

# ARCHITECTURAL REVIEW BOARD APPLICATION REVIEW AND RECOMMENDATION

ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

- COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS**
- SPECIAL PERMIT USE**
- SIGNAGE**

Submission Date: \_\_\_\_\_

1. Property Address \_\_\_\_\_  
*(As listed in the Assessor's records)*

2. Property PID# \_\_\_\_\_ Zoning District: \_\_\_\_\_

3. Owner's Name: \_\_\_\_\_ Daytime Tel #: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ E-mail: \_\_\_\_\_

4. Agent's Name *(if different)*: \_\_\_\_\_ Daytime Tel #: \_\_\_\_\_

Agent's Address: \_\_\_\_\_ E-mail: \_\_\_\_\_

5. Zoning Board of Appeals Case # *(if any)* \_\_\_\_\_

6. Existing Uses of property: \_\_\_\_\_

7. Reason for this Request: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Ronni Molinari

*Applicant's Signature* ( If different than owner )

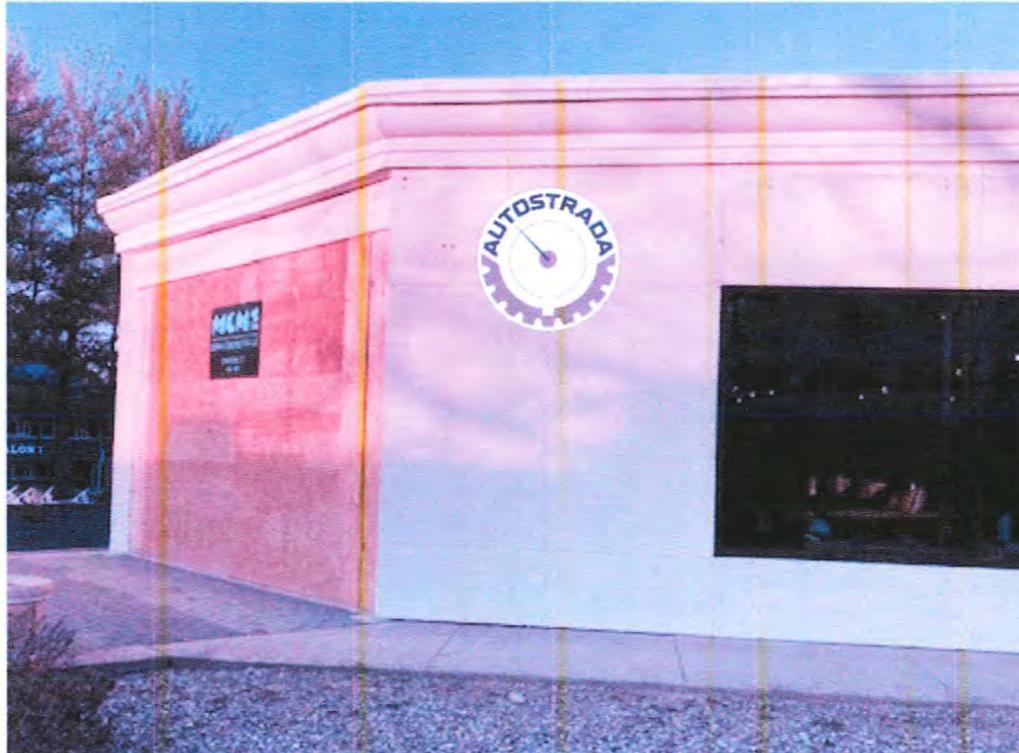
*Owner's Signature* (If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.)

**Architectural Review Board Recommendation:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Chair's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

1015 Bridgeport Ave. Milford, CT 06460 Tel 203-298-4075 Fax 203-298-4074 Email 536@fastsigns.com



**Business Address:** 499-501 Post Rd East Westport, CT  
**Zone:** GBD  
**Tenant:** Autostrada  
**Property Owner:** 499-501 Post Road East Associates  
**Owner Address:** 91 Twin Oak Lane Wilton CT

**Building Information:**  
 - Longest Building Face = 126 ft.  
 - Lot street frontage = 165 ft.  
 - Max Sign Area = 126 ft.<sup>2</sup>

**Sign Information:**  
 - Height = 48"  
 - Width = 48"  
 - Area = 13 sq. ft.  
 - Height off Ground = 12 ft

**Sign Materials:**  
 - 4 ft round LED illuminated lightbox  
 - Aluminum frame with acrylic faces

**Sign Mounting:**  
 - 3/8" diameter hangar bolts epoxied into CMU block behind building exterior

**RECEIVED**  
**JUL 15 2021**  
**WESTPORT P. & Z. C**

**FPD**  
for office use only

QC: \_\_\_\_\_ QC Date: \_\_\_\_\_

Client Approval \_\_\_\_\_ Date \_\_\_\_\_

**Please read carefully!** Especially for names, addresses and technical words. If there are any alterations, mark them clearly. We are not responsible for errors, except those that are marked on the returned proof

PRODUCTION INFORMATION						
PRINT FILES	QTY	PRINT SIZE	MEDIA / COLOR SPACE-RES. / PROFILE	LAMINATION	CONTOUR CUTTING / FINISHING	CUT VINYL
A				none	n/a	n/a
B						
C						

**Invoice #** 00000

**CLIENT:** Autostrada

**Proof Date:** 03/29/21 **DESIGNER:** Ned

This artwork remains the property of Fastsigns - Milford, CT. It is provided for your consideration in the purchase of products and services built according to these plans. This design and artwork cannot be copied in whole or part, altered, forwarded or exhibited in any manner without the written permission of Fastsigns- Milford. Any unauthorized use of this proof drawing or artwork may result in civil liability. NOTE - This proof is not an accurate representation of printed colors. Fastsigns matches to the Pantone Matching System (PMS), to ensure correct colors please specify PMS C (coated) colors or pick from swatch books at showroom

The attached proof is sent for your approval. Neither the paper nor the printing of this proof represents the appearance of the finished job. Errors which you have indicated on this proof which are the fault of Fast Signs will be corrected at no charge. Any alteration from the original copy may require an additional charge for time and materials.

