOKING THE SAUGATUCK RIVER.

Applicant's Signature *(If different than owner)*

Owner's Signature (If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.

Architectural Review Board Recommendation:

Chair's Signature: _____ Date: _____

Abbey Road Riverside, LLC
c/o Bayberry Property Management, LLC
P.O. Box 320486
Fairfield, CT 06825

November 10, 2021

Re: 33 Riverside Avenue
Westport, CT 06880

To Whom It May Concern:

As the owner of 33 Riverside Avenue, Westport, Connecticut, this letter is to advise you that Abbey Road Riverside, LLC hereby consents to the preparation, filing and presentation of any and all zoning, land use, or other applications seeking approvals for 33 Riverside Avenue, Westport, Connecticut, by the law firm of FLB Law, PLLC.

Should you have any questions, please do not hesitate to contact me.

Sincerely,
Abbey Road Riverside, LLC

By: _____

Name: Ross H. Ogden

Its: VP

PROPOSED CONSTRUCTION PLANS FOR:

CSC SUGAR

33 RIVERSIDE AVE, 2ND FLOOR, WESTPORT, CT

BUILDING CODE

2018 CONNECTICUT STATE BUILDING CODE:

INTERNATIONAL BUILDING CODE	2015
INTERNATIONAL EXISTING BUILDING CODE	2015
INTERNATIONAL PLUMBING CODE	2015
NFPA 70, NATIONAL ELECTRICAL CODE	2017
CT STATE FIRE PREVENTION CODE	2018
CT STATE BUILDING CODE SUPPLEMENT	2018
ICC/ANSI A1117.1	2009
ADA STANDARDS FOR ACCESSIBLE DESIGN	2010
NFPA 101 LIFE SAFETY CODE	2012 EDITION

1. PROJECT INFORMATION
   - PROJECT SCOPE OF WORK: TENANT ADDITION OF EXTERIOR BALCONY
   - HAZARD CLASSIFICATION: ORDINARY HAZARD
   - USE GROUP CLASSIFICATION: B - BUSINESS
     - PER 303.1.2 SMALL ASSEMBLY SPACES, BALCONY SHALL BE CLASSIFIED AS PART OF B OCCUPANCY (LESS THAN 750 SF/ LESS THAN 50 OCCUPANTS)
   - TOWN ZONE/USE: GBD (GENERAL BUSINESS DISTRICT)
   - CONSTRUCTION CLASSIFICATION TYPE II NON-COMBUSTIBLE

2. OCCUPANCY LOAD FOR NEW BALCONY (TABLE 1004.1.2)
   - NET BALCONY SQUARE FOOTAGE 348 SF
   - TOTAL OCCUPANT LOAD: ASSEMBLY - UNCONCENTRATED
     - (15 OCCUPANTS/NET SF) 23 OCCUPANTS

3. PER TABLE 1015.1 (SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY):
   - B OCCUPANCY/ OCCUPANT LOAD <49 ONE EXIT REQUIRED FROM BALCONY

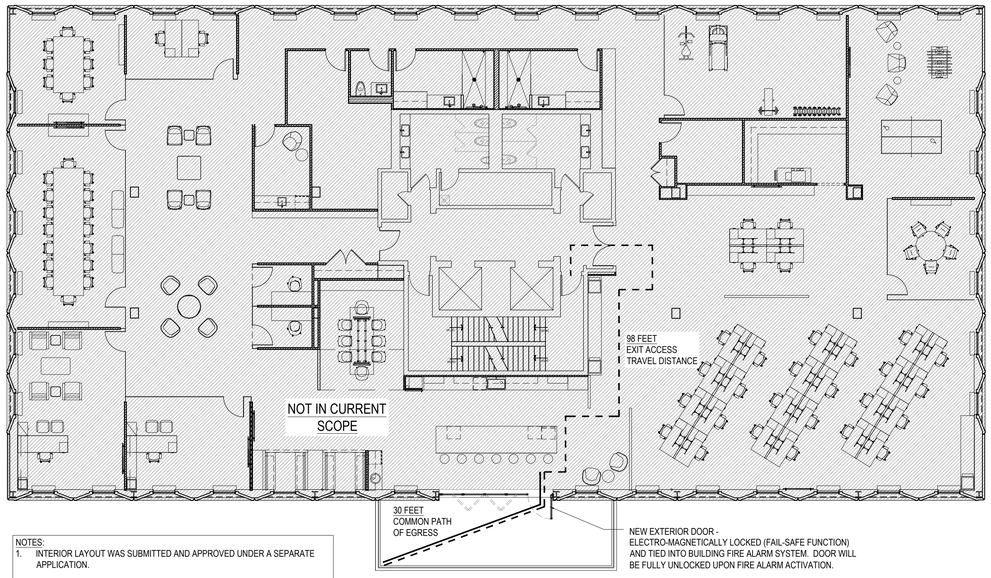
4. PER 1010.1.2.1 DIRECTION OF DOOR SWING:
   - OCCUPANT LOAD <50 DOOR DOES NOT NEED TO SWING IN THE DIRECTION OF EGRESS TRAVEL

5. EXIT TRAVEL DISTANCE (TABLE 1017.2)
   - MAXIMUM ALLOWABLE 200' (NON-SPRINKLERED)

   COMMON PATH OF TRAVEL (1006.2)
   - MAXIMUM ALLOWABLE 75' (NON-SPRINKLERED)

DRAWING LIST

ARCHITECTURAL	
C	COVER
A205	BALCONY & FOLDING PARTITION PLAN, ELEVATIONS & SECTIONS
A206	BALCONY, PANELING AND FOLDING PARTITION DETAILS
A207	BUILDING ELEVATION AND BUILDING SECTION
STRUCTURAL	
S001	GENERAL NOTES & DRAWING INDEX
S101	PARTIAL 2ND FLOOR FRAMING PLAN
S201	TYPICAL STEEL DETAILS
S301	BALCONY SECTIONS



NOTES:
1. INTERIOR LAYOUT WAS SUBMITTED AND APPROVED UNDER A SEPARATE APPLICATION.
2. BALCONY DRAINAGE IS PROPOSED TO TIE INTO THE EXISTING BUILDING'S STORM WATER MANAGEMENT SYSTEM. THE PROPOSED BALCONY IS ABOVE AN EXISTING PARKING LOT (IMPERMEABLE SURFACE) AND THEREFORE THIS APPLICATION DOES NOT PROPOSE ADDING ADDITIONAL IMPERMEABLE SURFACES TO THE SITE.

1 2ND FLOOR - EGRESS PLAN

SCALE: 3/32" = 1'-0"

EGRESS LEGEND

- EXIT ACCESS TRAVEL DISTANCE
- COMMON PATH OF EGRESS TRAVEL

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

KEYPLAN

CLIENT NAME: CSC SUGAR

PROJECT DESCRIPTION: OFFICE RENOVATION

PROJECT ADDRESS: 33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.: 21008

ISSUE LOG

NO.	DATE	DESCRIPTION	BY
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02	09.27.2021	PRICING ADDENDUM #1	CC/HA
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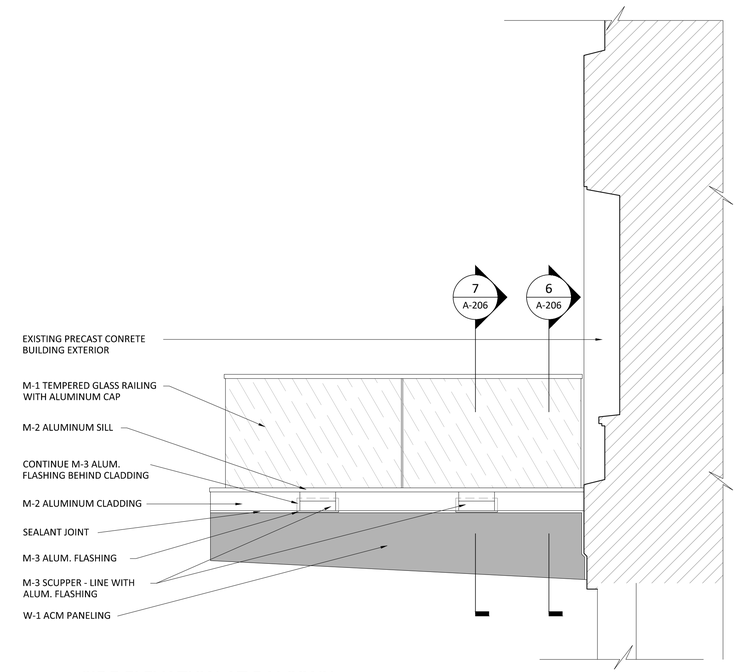
SEAL