1015 Bridgeport Ave. Milford, CT 06460 Tel 203-298-4075 Fax 203-298-4074 Email 536@fastsigns.com



**Business Address:** 499-501 Post Rd East Westport, CT  
**Zone:** GBD  
**Tenant:** Autostrada  
**Property Owner:** 499-501 Post Road East Associates  
**Owner Address:** 91 Twin Oak Lane Wilton CT

**Building Information:**  
 - Longest Building Face = 126 ft.  
 - Lot street frontage = 165 ft.  
 - Max Sign Area = 126 ft.<sup>2</sup>

**Sign Information:**  
 - Height = 38"  
 - Width = 55"  
 - Area = 14.5 sq. ft.  
 - Height off Ground = 7 ft

**Sign Materials:**  
 - Replace lexan sign faces on double sided ground sign

**Sign Mounting:**  
 - Existing aluminum trim around sign frame

RECEIVED  
 JUL 15 2021  
 WESTPORT P. & Z. C.

**FPD**  
for office use only

QC: \_\_\_\_\_ QC Date: \_\_\_\_\_

Client Approval \_\_\_\_\_ Date \_\_\_\_\_

**Please read carefully!** Especially for names, addresses and technical words. If there are any alterations, mark them clearly. We are not responsible for errors, except those that are marked on the returned proof

PRODUCTION INFORMATION						
PRINT FILES	QTY	PRINT SIZE	MEDIA / COLOR SPACE-RES. / PROFILE	LAMINATION	CONTOUR CUTTING / FINISHING	CUT VINYL
A				none	n/a	n/a
B						
C						

**Invoice #** 00000  
**CLIENT:** Autostrada  
**Proof Date:** 03/29/21 **DESIGNER:** Ned

This artwork remains the property of Fastsigns - Milford, CT. It is provided for your consideration in the purchase of products and services built according to these plans. This design and artwork cannot be copied in whole or part, altered, forwarded or exhibited in any manner without the written permission of Fastsigns- Milford. Any unauthorized use of this proof drawing or artwork may result in civil liability. NOTE - This proof is not an accurate representation of printed colors. Fastsigns matches to the Pantone Matching System (PMS), to ensure correct colors please specify PMS C (coated) colors or pick from swatch books at showroom

The attached proof is sent for your approval. Neither the paper nor the printing of this proof represents the appearance of the finished job. Errors which you have indicated on this proof which are the fault of Fast Signs will be corrected at no charge. Any alteration from the original copy may require an additional charge for time and materials.

# ARCHITECTURAL REVIEW BOARD APPLICATION REVIEW AND RECOMMENDATION

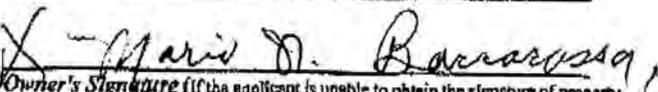
ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

- COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS
- SPECIAL PERMIT USE
- SIGNAGE

Submission Date: \_\_\_\_\_

1. Property Address 499 POST ROAD EAST  
(As listed in the Assessor's records)
2. Property PID# E09 // 063 / 000 / Zoning District: GBD
3. Owner's Name: MARIO BOCCAROSSA Daytime Tel #: (203) 877-1800  
Owner's Address: 91 TWIN OAK LN, WILTON, CT 06897 E-mail: mbocc@yahoo.com
4. Agent's Name (if different): RONNI MOLINARI Daytime Tel #: (646) 334-8766  
Agent's Address: 7 PLUNKETT PLACE, WESTPORT, CT 06880 E-mail: rmolinari@vma-design.studio
5. Zoning Board of Appeals Case # (if any) \_\_\_\_\_
6. Existing Uses of property: PAST USE = STEINWAY PIANO, CURRENTLY VACANT
7. Reason for this Request: APPROVAL REQUIRED FOR DRIVEWAY MODIFICATION,  
NEW PAINT COLOR, NEW AWNING DOOR, NEW SIGNAGE ON  
BUILDING FACADE.

  
Applicant's Signature (if different than owner)

  
Owner's Signature (If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.)

Architectural Review Board Recommendation:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Chair's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

---

499 POST ROAD EAST, WESTPORT



# BESPOKE AUTO HAUS

Project Address: **499 Post Road East, Westport CT 06880**

Prepared for: Westport Architectural Review Board

Prepared by: Ronni Molinari, LUMA Design LLC

October 8, 2020

## EXTERIOR FINISHES

NO.	SPEC.	COLOR SAMPLE	NOTES
PT-1	AF-700 STORM		REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2   24-10 WROUGHT IRON		EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
	GENERAL AWNINGS POWDER COATED ALUMINUM		GENERAL AWNINGS POWDER COATED ALUMINUM

499 POST ROAD EAST, WESTPORT

## EXISTING EXTERIOR ADJACENT BUILDINGS

WESTPORT TOWN FIRE DEPARTMENT



SOLA SALONS



WESTPORT FAMILY DENTAL



## EXTERIOR FINISHES

NO.	SPEC	COLOR SAMPLE	NOTES
PT-1	AF-700 STORM		REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2124-10 WROUGHT IRON		EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
	GENERAL AWNINGS POWDER COATED ALUMINUM		GENERAL AWNINGS POWDER COATED ALUMINUM



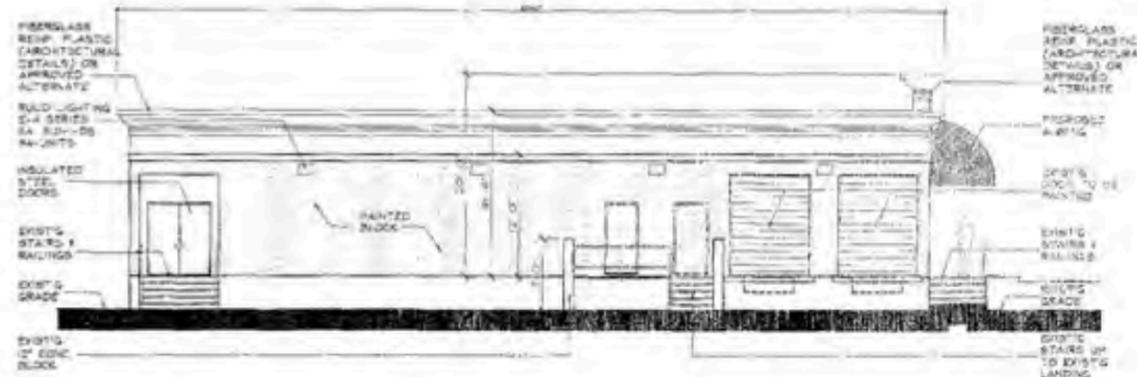
## BESPOKE AUTO HAUS

Project Address: **499 Post Road East, Westport CT 06880**

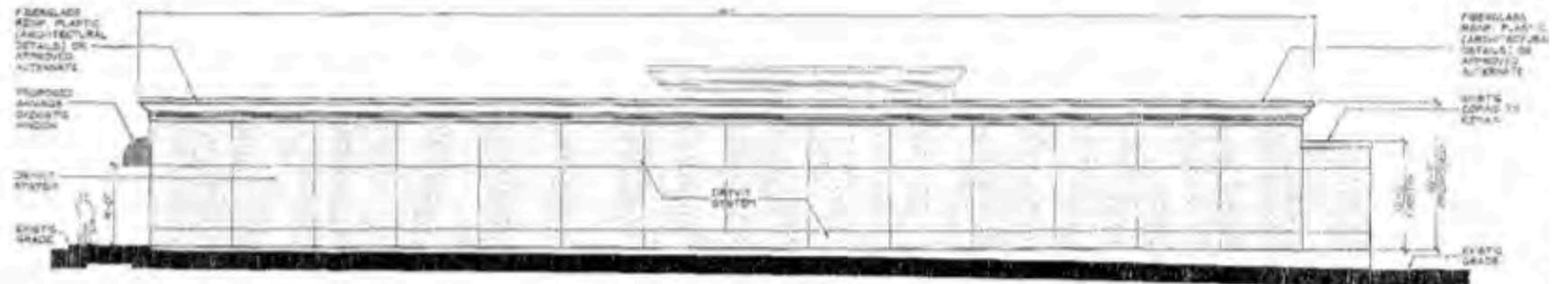
Prepared for: Westport Architectural Review Board

Prepared by: Ronni Molinari, LUMA Design LLC

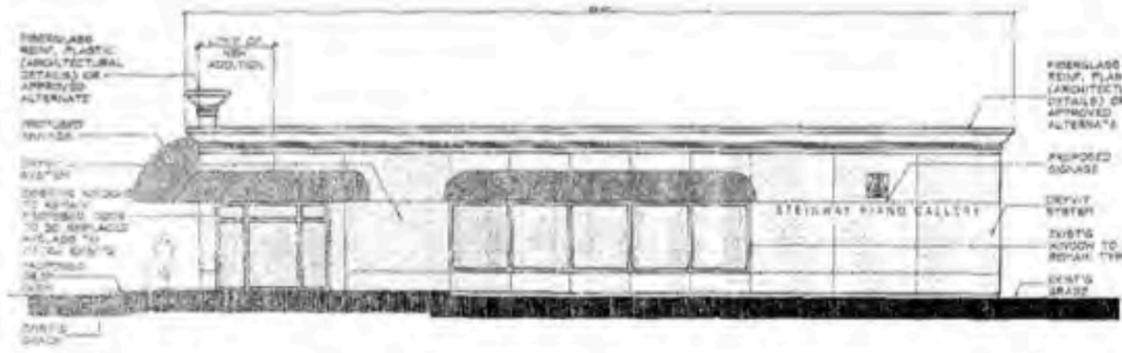
October 8, 2020



North Elevation  
Scale: 1/8"=1'-0"



East Elevation  
Scale: 1/8"=1'-0"



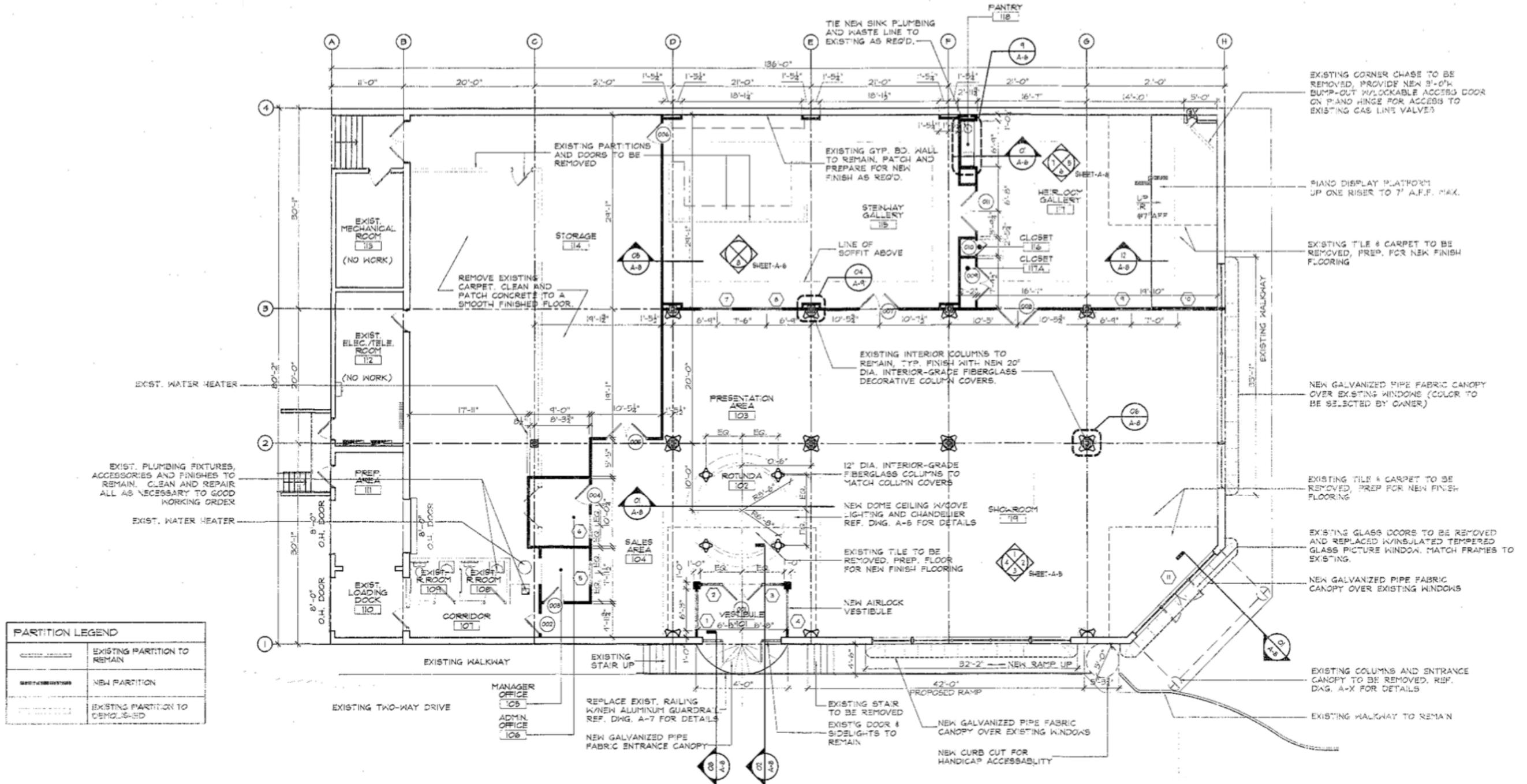
South Elevation  
Scale: 1/8"=1'-0"