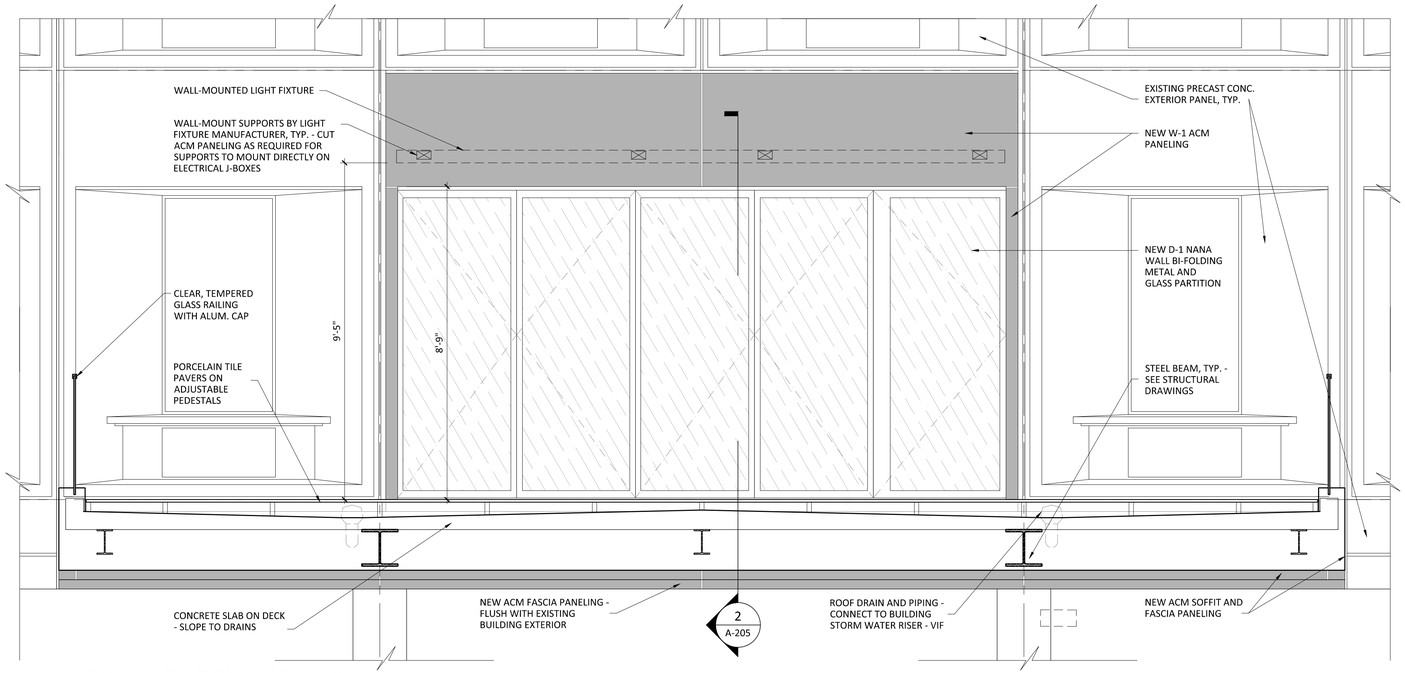
COVER
NEW BALCONY

C



4 SIDE ELEVATION AT BALCONY

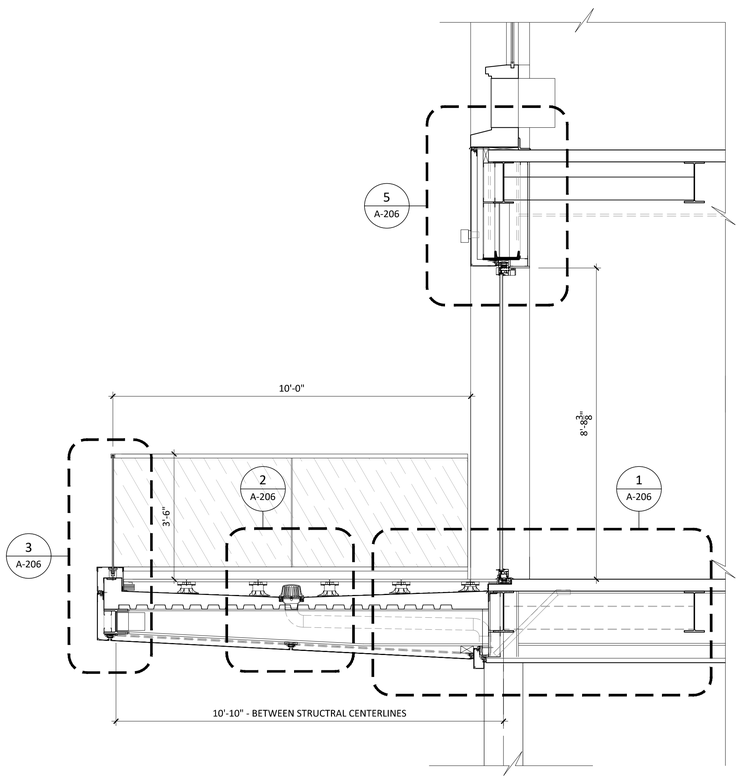
1/2"=1'-0"



3 FRONT ELEVATION AT NEW NANA WALL

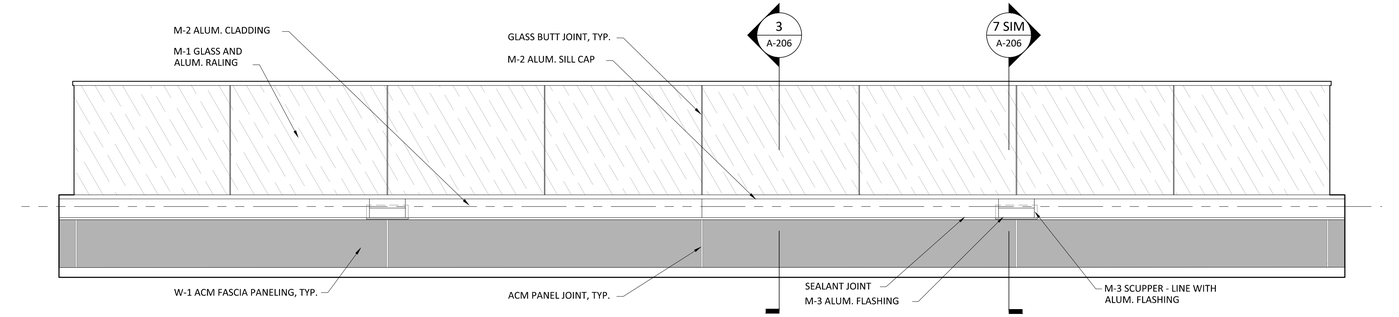
EAST FACADE

1/2"=1'-0"



2 SECTION AT BALCONY AND FOLDING PARTITION

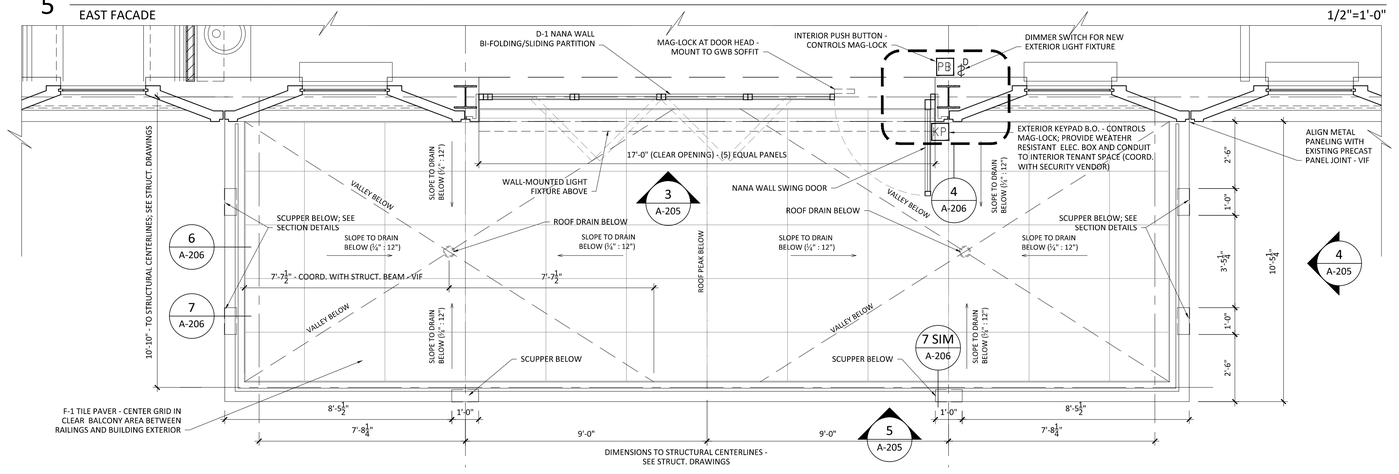
1/2"=1'-0"



5 FRONT ELEVATION AT BALCONY RAILING

EAST FACADE

1/2"=1'-0"



1 PARTIAL PLAN AT BALCONY

EAST FACADE

3/8"=1'-0"

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

KEYPLAN

CLIENT NAME
CSC SUGAR

PROJECT DESCRIPTION
OFFICE RENOVATION

PROJECT ADDRESS
33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.
21008

ISSUE LOG

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SEAL

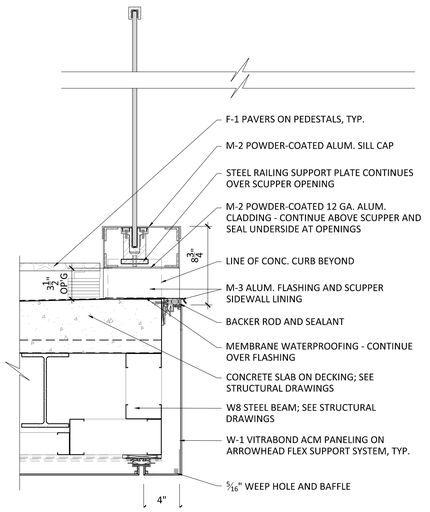
BALCONY & FOLDING PARTITION PLAN, ELEVATIONS & SECTIONS

A205

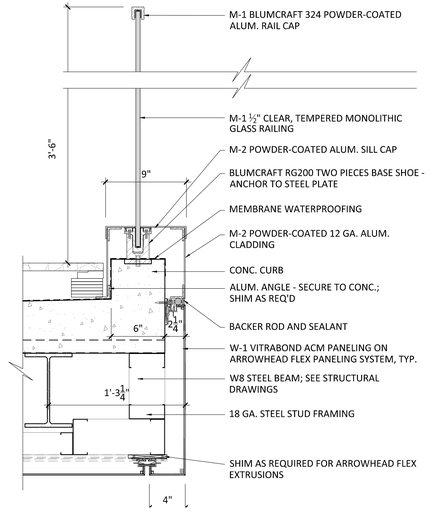
EXTERIOR MATERIALS SCHEDULE

	TAG	MATERIAL	MANUFACTURER	PRODUCT / STYLE / FINISH / COLOR	NOTES
DOORS	D-1	ALUMINUM AND GLASS BI-FOLDING DOOR/PARTITION	NANA WALL CONTACT: GUY GERE 603-669-1329 GERENH@COMCAST.NET	NW840 SERIES/ ALUMINUM, POWDER-COATED FINISH, COLOR: TBD; GLASS: DOUBLE IG, LOWER SHGC, LOW-E, ARGON-FILLED	SINGLE SWING DOOR TO RECEIVE MAG-LOCK IN LIEU OF STANDARD NANA WALL MULTI-POINT LOCK.
MISC. ITEMS	M-1	GLASS AND METAL RAILING	C. R. LAURENCE, BLUMCRAFT	BLUMCRAFT RG SERIES 2-PIECE MOUNTING SYSTEM/ FINISH: POWDER-COATED ALUMINUM, COLOR: TBD; GLASS: ½" CLEAR, TEMPERED MONOLITHIC GLASS	INSTALL PER MFR RECOMMENDATIONS; COORDINATE ATTACHMENTS WITH STRUCTURAL STEEL AND MISC. METALS; ALSO SEE STRUCTURAL DRAWINGS.
	M-2	ALUMINUM CLADDING AT RAILING	BY ORNAMENTAL METALS CONTRACTOR	MATERIAL/FINISH: ALUMINUM, FINISH TO MATCH POWDER-COATED ALUM. RAILING AS CLOSELY AS POSSIBLE	INSTALL OVER RAILING SHOES AS SHOWN IN THE DRAWINGS.
	M-3	ALUMINUM FLASHING AND SCUPPER LINING	-	MATERIAL/FINISH: ALUMINUM, FINISH TO MATCH POWDER-COATED ALUM. RAILING AS CLOSELY AS POSSIBLE	COORDINATE WITH ALL WATERPROOFING AND FLASHING B.O.
WALLS	W-1	ALUMINUM COMPOSITE PANELING	FAIRVIEW-NA CONTACT: BRIAN SANDBERG 860-969-6278 BRIAN.SANDBERG@FAIRVIEW-NA.COM	ARROWHEAD FLEX RAIN-SCREEN PANEL SUPPORT SYSTEM/ VITRABOND PANEL COLOR: TBD	PROVIDE BLOCKING AND SHIMS AS REQUIRED AND RECOMMENDED BY THE MANUFACTURER.
FLOORS	F-1	PORCELAIN TILE PAVERS	NEMO TILE CONTACT: BOB GALLIHAR 917-923-1942 RGALLIHAR@NEMOTILE.COM	STYLE: CLIFF 20MM 24X36 PAVER; COLOR: CLIFF DARK	PAVERS TO BE LEVEL; INSTALL OVER SLOPING CONCRETE SUB-FLOORING ON ADJUSTABLE PEDESTALS.

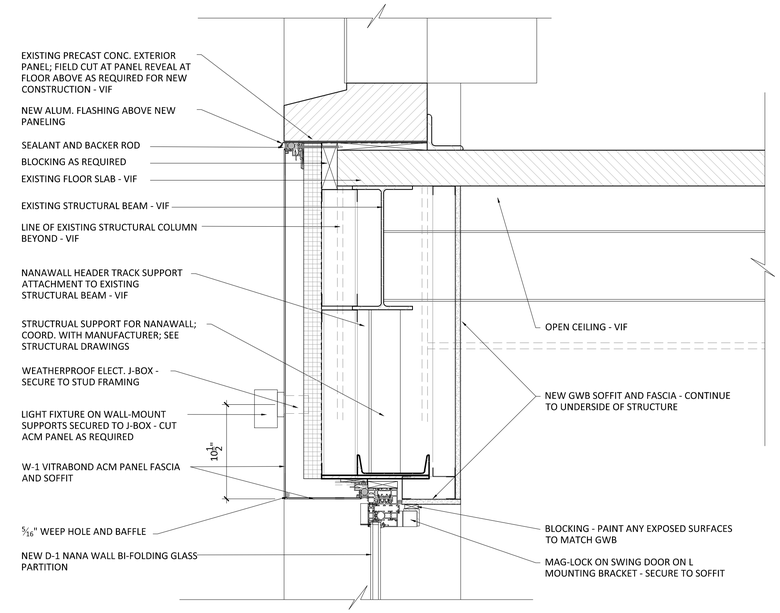
GENERAL NOTES:
1. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION OF ALL MATERIALS AND PRODUCTS.
2. COORDINATE WITH ALL TRADES AS REQUIRED.
3. INSTALL, HANDLE AND STORE ALL MATERIALS AND PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
4. NANA WALL SINGLE SWING DOOR TO RECEIVE:
   - LEVER WITH LATCH, IN LIEU OF STANDARD MULTI-POINT LOCK.
   - MAG-LOCK: ALLEGION LOCKNETICS WMG600, MOUNTED WITH L-BRACKET, AS AVAILABLE FROM MAG-LOCK MANUFACTURER, ON INTERIOR GWB SOFFIT ABOVE. TIE INTO BUILDING'S FIRE ALARM SYSTEM (FAIL-SAFE FUNCTION).
   - INTERIOR MAG-LOCK OVERRIDE BUTTON: ALLEGION SCHLAGE #631-AL-630 OR APPROVED EQUAL (SEE PLAN).
   - EXTERIOR MAG-LOCK CONTROL: TIE INTO KEYPAD BY TENANT'S SECURITY VENDOR; GC TO PROVIDE WEATHER-RESISTANT BACK BOX FOR DEVICE AND CONDUIT INTO INTERIOR TENANT'S SPACE. COORDINATE WITH SECURITY VENDOR AS REQUIRED.
5. EXTERIOR WALL-MOUNTED LIGHT FIXTURE: AAL RNID, RN-ID-17'-5-27K-DL-BLT-W; BACK FED AND MOUNTED ON JUNCTION BOX IN WALL THROUGH ACM PANELING (COORDINATE AS REQUIRED); CONTROLLED BY INTERIOR 0-10V DIMMER SWITCH.



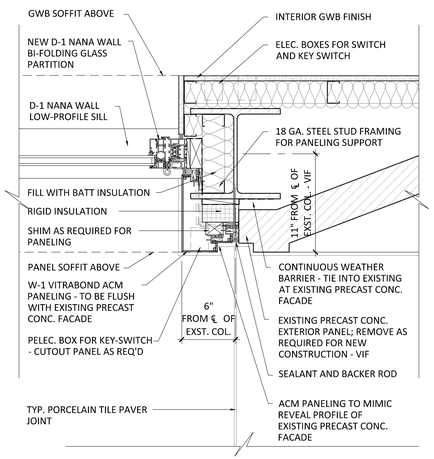
7 SECTION DETAIL AT BALCONY SCUPPER
1 1/2"=1'-0"



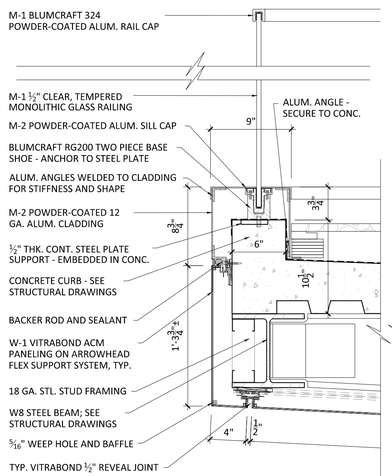
6 SECTION DETAIL AT BALCONY SIDE RAILING
1 1/2"=1'-0"



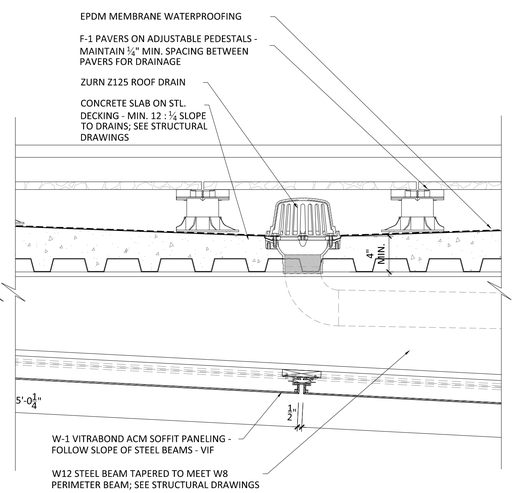
5 SECTION DETAIL AT PANELING & NANAWALL (3RD FLOOR)
1 1/2"=1'-0"



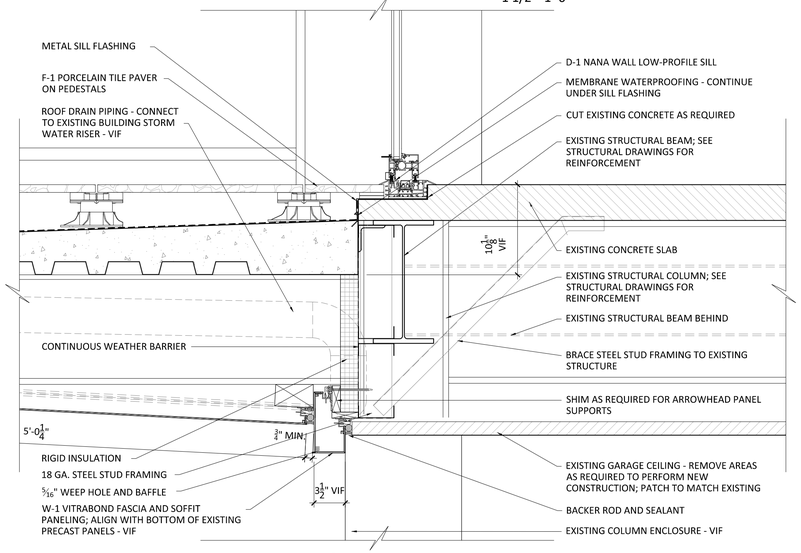
4 PLAN DETAIL AT PANLEING / NANA WALL
1 1/2"=1'-0"



3 SECTION DETAIL AT BALCONY RAILING
1 1/2"=1'-0"



2 SECTION DETAIL AT BALCONY
1 1/2"=1'-0"



1 SECTION DETAIL AT BALCONY & 2ND FLOOR BUILDING STRUCTURE
1 1/2"=1'-0"

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

KEYPLAN

CLIENT NAME: CSC SUGAR

PROJECT DESCRIPTION: OFFICE RENOVATION

PROJECT ADDRESS: 33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.: 21008

ISSUE LOG

NO.	DATE	DESCRIPTION	BY
01	09.10.2021	ISSUE FOR LL REVIEW/ PRICING	CC/HA
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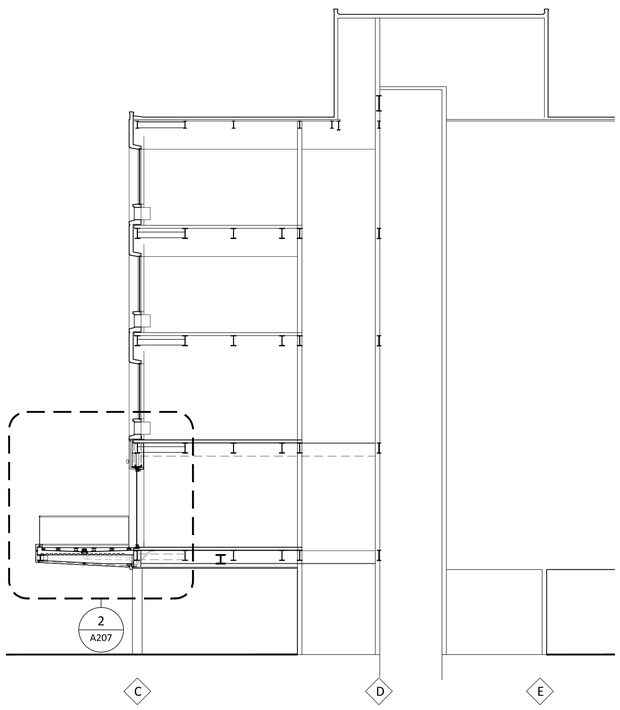
03	11.10.2021	ISSUED FOR ARB REVIEW/PERMITTING	CC