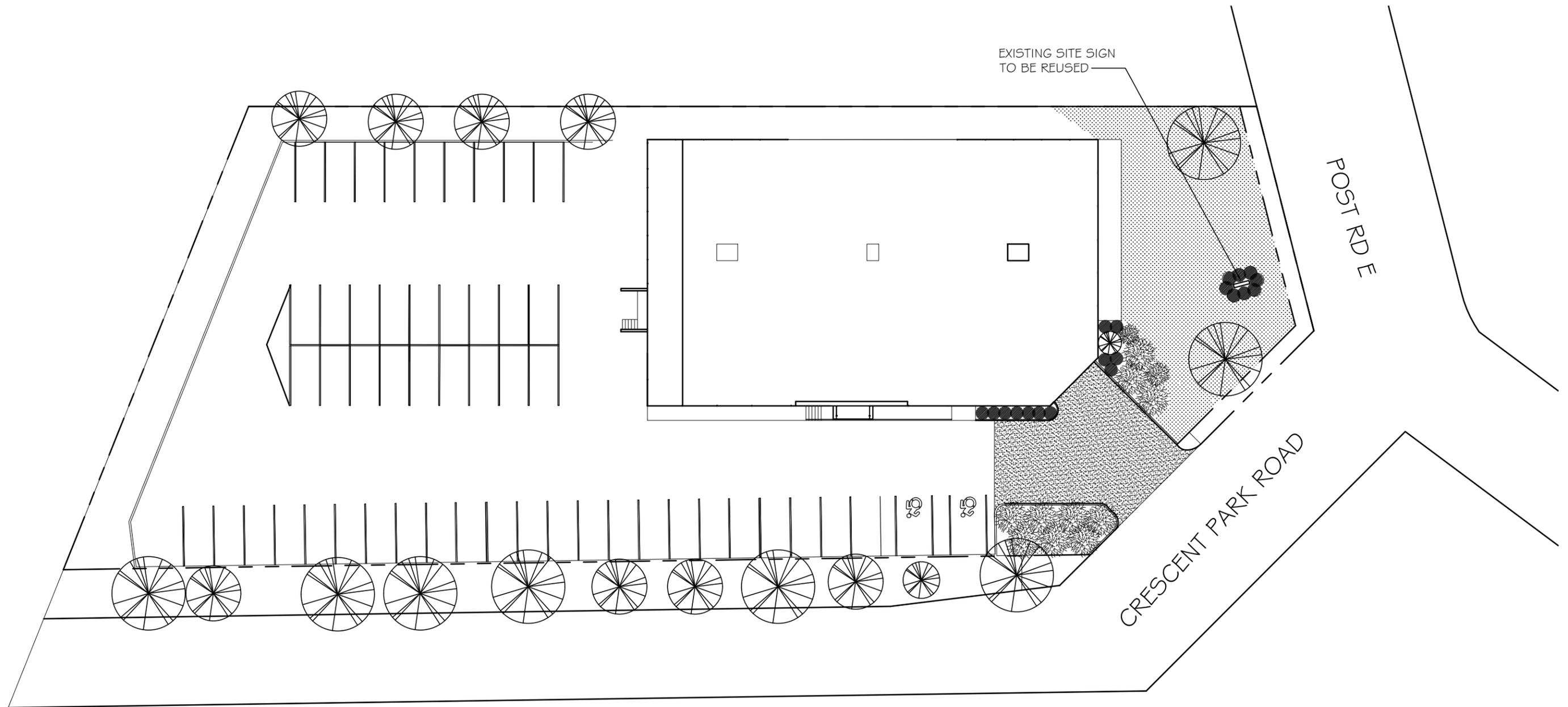
West Elevation  
Scale: 1/8"=1'-0"