SEAL

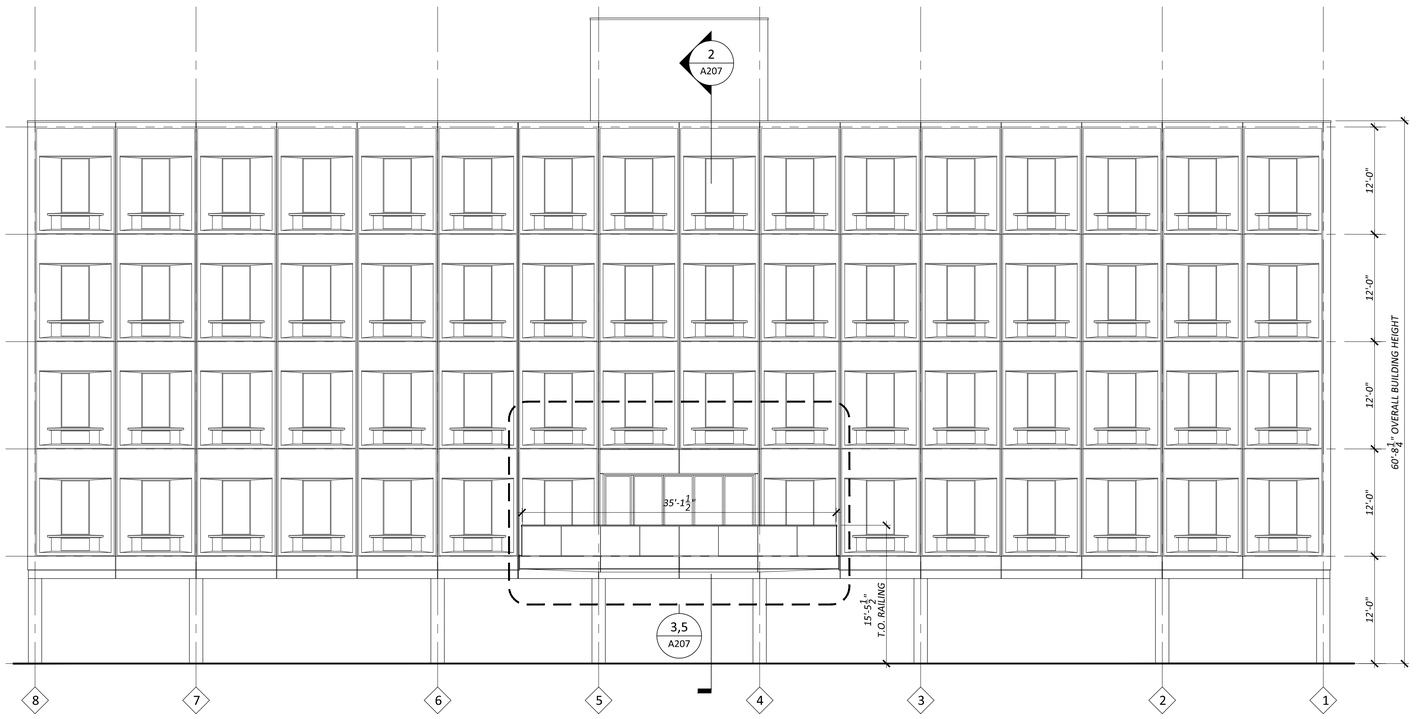
BALCONY, PANELING AND FOLDING PARTITION DETAILS

A206



2 BUILDING SECTION

1/8"=1'-0"



1 OVERALL BUILDING EXTERIOR ELEVATION

EAST FACADE

1/8"=1'-0"

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
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KEYPLAN

CLIENT NAME
CSC SUGAR

PROJECT DESCRIPTION
OFFICE RENOVATION

PROJECT ADDRESS
33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.
21008

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SEAL

BUILDING ELEVATION AND BUILDING SECTION

A207

OFFICE RENOVATION - NEW BALCONY

33 RIVERSIDE AVENUE, 2ND FLOOR
WESTPORT, CT

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE, AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE BUILDING DEPARTMENT PRIOR TO THE START OF WORK.
3. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, SPECIFICATIONS, AND DETAILS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
4. COORDINATE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL AND M/E/P DRAWINGS.
5. COORDINATE ALL WALL LOCATIONS, OPENINGS, WINDOWS AND DOOR LOCATIONS, SLAB DEPRESSIONS, AND CURB LOCATIONS WITH ARCH. DRAWINGS.
6. EXISTING CONDITIONS, ELEVATIONS, DIMENSIONS AND SYSTEMS SHOWN ON PLANS ARE BASED ON LIMITED FIELD OBSERVATIONS. THE CONTRACTOR SHALL FIELD-VERIFY ALL DETAILS, DIMENSIONS AND ASSUMPTIONS PRIOR TO ANY WORK, AND COORDINATE WITH ARCHITECTURAL AND M/E/P DRAWINGS. FOR FINAL CONSTRUCTION WHERE EXISTING CONDITIONS DIFFER FROM OR PRECLUDE THE EXECUTION OF THE OUTLINED DETAILS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED.
7. CONTRACTOR TO EXPOSE ALL CONNECTION POINTS AND VERIFY EXISTING CONDITIONS TO ENSURE FIT PRIOR TO ANY WORK. ALL STEEL FABRICATION SHALL BE BASED ON FIELD VERIFIED EXISTING CONDITIONS.
8. ALL DIMENSIONS AND ELEVATIONS FOR FINAL CONSTRUCTION SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ARCHITECTURAL AND M/E/P DRAWINGS. SHOP DRAWINGS SHALL BE BASED ON EXISTING CONDITIONS AND DIMENSIONS.
9. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AND BRACING REQUIRED FOR PLUMBNESS, STRUCTURAL STABILITY AND SAFETY WHENEVER REQUIRED TO SUPPORT LOADS AS MAY BE IMPOSED UPON THE STRUCTURE DURING CONSTRUCTION. BRACING AND SHORING AND SEQUENCES OF SUCH WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER LICENSED ENGINEER REGISTERED IN THE STATE OF NEW YORK. ALL SUBMITTALS SHALL BEAR THIS ENGINEER'S SEAL AND SIGNATURE.
10. CONTRACTOR TO PROTECT AT ALL TIMES EQUIPMENT, PIPES AND OTHER EXPOSED OR EMBEDDED ITEMS ON THE SITE AGAINST DAMAGE. COORDINATE WITH ARCHITECTURAL AND M/E/P DWGS AND REROUTE AS REQUIRED.
11. SHORE ALL EXISTING SUSPENDED CONDUITS, PIPES, DUCTS, ETC. REFASTEN TO NEW CONSTRUCTION. DO NOT DAMAGE ANY EMBEDDED CONDUITS OR OTHER EMBEDDED ITEMS SCHEDULED TO REMAIN DURING DEMOLITION. CONTRACTOR SHALL FIELD VERIFY THE EXISTENCE OF ANY ELECTRICAL CONDUITS PRIOR TO CUTTING OPENING. REROUTE AS REQUIRED, COORDINATE WITH ARCHITECT.
12. CONTRACTOR SHALL INCLUDE COST OF POSSIBLE MODIFICATIONS TO CONNECTIONS DUE TO EXISTING CONDITIONS.
13. THE CONTRACTOR SHALL ADEQUATELY BRACE AND SUPPORT ALL MEMBERS PRIOR TO DEMOLITION OF EXISTING STRUCTURAL FRAMING. ALL NEW LOAD TRANSFER SHALL BE INSTALLED AND SECURED PRIOR TO REMOVAL OF EXISTING FRAMING.
14. SUBMIT SHOP DRAWINGS FOR ALL WORK. DO NOT PROCEED WITH ANY FABRICATION UNTIL THE SHOP DRAWINGS ARE FAVORABLY REVIEWED FOR ALL STRUCTURAL WORK, AND MECHANICAL/ARCHITECTURAL SHOP DRAWINGS RELATED TO THE STRUCTURAL WORK. SHOP DRAWINGS SHALL BE BASED ON FIELD VERIFIED CONDITIONS.
15. REVIEW OF SHOP DRAWINGS AND SUBMITTALS BY STRUCTURAL ENGINEER OF RECORD SHALL BE TO REVIEW AND TAKE APPROPRIATE ACTION ON SHOP DRAWINGS FOR CONFORMANCE WITH THE STRUCTURAL CONSTRUCTION DOCUMENTS BUT NOT FOR ACCURACY OF DIMENSIONS AND QUANTITIES REQUIRED FOR PROPER CONSTRUCTION, WHICH ARE THE CONTRACTOR'S RESPONSIBILITY.
16. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
17. PROTECT ALL WORK SCHEDULED TO REMAIN AND IF DAMAGED REPAIR TO MATCH EXISTING, INSTALL ANY DUST PROOF PARTITIONS OR SCREENS REQUIRED TO PROTECT AREAS NOT BEING WORKED ON.
18. ANY ADDITIONAL WORK/FRAMING/FOUNDATIONS NOT SPECIFICALLY SHOWN OR CALLED FOR IN THE DRAWINGS AND SPECIFICATIONS, THAT ARE REQUIRED TO COMPLETE THE INTENT OF THE WORK, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AS IF INCLUDED IN THE DRAWINGS/SPECIFICATIONS. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF SUCH OCCURRENCES.
19. FOR WATERPROOFING, FLASHING, DRAIN, PITCH POCKET, INSULATION AND FIREPROOFING DETAILS, SEE ARCHITECTURAL DRAWINGS.
20. CONTRACTOR IS TO DETERMINE PROPERTY LINES AND SECURE ADJACENT PROPERTY OWNER'S CONSENT IF WORK EXTENDS BEYOND BUILDING'S PROPERTY LINE.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL AREAS. PROVIDE ANY PROTECTIVE MEASURES DEEMED NECESSARY TO PROTECT PROPERTY AND PREVENT INJURY.
22. CONSTRUCTION WORK SHALL BE CONFINED TO THAT SHOWN IN THE ARCHITECTURAL DRAWINGS AND SHALL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO OTHER TENANTS IN THE BUILDING.
23. CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS OR MEANS OF EGRESS OF OTHER TENANTS IN THE BUILDING.
24. CONSTRUCTION OPERATIONS SHALL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICES TO OTHER TENANTS IN THE BUILDING WITHOUT PROPER CONSENT.
25. REMOVE ALL DEMOLITION MATERIALS FROM THE SITE PROMPTLY. TRANSPORT AND DISPOSE OF DEBRIS AS REQUIRED BY THE APPROPRIATE CODES.

DESIGN CRITERIA

THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC). DESIGN LOADS COMPLY WITH THE AMERICAN SOCIETY OF CIVIL ENGINEER'S "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURE" (ASCE 7-10).

LIVE LOAD

OFFICES	UNIFORM: 50 PSF
CORRIDORS	UNIFORM: 100 PSF
BALCONIES AND DECKS	UNIFORM: 1.5xLL OF AREA SERVED = 75 PSF

SNOW LOAD

GROUND SNOW LOAD	Pg = 30 PSF
FLAT ROOF SNOW LOAD	Pf (0.7 Ce Ct I Pg) = 21 PSF → USE 30 PSF
SNOW EXPOSURE FACTOR	Ce = 1.0
THERMAL FACTOR	Ct = 1.0
IMPORTANCE FACTOR	I = 1.0

LIST OF ABBREVIATIONS

A =	AXIAL FORCE (KIPS)	LB	LATERAL BRACE
V =	SHEAR FORCE (KIPS)	Ld	DEVELOPMENT LENGTH
M =	MOMENT (KIP-FT)	LL	LIVE LOAD
ADD'L	ADDITIONAL	LLH	LONG LEG HORIZONTAL
ALT.	ALTERNATE	LLV	LONG LEG VERTICAL
ARCH.	ARCHITECT/ ARCHITECTURAL	LONG	LONGITUDINAL
		LP	LOW POINT
B/	BOTTOM OF...	LSL	LAMINATED STRAND LUMBER
T/	TOP OF...	LTWT	LIGHTWEIGHT
BF	BRACED FRAME	LVL	LAMINATED VENEER LUMBER
BLDG.	BUILDING	MAX	MAXIMUM
BLKG.	BLOCKING	MEP	MECHANICAL/ELECTRICAL/ PLUMBING
BM	BEAM		
BOT.	BOTTOM	MEZZ	MEZZANINE
BP	BEAM PENETRATION	MFR	MANUFACTURER
C	CHANNEL	MIN	MINIMUM
CANT.	CANTILEVER	MISC	MISCELLANEOUS
CFS	COLD-FORMED STEEL	MTL	METAL
CIP	CAST-IN-PLACE	(N)	NEW
CJ	CONSTRUCTION JOINT	NIC	NOT IN CONTRACT
CJP	COMPLETE-JOINT PENETRATION WELD	NS	NEAR SIDE
		NW	NORMAL WEIGHT
CL	CENTERLINE	OC	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OF	OUTSIDE FACE
COL(S)	COLUMN(S)	OH	OPPOSITE HAND
CONC	CONCRETE	OPNG	OPENING
CONN(S)	CONNECTION(S)	OSB	ORIENTED STRAND BOARD
CONT	CONTINUOUS	PAF	POWER ACTUATED FASTENER
CONST	CONSTRUCTION	PART	PARTIAL
COORD	COORDINATE	PCF	POUNDS PER CUBIC FOOT
CTR	CENTER	PJP	PARTIAL JOINT PENETRATION
Db	BAR DIAMETER		WELD
DBL	DOUBLE	PL	PLATE
DEMO	DEMOLITION/DEMOLISH	PLF	POUNDS PER LINEAR FOOT
DIA	DIAMETER	PLYWD	PLYWOOD
DIAG	DIAGONAL	PRELIM	PRELIMINARY
DL	DEAD LOAD	PSF	POUNDS PER SQUARE FOOT
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DTL(S)	DETAIL(S)	PSL	PARALLAM STRAND LUMBER
DWL	DOWEL	PT	PRESSURE TREATED
DWG(S)	DRAWING(S)	QL	EARTHQUAKE LOAD
(E)	EXISTING	QTY	QUANTITY
EA	EACH	REBAR	DEFORMED REINFORCING STEEL BAR
EF	EACH FACE		
EJ	EXPANSION JOINT	REINF	REINFORCING (-ED), REINFORCEMENT
EL	ELEVATION		
ELEV	ELEVATOR	RENO	RENOVATION
EMBED	EMBEDMENT/EMBEDDED	REQ'D	REQUIRED
ENGR	ENGINEER	REV	REVISION
EOR	ENGINEER OF RECORD	RTU	ROOFTOP UNIT
EOS	EDGE OF SLAB	RD	ROOF DRAIN
EQ	EQUAL	SC	SLIP CRITICAL
EQUP	EQUIPMENT	S/C/R	SHORE, CUT, REFRAME
EW	EACH WAY	SIM	SIMILAR
EXP	EXPANSION	SOG	SLAB ON GRADE
EXT	EXTERIOR	SS	STAINLESS STEEL
FB	FILLER BEAM (W8x10)	STAG	STAGGERED
FD	FLOOR DRAIN	STD	STANDARD
FDN	FOUNDATION	STIFF	STIFFENER
FLR	FLOOR	STIR	STIRRUP
FRT	FIRE-RETARDANT TREATED	STL	STEEL
FS	FAR SIDE	SW	SHEAR WALL
FT	FEET	SL	SNOW LOAD
FTG	FOOTING	T&B	TOP AND BOTTOM
GA	GAUGE	TEMP	TEMPORARY
GALV	GALVANIZED	THRU	THROUGH
GB	GRADE BEAM	TL	TOTAL LOAD
GC	GENERAL CONTRACTOR	TRANS	TRANSVERSE
HAS	HEADED ANCHOR STUDS	TSF	TONS PER SQUARE FOOT
HDR	HEADER	TYP	TYPICAL
HGR	HANGER	UNEXC	UNEXCAVATED
HORIZ	HORIZONTAL	UON	UNLESS OTHERWISE NOTED
HP	HIGH POINT	VERT	VERTICAL
HS	HIGH STRENGTH	VIF	VERIFY IN FIELD
HSS	HOLLOW STRUCTURAL SHAPE	W/	WITH
HT	HEIGHT	WF	WIDE FLANGE
IF	INSIDE FACE	WT	WIDE FLANGE TEE SECTION
IN	INCH	WWR	WELDED WIRE REINFORCING MESH
INFO	INFORMATION		
INSTR	INSTRUCTIONS	WL	WIND LOAD
K	KIP	WP	WATERPROOFING/ WORK POINT
KSF	KIPS PER SQUARE FOOT		
KSI	KIPS PER SQUARE INCH	XB	CROSS BRACE
L	ANGLE		

STRUCTURAL CONCRETE NOTES:

1. ALL WORK SHALL COMPLY TO THE ACI CODE, LATEST EDITION, AS AMENDED BY THE CONNECTICUT STATE BUILDING CODE.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (150 PCF) HAVING A COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
3. STRUCTURAL CONCRETE SHALL CONTAIN A WATER REDUCING, PLASTICIZING ADMIXTURE. ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN AN AIR-ENTRAINING ADMIXTURE.
4. ALL CONCRETE WORK: MIXES, INSPECTIONS, AND FORMWORK SHALL CONFORM TO THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE AND ACI CODES.
5. CONFORM TO ACI HOT AND COLD WEATHER CONCRETING.
6. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DESIGN OF CONCRETE MIXES AND FOR MAINTAINING STRENGTH AND PROPER SLUMP DURING CONSTRUCTION. CONCRETE MIXES SHALL BE DESIGNED IN ACCORDANCE WITH THE BUILDING CODE BY A LICENSED CONCRETE TESTING LAB. THE MIX DESIGNS BEARING THE NAME OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. NO CONCRETE SHALL BE PLACED UNTIL CONCRETE MIXES HAVE BEEN APPROVED BY THE ENGINEER. SUBMIT THE PROPOSED CONCRETE MIX AND CYLINDER BREAKS FOR REVIEW BY ENGINEER OF RECORD.
7. ALL REINFORCEMENT TO BE CONTINUOUS U.O.N.
8. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185 AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 70,000 PSI.
9. ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI MANUAL OF STANDARD PRACTICE, UNLESS OTHERWISE NOTED. PLACING OF CONCRETE SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE SPECIAL INSPECTOR OR SPECIAL INSPECTION AGENCY.
10. REINFORCING BARS, WELDED WIRE FABRIC, TIE WIRES AND ACCESSORIES SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A-775. DAMAGED EPOXY COATING ON REINFORCING MATERIALS SHALL BE TOUCHED UP TO THE ORIGINAL COATING STANDARDS.
11. SEE ARCHITECTURAL, HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL WALL/SLAB OPENINGS.
12. IF SLAB OPENINGS NEED TO BE CUT IN FIELD SUBMIT LOCATIONS, DIMENSIONS AND SIZES TO ARCHITECT AND ENGINEER OF RECORD FOR REVIEW AND STEEL REINFORCEMENT MAY BE REQUIRED TO REINFORCE THE SLAB.
13. WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIED SECURELY.
14. ALL CONSTRUCTION JOINTS SHALL BE CLEANED AND MOISTENED IMMEDIATELY PRIOR TO PLACING NEW CONCRETE.
15. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.
16. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
17. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CURBS.
18. CONCRETE SLABS SHALL HAVE A MONOLITHIC FINISH AND SHALL BE SCREEDED, COMPACTED BY ROLLING OR TAMPING, FLOATED OFF AND GRADED AS REQUIRED. AFTER SUFFICIENT HARDENING SLAB SHALL BE PROTECTED AND CURED. START CURING AS SOON AS POSSIBLE WITHOUT MARKING FINISH. COVER SLABS WITH REINFORCED PAPER AS REQUIRED. KEEP SURFACE CONTINUOUSLY MOIST FOR SEVEN DAYS OR USE A CURING COMPOUND.
19. ALL BEARING GROUT SHALL BE NON-SHRINK, NONMETALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
20. PATCH CONCRETE WHERE REQUIRED. PATCHING CONCRETE SHALL BE SIKA TOP 122 OR 123 WITH EPOXIED PINS WHERE REQUIRED BY MANUFACTURER.