# EXISTING CONDITIONS

EXTERIOR ELEVATIONS

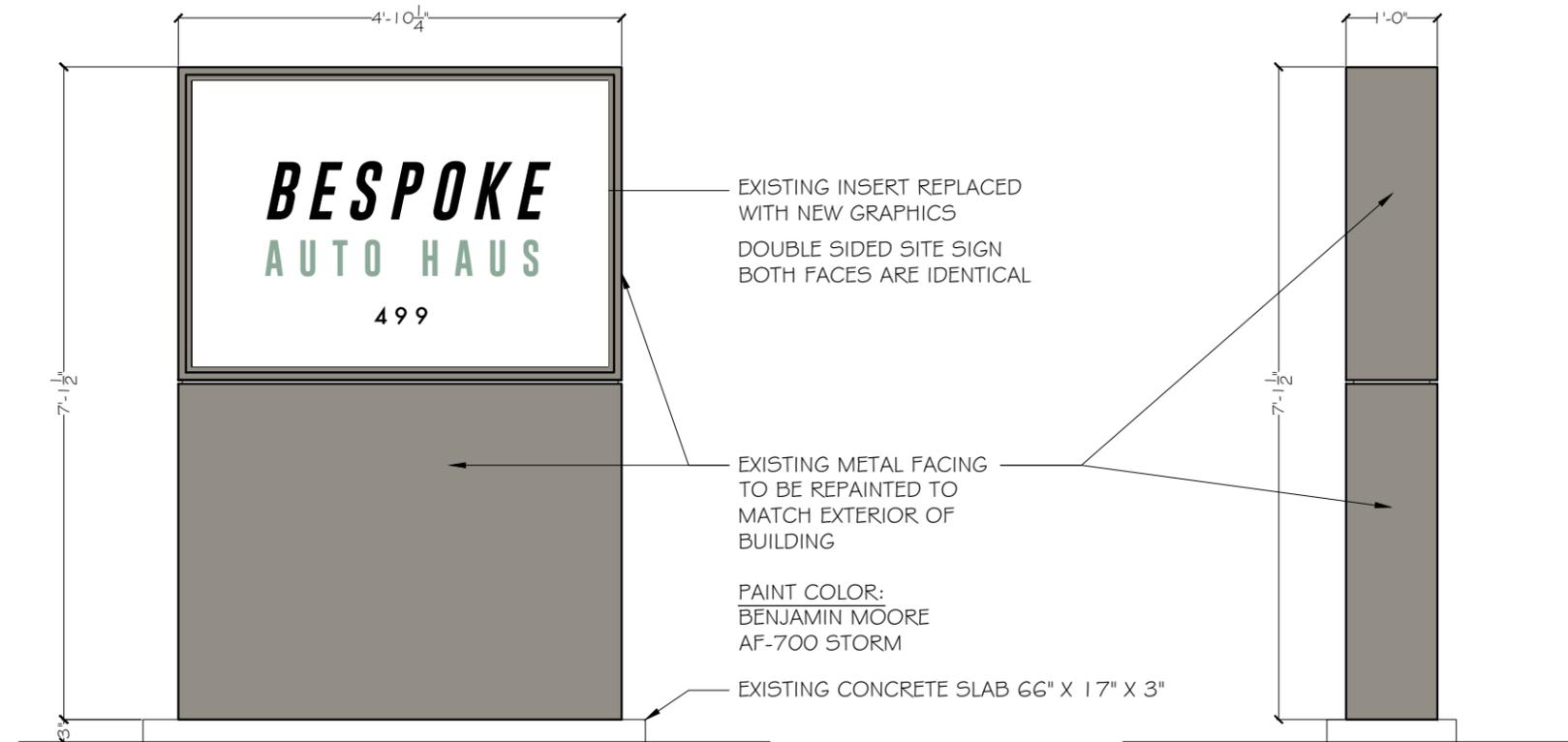


**EXISTING CONDITIONS**  
FLOOR PLAN



**PROPOSED SITE PLAN**

NOT TO SCALE



## PROPOSED SITE SIGN

NOT TO SCALE



# **BESPOKE** AUTO HAUS

Project Address: **499 Post Road East, Westport CT 06880**



# **BESPOKE** AUTO HAUS

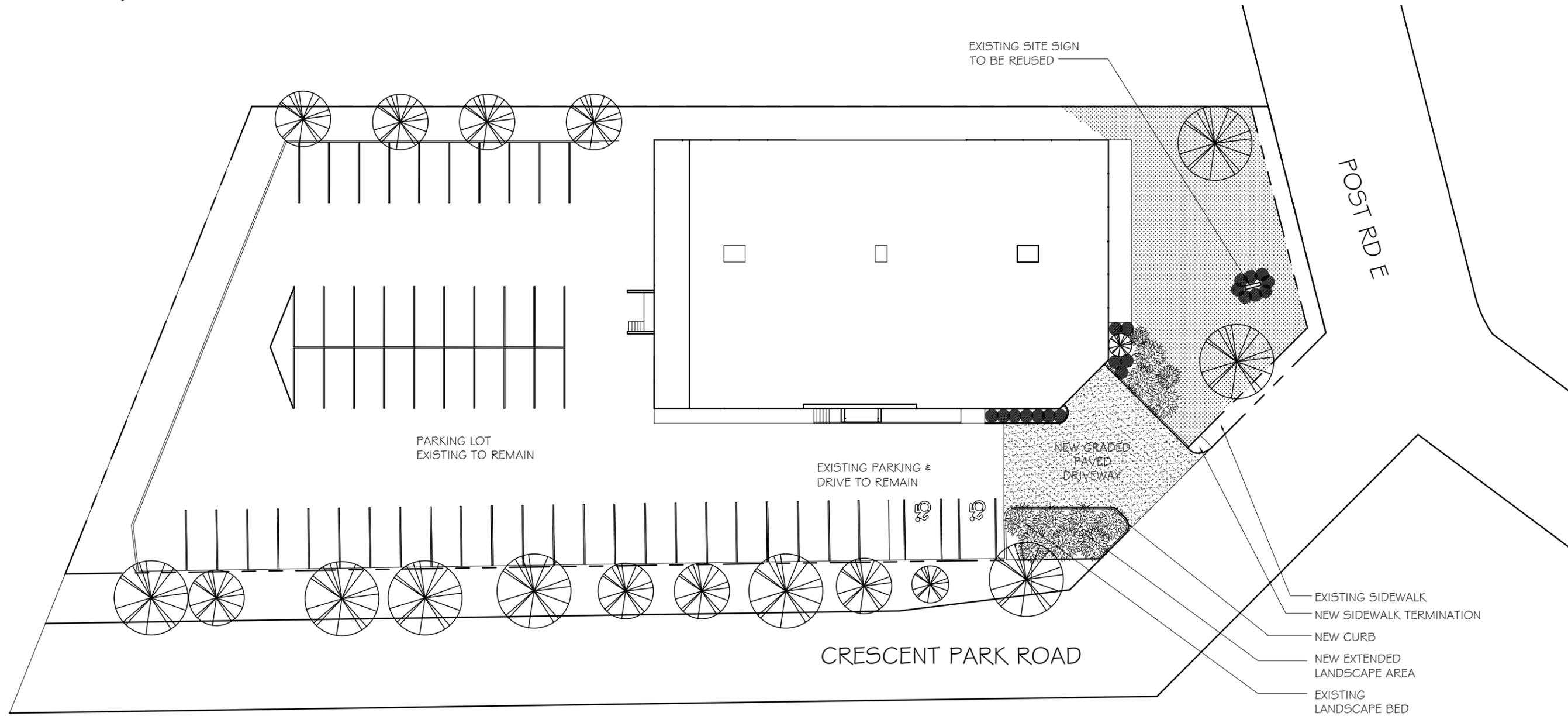
Project Address: **499 Post Road East, Westport CT 06880**