STRUCTURAL METAL DECK NOTES:

1. FOR DEPTH AND GAUGE OF DECK SEE STRUCTURAL DRAWINGS. PROVIDE HEAVIER GAUGE DECK IF REQUIRED FOR CONSTRUCTION LOADING.
2. FABRICATE METAL DECKING FROM STEEL TYPE ASTM A446, GRADE A, HAVING A MINIMUM YIELD STRENGTH OF 40,000 PSI MIN.; HOT DIPPED GALVANIZED.
3. SUBMIT, TO THE ARCHITECT, PUBLISHED MANUFACTURER'S DATA VERIFYING THE SPECIFIED DECK REQUIREMENTS. SUBMIT ENGINEERED AND CHECKED SHOP DRAWINGS INDICATING LOCATION, GAUGE AND SIZE OF EACH PIECE OF DECKING. SHOP DRAWINGS SHALL CLEARLY SHOW FASTENING/WELDING DETAILS TO STRUCTURAL FRAMING, SIDE LAP CONNECTION DETAILS AND SUPPLEMENTARY SUPPORT STEEL AS REQUIRED.
4. ALL DECKING SHALL BE WELDED TO STRUCTURAL STEEL BY QUALIFIED WELDERS USING PREQUALIFIED PROCEDURES. THE ERECTOR SHALL ESTABLISH A WELDING PROCEDURE FOR THE PUDDLE WELD OF THE STEEL DECKING TO THE STRUCTURAL STEEL FOR THE PARTICULAR GAGE USED. PRIOR TO THE START OF ERECTION OF THE STEEL DECK, EACH WELDER SHALL BE QUALIFIED USING THIS PROCEDURE AS WITNESSED BY THE DEPARTMENT-LICENSED TESTING LABORATORY.
5. ALL METAL DECKING AT FLOOR SHALL BE WELDED AT 12 INCHES MAXIMUM ON CENTER TO THE SUPPORTING STEEL WITH A 3/4 INCH DIA. PUDDLE WELD. SIDE LAPS SHALL BE FASTENED AT 30 INCHES MAXIMUM ON CENTER.
6. PROVIDE CONTINUOUS SHEET METAL CLOSURES AT ALL SLAB OPENINGS AND SLAB EDGES AND CONTINUOUS DECK CLOSURE AT ALL DECK ENDS.
7. DECK SHALL BE OF A MIN. OF TWO (2) SPANS CONTINUOUS.
8. MODIFY DECK DETAILS AT CONNECTIONS AND STEEL AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS REVIEWED FAVORABLY.
9. NO LOADS SHALL BE PERMITTED TO BE HUNG FROM ANY METAL DECKING. ALL HANGERS FOR DUCTWORK, ELECTRICAL CONDUIT, PIPING, ETC. SHALL BE HUNG DIRECTLY FROM STRUCTURAL STEEL WORK OR SUPPLEMENTARY MEMBERS.

STRUCTURAL STEEL NOTES:

1. DETAILING, FABRICATION AND ERECTION SHALL COMPLY WITH AISC SPECIFICATIONS AND CODES, LATEST EDITIONS AS AMENDED BY THE BUILDING CODE OF THE CITY OF NEW YORK.
2. STRUCTURAL STEEL W SHAPES SHALL COMPLY WITH ASTM A992 GR. 50 UNLESS OTHERWISE NOTED.
3. STRUCTURAL STEEL CHANNELS, ANGLES, PLATES AND BARS SHALL BE ASTM A36, UNLESS OTHERWISE NOTED.
4. BOLTS, NUTS AND WASHERS SHALL COMPLY WITH ASTM F3125 GRADE A325. BOLTS SHALL BE A MINIMUM 3/4 INCH DIAMETER, UNLESS OTHERWISE NOTED.
5. FLAYING SURFACES FOR ALL SLIP-CRITICAL CONNECTIONS SHALL BE CLASS A OR BETTER INCLUDING PAINTED SURFACES
6. AT BOLTED CONNECTIONS PROVIDE A MINIMUM OF TWO (2) BOLTS.
7. SUBMIT SHOP DRAWINGS FOR ALL WORK. DO NOT PROCEED WITH ANY FABRICATION UNTIL THE SHOP DRAWINGS ARE FAVORABLY REVIEWED. SHOP DRAWINGS SHALL BE BASED ON FIELD VERIFIED CONDITIONS.
8. ALLOW FOR A TWO-WEEK REVIEW PERIOD (MIN.) FOR SHOP DRAWINGS, AND TIME ALL SUBMISSIONS ACCORDINGLY.
9. PROVIDE ANY MEASURES REQUIRED FOR STABILITY OF STRUCTURE DURING ERECTION.
10. AFTER FABRICATION, CLEAN STEEL OF ALL RUST, LOOSE MILL, SCALE AND OTHER FOREIGN MATERIALS.
11. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO "AWS STRUCTURAL WELDING CODE - STEEL", LATEST EDITION. WELDERS SHALL BE LICENSED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK.
12. WELDING ELECTRODES SHALL BE E70XX FOR NEW CONSTRUCTION, AND E60 LOW-HYDROGEN FOR EXISTING.
13. WELDING SHALL BE PERFORMED IN A MANNER THAT WOULD AVOID ANY DETRIMENTAL OVERHEATING OF EXISTING LOAD BEARING STEEL.
14. WELDING SHOULD BE PERFORMED IN AS SYMMETRICAL A WAY AS POSSIBLE.
15. MINIMUM FILLET WELDS SHALL COMPLY WITH AISC, BUT SHALL NOT BE LESS THAN 1/4 INCH, UNLESS OTHERWISE NOTED.
16. PROVIDE FIREPROOF BLANKETS AND OTHER FIRE PROTECTION MEASURES AS REQUIRED FOR FIRE SAFETY DURING WELDING.
17. SURFACES OF ALL STEEL THAT IS TO RECEIVE WELDS SHALL BE POWER BRUSHED AND CLEANED THOROUGHLY OF ALL FOREIGN MATTER INCLUDING PAINT FOR A DISTANCE OF 2 INCHES FROM EACH SIDE OF THE OUTSIDE LINES OF WELD.
18. ALL FIELD WELDING AREAS SHALL BE TOUCHED UP ON SITE WHERE PAINT IS REQUIRED.
19. ALL LIVE LOADS SHALL BE REMOVED FROM AREAS BEING WELDED DURING CONSTRUCTION.
20. FOR ALL REQUIRED FIREPROOFING AND PAINTING SEE ARCH. DRAWINGS.
21. OMIT PAINT WHERE SPRAY FIREPROOFING IS USED.
22. PRIOR TO APPLICATION OF SPRAYED ON FIREPROOFING, THE CONTRACTOR SHALL REMOVE, IN THE FIELD, ALL LOOSE MILL SCALE OR RUST. DO NOT PAINT STEEL IF SPRAY FIREPROOFING IS USED.
23. ALL EXTERIOR EXPOSURE FIELD WELDING AREAS SHALL BE TOUCHED UP WITH ZINC-RICH PAINT AND A FINAL COAT PER ARCH. SPECIFICATIONS.
24. ALL EXTERIOR EXPOSURE BOLTS, SHIMS, AND OTHER HARDWARE SHALL BE GALVANIZED AND TOUCHED UP WITH ZINC RICH PAINT. ALL EXTERIOR LINTELS SHALL BE GALVANIZED.
25. FABRICATE BEAMS WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.
26. WHERE STEEL MEMBERS ARE REQUIRED TO BE SPLICED, THE SPLICE SHALL BE MADE TO DEVELOP THE FULL STRENGTH OF THE SECTION. SUCH SPLICES SHALL NOT INTERFERE WITH ANY ARCHITECTURAL OR MECHANICAL DESIGN AND CLEARANCES. SUBMIT SHOP DRAWING OF SPLICE DETAIL, LOCATION AND CALCULATION SIGNED AND SEALED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS.
28. GAS CUTTING OF MAIN STRUCTURAL MEMBERS IN THE FIELD WILL NOT BE PERMITTED.
29. EXISTING STEEL BEAMS, GIRDERS AND COLUMNS RECEIVING WELDING FOR NEW CONNECTIONS AND OR REINFORCING STEEL, SHALL BE TESTED TO VERIFY CLASSIFICATION OF EXISTING STEEL, REQUIRED WELDING PROCEDURES AND ELECTRODES. TEST RESULTS SHALL BE SIGNED AND SEALED BY A NEW YORK CITY LICENSED PROFESSIONAL ENGINEER. ALL REQUIRED TESTS OF MATERIALS SHALL BE MADE UNDER THE DIRECT SUPERVISION OF THE SPECIAL INSPECTOR OR SPECIAL INSPECTION AGENCY.
30. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AFTER FRAMING IS ERECTED PRIOR TO FABRICATION AND INSTALLATION OF WINDOWS/DOORS. COORDINATE TOLERANCE REQUIREMENTS WITH ARCHITECT AND WINDOW/DOOR MANUFACTURER TO ALLOW FOR VERTICAL MOVEMENT OF STEEL BEAM.
31. CONTRACTOR SHALL INCLUDE COST OF POSSIBLE MODIFICATIONS TO CONNECTIONS DUE TO EXISTING CONDITIONS.

DRAWING INDEX:

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

CUONO ENGINEERING PLLC
STRUCTURAL DESIGN
WWW.CUONOENGINEERING.COM
P: 914.305.5679
HEADQUARTERS
925 Westchester Ave., Suite 100
White Plains, NY 10604

KEYPLAN

CLIENT NAME: CSC SUGAR

PROJECT DESCRIPTION: OFFICE RENOVATION - NEW BALCONY

PROJECT ADDRESS: 33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.: 21008

ISSUE LOG

NO.	DATE	DESCRIPTION	BY
01	09.10.21	ISSUE FOR LL REVIEW/PRICING SET	CD/KV
02	09.27.21	ADDENDUM #2	CD/KV
03	11.10.21	ISSUED FOR PERMIT	CD/KV

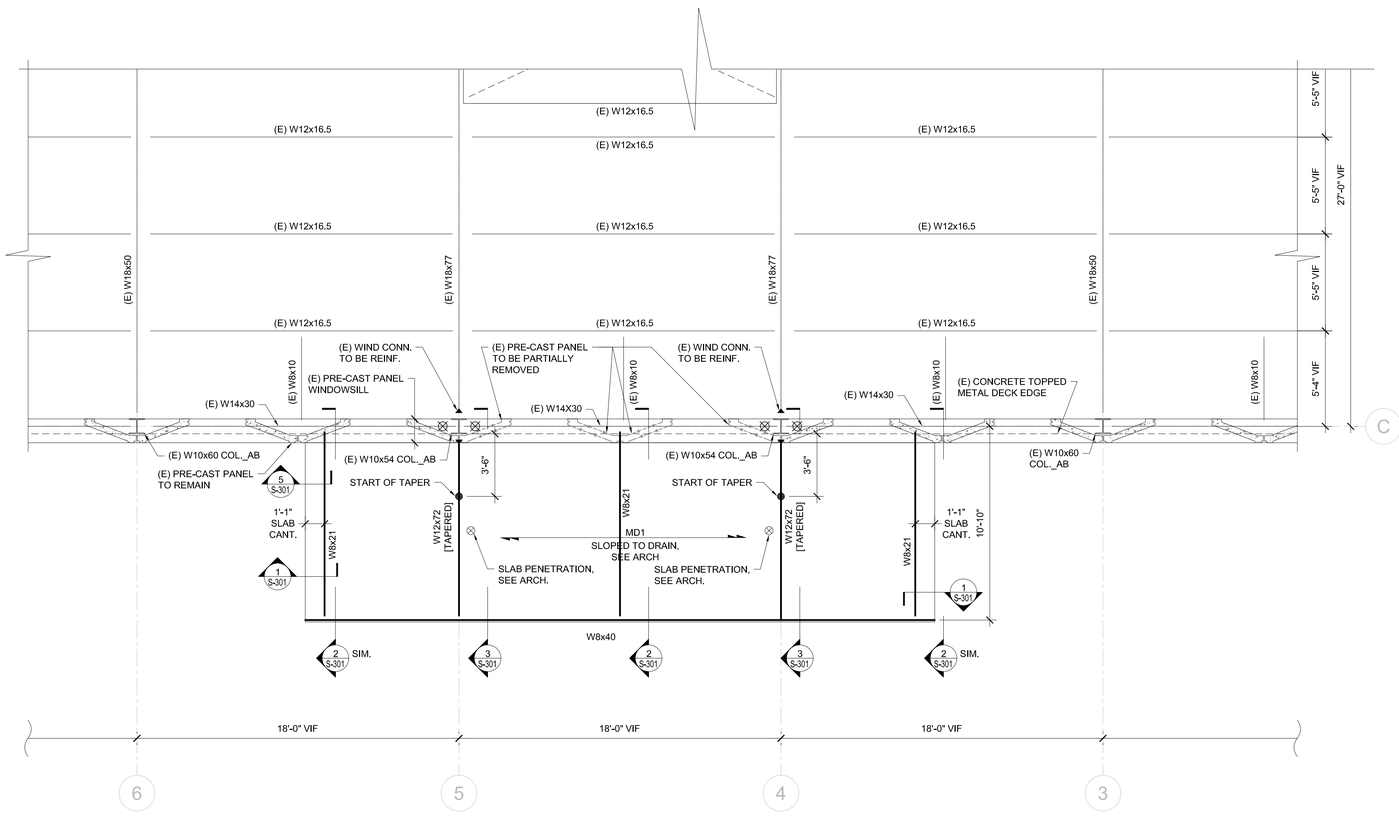
SEAL

GENERAL NOTES & DRAWING INDEX

S-001

LEGEND:	
#_A	DENOTES ABOVE
#_B	DENOTES BELOW
#_AB	DENOTES ABOVE & BELOW
▸	DENOTES STEEL MOMENT CONNECTION. SEE TYPICAL STEEL DETAILS FOR MORE INFO.
MD1	1½" DEEP 18Ga CANAM METAL FLOOR DECK W/ 3" CONCRETE TOPPING REINF. W/ 4x4 W2.9xW2.9 WWR. MAX SPAN = 9'-0"
⊠	DENOTES 15K TEMPORARY SHORING POST

B S-101 *PARTAL 3RD FLOOR FRAMING PLAN*
SCALE: ¼"=1'-0"



A S-101 *PARTAL 2ND FLOOR FRAMING PLAN*
SCALE: ¼"=1'-0"

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

CUONO ENGINEERING PLLC
STRUCTURAL DESIGN
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925 Westchester Ave., Suite 100
White Plains, NY 10604

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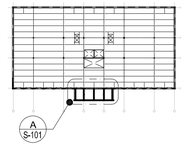

CLIENT NAME
CSC SUGAR

PROJECT DESCRIPTION
OFFICE RENOVATION

PROJECT ADDRESS
33 RIVERSIDE AVE - SECOND FLOOR
WESTPORT, CT

PROJECT NO.
21008

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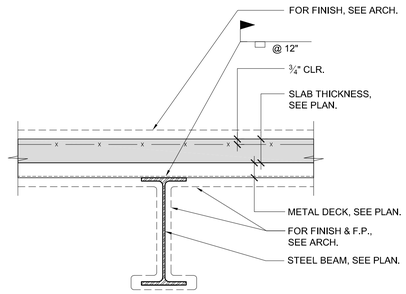
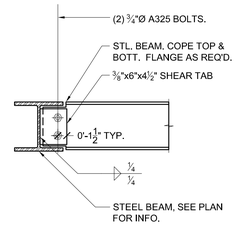
PARTIAL 2ND FLOOR FRAMING PLAN

S-101

NOTES:
1. REINF. TO BE SUPPORTED AS REQ'D. TO MAINTAIN PROPER LOCATION WITHIN SLAB THICKNESS.
2. SEE ARCH. FOR BEAM & METAL DECK W.P. & PAINTING SYSTEM REQ'TS.

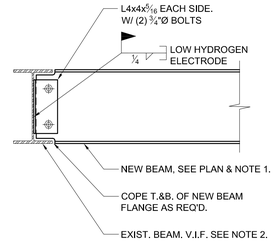


3 S-201 *TYP. METAL DECK CONSTRUCTION*
SCALE: NTS



2 S-201 *TYP. SHEAR TAB BEAM CONNECTION*
SCALE: NTS

NOTES:
1. WELDABILITY TEST SHALL BE CONDUCTED ON EXISTING STEEL RECEIVING NEW WELD TO CONFIRM SUITABILITY OF WELD AND METAL. SEE GENERAL NOTES FOR ADD'L INFO.
2. PROVIDE SIM. DETAIL AT EXIST. BEAM TO NEW BEAM CONN.



1 S-201 *TYP. NEW BEAM TO EXIST. BEAM CONN.*
SCALE: NTS

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

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P: 914.305.5679
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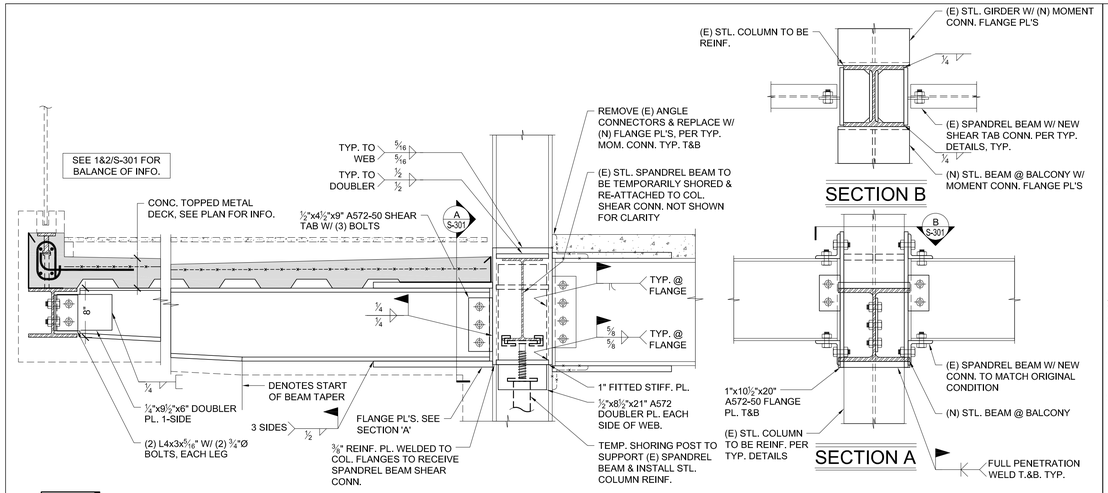
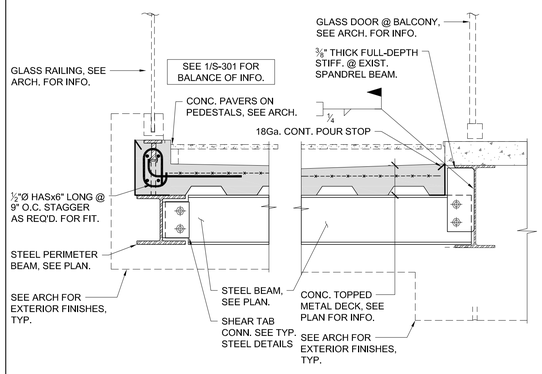
SEAL

TYPICAL STEEL DETAILS

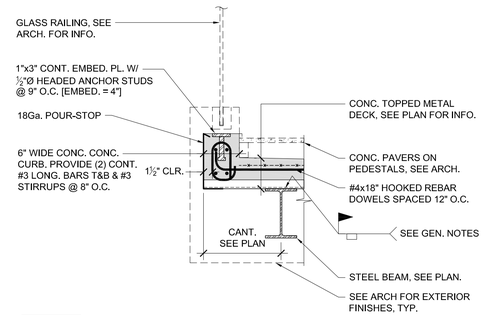
S-201



3 S-301 *SECT. @ BALCONY FRAMING*
SCALE: 1"=1'-0"
(@ EXISTING STEEL COLUMN)

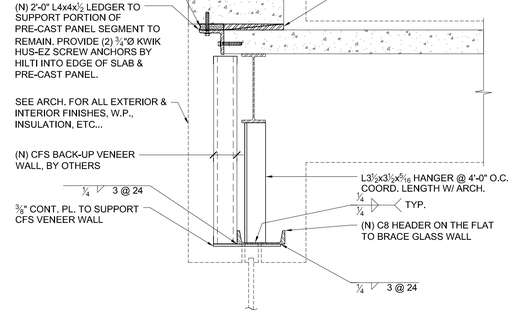


2 S-301 *SECT. @ NEW BALCONY*
SCALE: 1"=1'-0"
(@ EXISTING SPANDREL BEAM)



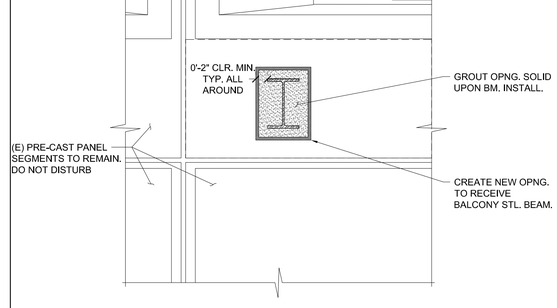
1 S-301 *SECT. @ BALCONY SPANDREL BEAM*
SCALE: 1"=1'-0"

SEQUENCE OF OPERATIONS:
1. CUT OUT 2'-0" SECTION OF PRE-CAST PANEL TO EXPOSE SLAB EDGE @ CENTER OF PANEL.
2. INSTALL STEEL SHIMS BETWEEN PRE-CAST PANEL & CONCRETE SLAB.
3. INSTALL 2'-0" LONG ANGLE W/ HILTI EZ SCREWS. PER DETAIL.
4. REPEAT #1 THRU #3 WORKING TOWARDS EDGE OF PANEL, ALTERNATING SIDES.