PROPOSED TENANT IMPROVEMENTS

# 499 POST ROAD EAST

WESTPORT, CT 06880

**LUMA**  
DESIGN LLC  
WESTPORT, CT  
r.molinari@lumadesign.studio  
TEL: 646.334.3766



PROJECT:  
**BESPOKE  
AUTO HAUS**  
499 POST RD EAST  
WESTPORT, CT  
06880

PHASE:  
**ARB REVIEW**

DATE:  
10-09-2020

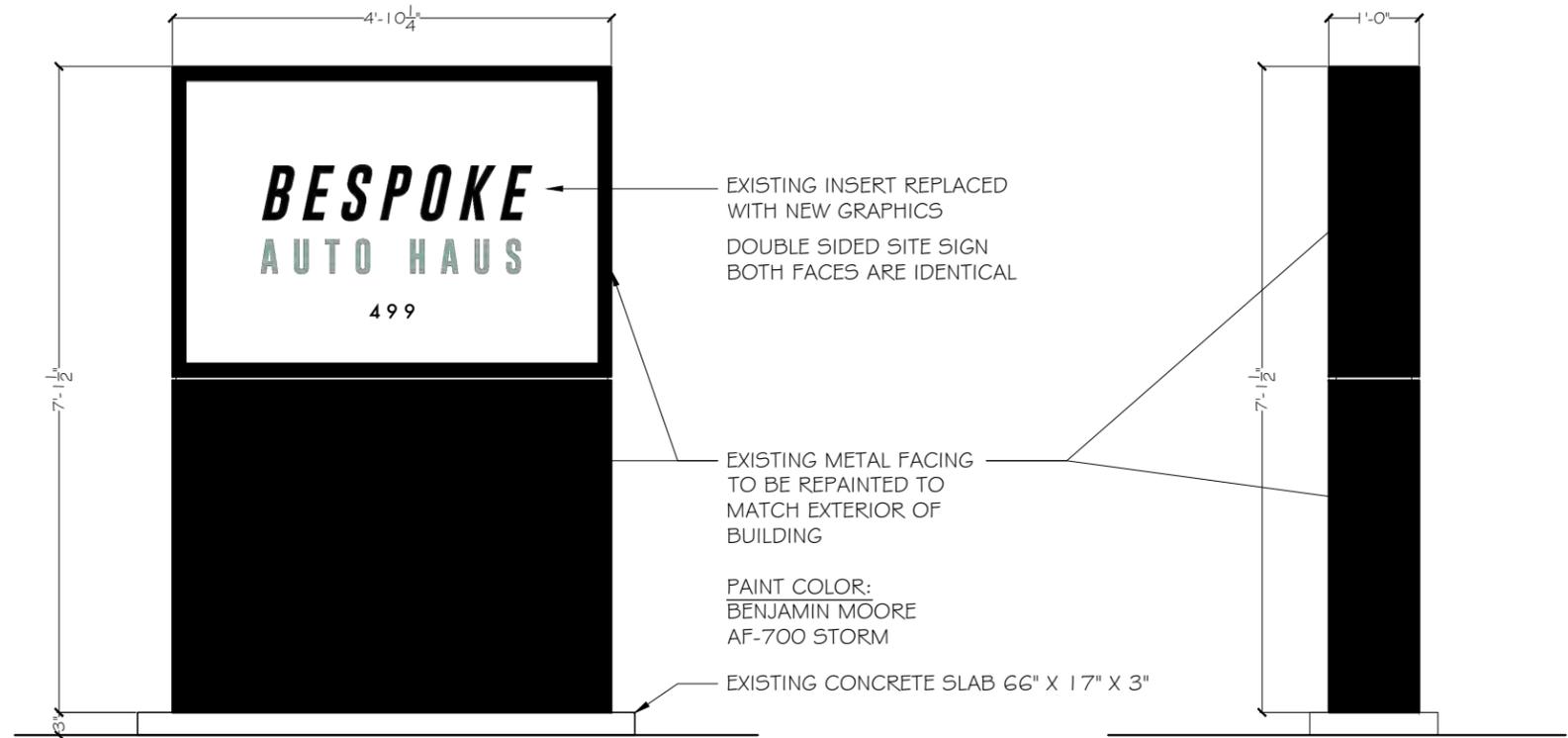
SCALE:  
AS NOTED

SHEET INFO:  
**SITE PLAN,  
SIGN LOCATION**

SHEET #  
**T001**

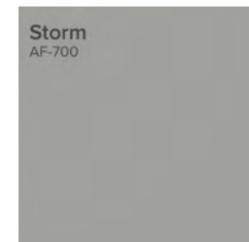
PROPOSED SITE PLAN  
SCALE: 1/32" = 1' - 0"

EXISTING SITE SIGN REPURPOSED  
TOTAL SQ.FT: 4.85 S.F.



EXISTING SITE SIGN  
 FRONT ELEVATION  
 SCALE: 1/2" = 1' - 0"

EXISTING SITE SIGN  
 SIDE ELEVATION  
 SCALE: 1/2" = 1' - 0"



PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

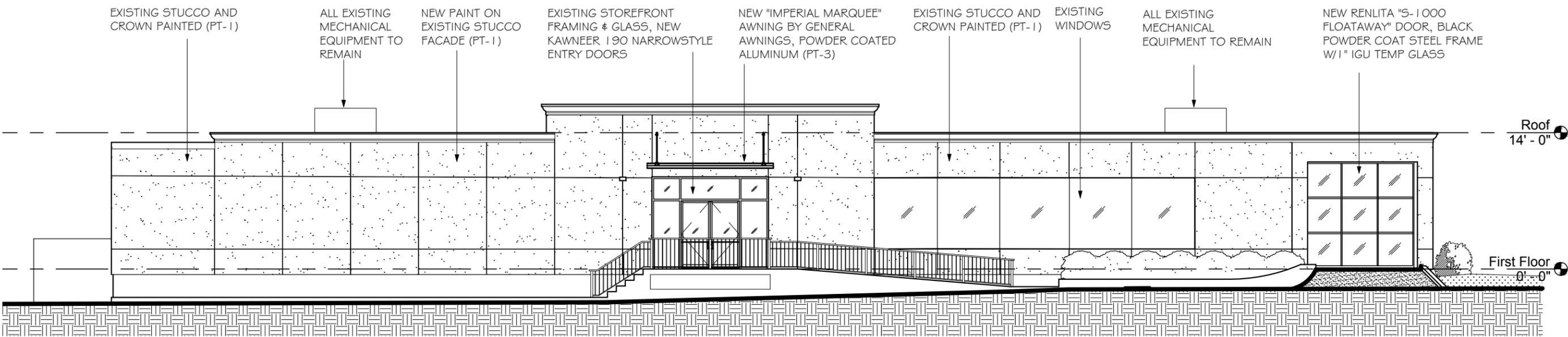
DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

SHEET INFO:  
**SITE SIGN**

SHEET #  
**T002**





**WEST ELEVATION**

SCALE: 3/32" = 1' - 0"

Roof  
14' - 0"

First Floor  
0' - 0"

PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

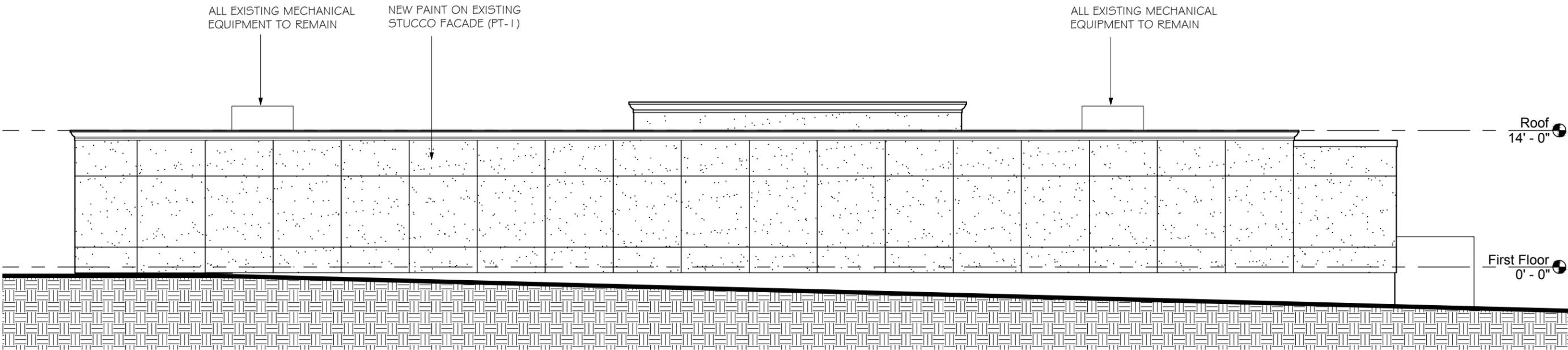
DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

SHEET INFO:  
**EXTERIOR  
 ELEVATIONS**

SHEET #  
**A200a**

EXTERIOR FINISHES		
NO.	SPEC	NOTES
PT-1	AF-700 STORM	REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2124-10 WROUGHT IRON	EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
PT-3	GENERAL AWNINGS POWDER COATED ALUMINUM	GENERAL AWNINGS POWDER COATED ALUMINUM BRONZE 520



**EAST ELEVATION**

SCALE: 3/32" = 1' - 0"

PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

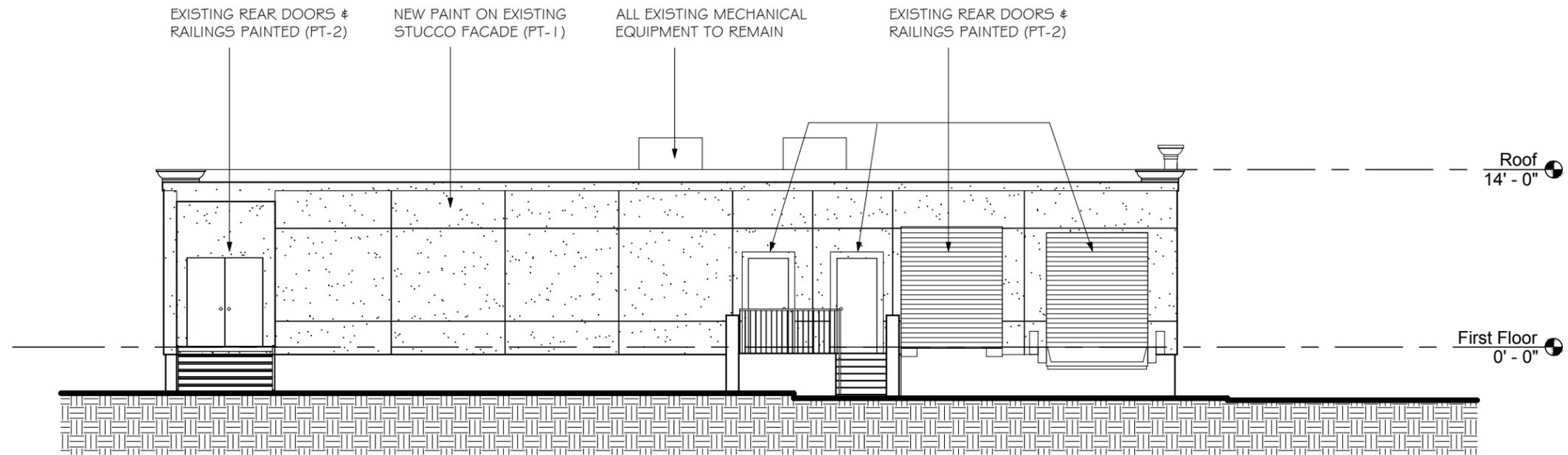
DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

SHEET INFO:  
**EXTERIOR  
 ELEVATIONS**

SHEET #  
**A200b**

EXTERIOR FINISHES		
NO.	SPEC	NOTES
PT-1	AF-700 STORM	REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2124-10 WROUGHT IRON	EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
PT-3	GENERAL AWNINGS POWDER COATED ALUMINUM	GENERAL AWNINGS POWDER COATED ALUMINUM BRONZE 520



**NORTH ELEVATION**

SCALE: 3/32" = 1' - 0"

PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

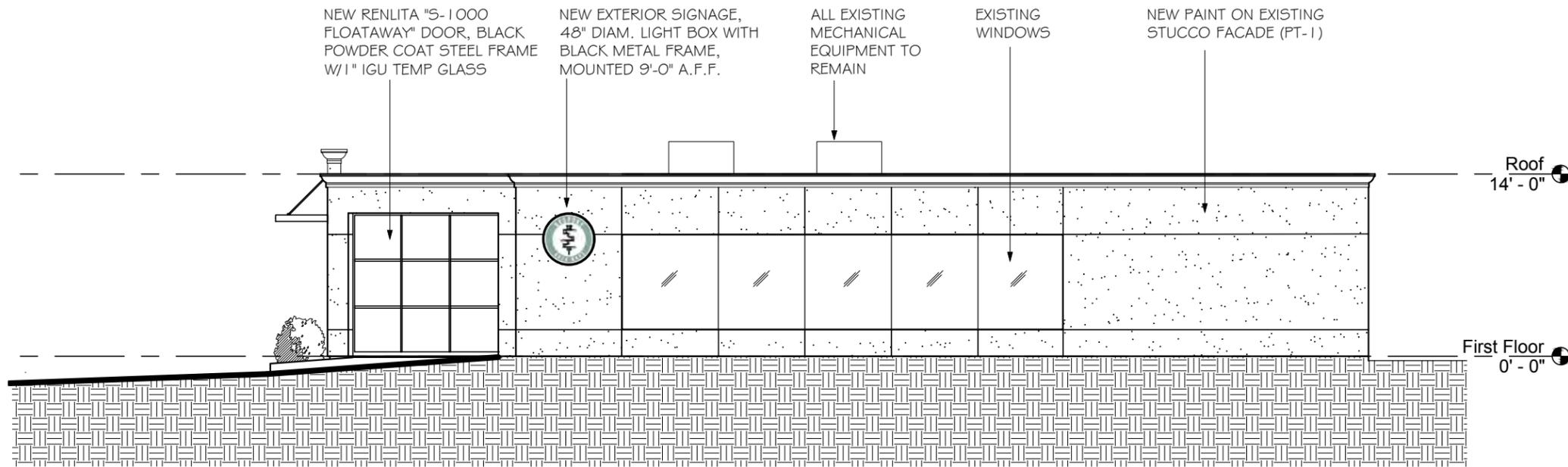
DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