6 S-301 *SECT. @ GLASS WALL HEADER*
SCALE: 1"=1'-0"

SEQUENCE OF OPERATIONS:
1. CORE DRILL CORNERS OF OPENING & SAW-CUT BETWEEN HOLES.
2. OVERDRILL AT EXPOSED REINFORCEMENT. COVER REINFORCEMENT WITH SIKA ARMATEC-110 EPOCEM.
3. INSTALL BEAM & CONNECT TO EXISTING SPANDREL BEAM, PER DETAILS
4. GROUT OPENING SOLID.



5 S-301 *SECT. @ PERIMETER BEAM PENETRATION*
SCALE: 1"=1'-0"
(@ PRE-CAST PANEL TO REMAIN)

LOCUS DESIGN COLLABORATIVE
115 E. PUTNAM AVENUE
GREENWICH, CT 06830
203-742-9730
WWW.LOCUSDESIGNCO.COM

CUONO ENGINEERING PLLC
STRUCTURAL DESIGN
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KEYPLAN

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SEAL

BALCONY SECTIONS

S-301

LEGAL DESCRIPTION

BEING ALL THAT CERTAIN PIECE OR PARCEL OF LAND INCLUDING BUILDINGS AND IMPROVEMENTS LOCATED THEREON SITUATED IN THE TOWN OF WESTPORT, COUNTY OF FAIRFIELD AND STATE OF CONNECTICUT BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL SET IN THE EASTERLY LINE OF RIVERSIDE AVENUE, A/K/A CONNECTICUT ROUTE 33, SAID NAIL MARKING THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL AND THE SOUTHWESTERLY CORNER OF LAND OF 41 GAULT LP, AND BEING 360.94' FROM THE SOUTHERLY LINE OF U.S. ROUTE 1 AS MEASURED ALONG THE EASTERLY LINE OF RIVERSIDE AVENUE, THENCE PROCEEDING N67°08'17"E 126.81' ALONG 41 GAULT LP TO THE WESTERLY MEAN HIGH WATER LINE OF THE SAUGATUCK RIVER, SAID POINT BEING THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE TURNING AND RUNNING ALONG THE SAUGATUCK RIVER S15°54'26"E 107.90', S16°39'46"E 35.80', S21°43'34"E 34.55' AND S9°57'50"E 27.93' TO A DRILL HOLE FOUND MARKING THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE TURNING AND RUNNING ALONG LAND OF SUMARAN LIMITED PARTNERSHIP S83°40'27"W 104.66' TO A NAIL SET IN THE EASTERLY LINE OF RIVERSIDE AVENUE, SAID NAIL MARKING THE SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE TURNING AND RUNNING ALONG THE EASTERLY LINE OF RIVERSIDE AVENUE N23°43'33"W 174.70' TO THE POINT AND PLACE OF BEGINNING.

SAID PREMISES CONTAIN 0.499 ACRES OF LAND AND IS BOUNDED:

NORTHERLY BY: 41 GAULT LP,
EASTERLY BY: SAUGATUCK RIVER,
SOUTHERLY BY: SUMARAN LIMITED PARTNERSHIP, AND
WESTERLY BY: RIVERSIDE AVENUE (A/K/A CONNECTICUT ROUTE 33)

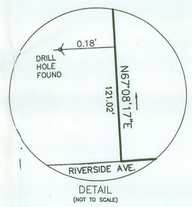
TOGETHER WITH A RIGHT OF WAY FOR THE PURPOSE OF INGRESS AND EGRESS OVER THE PROPERTY OF 41 GAULT LP BEING BETWEEN 9.25' AND 9.40' IN WIDTH IMMEDIATELY NORTH OF THE SUBJECT PARCEL, REFER TO VOL. 374, PG. 134 AND MAP #6914 W.L.R.

TOGETHER WITH A POSSIBLE RIGHT TO MAINTAIN LIGHT POLES ON LAND OF 41 GAULT LP (LIGHT POLES DESCRIBED ARE UNDETERMINABLE AT THE TIME OF SURVEY) REFER TO VOL. 374, PG. 139 W.L.R.

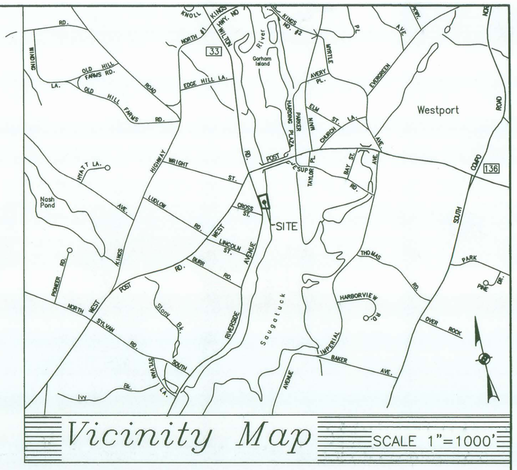
SUBJECT TO A STORM SEWER EASEMENT, REFER TO VOL. 27, 662 AND 708 W.L.R.

SUBJECT TO A RIGHT OF WAY IN FAVOR OF 41 GAULT LP FOR THE PURPOSE OF INGRESS AND EGRESS BEING BETWEEN 10.5' AND 9.0'± IN WIDTH IMMEDIATELY SOUTH OF THE NORTHERLY PROPERTY LINE OF THE SUBJECT PARCEL, REFER TO VOL. 299, PG. 119 AND MAP #6914 W.L.R.

REFERENCE IS MADE TO A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY,
ORDER NO.: CTSIa2695C EFFECTIVE DATE: Aug. 1, 2005 AT 8:00 a.m.



DETAIL
(NOT TO SCALE)



EXISTING FLOOD CERTIFICATE BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY STANDARD FLOOD DETERMINATION HAS IDENTIFIED THIS PROPERTY AS BEING IN FLOOD ZONE A6 AS SHOWN ON COMMUNITY PANEL NUMBER 090019 0004B REVISED TO 12/04/84.

REFERENCE IS MADE TO MAPS TITLED:
A. "SURVEY PREPARED FOR HARRELL CORP. WESTPORT, CONN. SCALE 1"=20' MAY 9, 1968" PREPARED BY CHARLES S. LYMAN (W.L.R. MAP #6552)
B. "PLAN SHOWING PROPOSED DRIVEWAY AGREEMENT BETWEEN RIVERSIDE ASSOCIATES & GEORGIANA GAULT (TRUSTEE) RIVERSIDE AVENUE WESTPORT, CONNECTICUT SCALE 1"=10' SEPTEMBER 1971" PREPARED BY DICESARE-BENTLEY-WELLING ENGINEERS GROTON-NORWICH, CONNECTICUT (W.L.R. MAP #6914)
C. "MAP OF PROPERTY PREPARED FOR RIVERSIDE PLAZA LLC 33 RIVERSIDE AVENUE WESTPORT, CONNECTICUT SCALE 1"=20' MAY 6, 2000" PREPARED BY DENNIS A. DELIUS NORWALK, CONNECTICUT

ALL MONUMENTATION FOUND OR SET HAS BEEN DEPICTED ON THIS MAP.

EXISTING BUILDING IS LEGALLY NON-CONFORMING WITH REGARD TO FRONT AND REAR YARD SETBACKS, HEIGHT, AND COVERAGE AREA.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PROPERTY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT, AS NOTED HEREON

L.S., NEW MILFORD, CT.

ARTHUR H. HOWLAND, L.S. LICENSE # 5548, NEW MILFORD, CT.
FROM THE OFFICE OF ARTHUR H. HOWLAND, L.S. & P.E.

To: Stephan B. Grozinger, Abbey Road Riverside LLC, First American Title Insurance Company and JP Morgan Chase Bank, N.A.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes items 1-4, 6, 7(b1)(c), 8-10, 11(a), 13-17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

Date: 9-6-05

Arthur H. Howland
Connecticut License #5458
50 Bridge Street
New Milford, CT 06776
(860) 354-9346

VARIANCE GRANTED: SEE VOL. 1469, PG. 87 REGARDING SIDE YARD SETBACK, BUILDING HEIGHT, COVERAGE, EXPANSION, EXTENSION AND ALTERATION, FLOOR AREA, ROOF TOP MECHANICALS AND PARKING AND LOADING. (AUGUST, 1996)

VARIANCE GRANTED: SEE VOLUME 1583, PG. 249 REGARDING SIDE YARD SETBACK, BUILDING HEIGHT, COVERAGE, EXPANSION, EXTENSION AND ALTERATION, FLOOR AREA, ROOF TOP MECHANICALS AND PARKING AND LOADING. (FEBRUARY, 1998)

VARIANCE GRANTED: SEE VOLUME 1730, PG. 285 REGARDING BUILDING HEIGHT, COVERAGE, EXPANSION, EXTENSION AND ALTERATION, FLOOR AREA, ROOF TOP MECHANICALS AND PARKING AND LOADING. (SEPTEMBER, 1999)

VARIANCE GRANTED: SEE VOLUME 2177, PG. 217 REGARDING BUILDING HEIGHT, ARCHITECTURAL DESIGN AND ACCESSORY BUILDING AND EQUIPMENT. (APRIL, 2003)

SURVEYOR'S NOTE: EXECUTION AND USE OF VARIANCES SUBJECT TO FURTHER INVESTIGATION NOT NORMALLY ASSOCIATED WITH LAND SURVEYING.

PARKING SPACES - 119 (54 ON FIRST LEVEL-INSIDE, 47 ON SECOND LEVEL-INSIDE, 2 OF WHICH ARE HANDICAP)

LAND AREA: 0.499 ACRES

TAX MAP 5301, LOT 26
OWNER OF RECORD: RIVERSIDE PLAZA LLC
VOLUME 1782, PAGES 228-229

ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR
ABBEY ROAD ADVISORS, LLC
33 RIVERSIDE AVENUE
TOWN OF WESTPORT COUNTY OF FAIRFIELD
STATE OF CONNECTICUT
SCALE 1"=20' SEPTEMBER 2, 2005

0 20 40 60 80

4863

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