SHEET INFO:  
**EXTERIOR  
 ELEVATIONS**

SHEET #  
**A200c**

EXTERIOR FINISHES		
NO.	SPEC	NOTES
PT-1	AF-700 STORM	REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2124-10 WROUGHT IRON	EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
PT-3	GENERAL AWNINGS POWDER COATED ALUMINUM	GENERAL AWNINGS POWDER COATED ALUMINUM BRONZE 520



**SOUTH ELEVATION**

SCALE: 3/32" = 1' - 0"

PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

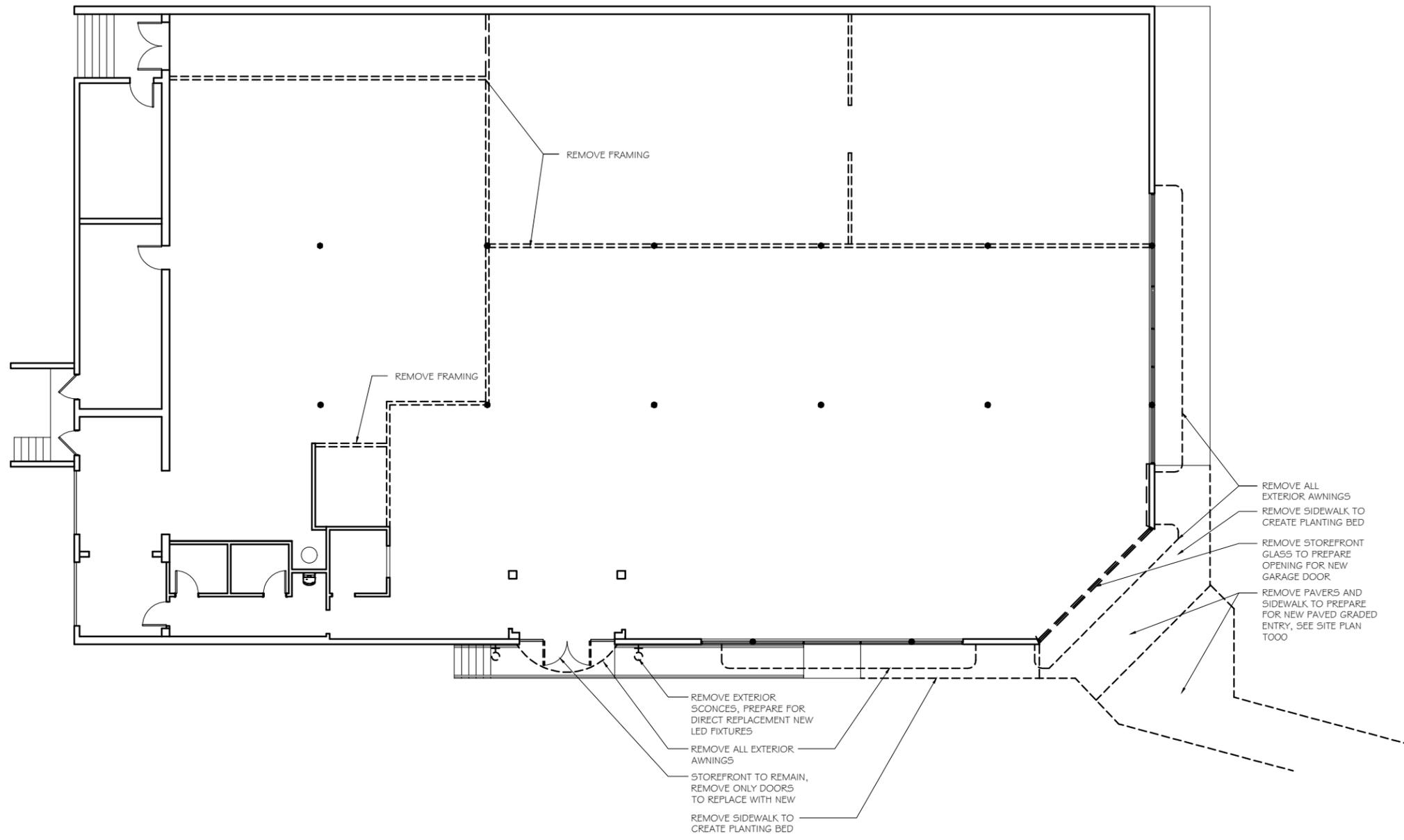
DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

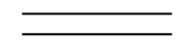
SHEET INFO:  
**EXTERIOR  
 ELEVATIONS**

SHEET #  
**A200d**

EXTERIOR FINISHES		
NO.	SPEC	NOTES
PT-1	AF-700 STORM	REPAINTING EXISTING EXTERIOR STUCCO FACADE & MOULDINGS
PT-2	TREMCLAD RUSTOLEUM OR EQUIVALENT COLOR MATCH BM 2124-10 WROUGHT IRON	EXTERIOR HANDRAILS, RAILINGS, METAL OVERHEAD DOORS
PT-3	GENERAL AWNINGS POWDER COATED ALUMINUM	GENERAL AWNINGS POWDER COATED ALUMINUM BRONZE 520



**PROPOSED DEMOLITION PLAN**  
 SCALE: 1/16" = 1' - 0"

PARTITION LEGEND	
	EXISTING TO REMAIN
	NEW DRYWALL PARTITION
	TO BE DEMOLISHED

PROJECT:  
**BESPOKE  
 AUTO HAUS**  
 499 POST RD EAST  
 WESTPORT, CT  
 06880

PHASE:  
**ARB REVIEW**

DATE:  
**10-09-2020**

SCALE:  
**AS NOTED**

SHEET INFO:  
**DEMOLITION  
 PLAN**

SHEET #  
**D100**