

**Village District Overlay (VDO) Zone Westport Center §36:**

The purpose of this Village District Overlay (VDO) is to protect the distinctive character, landscape, and historic structures and development pattern within this Village District while encouraging a mixed use, walkable district that is attractive to residents, employees, and visitors. New construction or substantial rehabilitation in the Village District should be compatible with the existing character of the district and reinforce both the existing development patterns and connections to the Saugatuck River. (See copy of Westport Regulations §36-2 attached 9pgs)

**JOINT COMMITTEE  
REVIEW and RECOMMENDATION**

PROPERTY ADDRESS: 35 Elm St


OWNER OF RECORD: Town of Westport CT Daytime Tel #: 203 341 1120

OWNER'S ADDRESS: 110 Myrtle Ave, Westport CT E-mail: jbroadbin@westportct.gov  
pratkiewich@westportct.gov

APPLICANT'S NAME (if different): \_\_\_\_\_ Daytime Tel #: \_\_\_\_\_

If the applicant is unable to obtain property owner's signature, submit a letter of authorization signed by the property owner with this application, as per §43-3.3.

APPLICANT'S ADDRESS: \_\_\_\_\_ E-mail: \_\_\_\_\_

  
\_\_\_\_\_  
*Property Owner's Signature*

  
\_\_\_\_\_  
*Legal Representative Signature (As authorized by owner)*

**Required Review and Approvals for Properties Located in the VDO Zone:**

- Certificate of Appropriateness (if property is located within a local historic district or designated a local historic property)
- Joint Committee Review and Recommendation of proposed design plans
- Compliance Alternative for Joint Committee Review (if applicant requests consideration of an alternative approach that satisfies the intent of the design principles but is not in compliance with design standards)
- Site Plan Approval by the Planning and Zoning Commission

**Prior to Joint Committee Review and Recommendation Meeting, please submit the following: (Call for Meeting dates)**

This application completed and the following required materials to Historic District Commission Office, Room 108 203-341-1184.

- Submit a narrative, describing the project, including construction details, proposed materials and how the improvements are consistent with the style or how the improvements vary, a rationale of why the variation should be, approved under Sec 36-2.2.
- Seven (7) copies of the Historic Resources Inventory Form if the property is listed; (Available in HDC Office)
- Seven (7) copies of Site Plan (11" x 17").
- Seven (7) copies of Existing Style of the Building and
- Seven (7) copies of scaled Building Plans, including Existing Conditions Plans and Proposed Plans. (11" x 17").
- Seven (7) complete sets of photos showing the original Building(s) (if applicable), include photos of the Buildings to either side of the proposed project and the view from across the street. A contrasting demonstration of the Existing Building in current Streetscape and the Proposed Building within context of its surroundings.
- Also, submit such other material deemed appropriate by applicant to enable the Joint Committee to evaluate the design.
- E-mail an Electronic Version of ALL your submitted materials to [ddouglass@westportct.gov](mailto:ddouglass@westportct.gov)

Joint Committee Recommendations to P&Z Commission are; \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Joint Committee Chair's Signature: \_\_\_\_\_ Date: \_\_\_\_\_



## DEPARTMENT OF PUBLIC WORKS

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TOWN HALL, 110 MYRTLE AVENUE  
WESTPORT, CONNECTICUT 06880  
(203) 341 1120 [www.westportct.gov](http://www.westportct.gov)

May 4, 2021

### Project Description Baldwin Parking Lot Redesign and Reconstruction Project 2016-07, May 2021

The Town of Westport is seeking to redesign and reconstruct the municipally owned Baldwin Parking lot at 35 Elm Street. This parking area has been constructed over its lifetime, section by section, not designed as one whole facility. As this lot serves as the main parking area for Westport's downtown area, its importance and condition warrant a renovation effort.

This existing lot contains an outdated parking and circulation pattern, storm drainage, an electrical service, retaining walls, asphalt pavement and curbing, sidewalks, lighting, etc., the majority of which are at the end of their service life and in need of replacement. There is no storm water management. Also, a portion of the parking area exists at an elevation that allows for flooding in times of heavy rainfall and is served by a storm drainage system that is partially non-functional.

It is anticipated that the parking area will be redesigned into a facility that utilizes the Town's current standards and materials for parking, dimensional layout, traffic patterns, lighting, drainage, landscaping, storm water management, and increased public safety access when reconstructed. The lot will be raised to minimize flooding. Further, electric vehicle charging stations, a "Blue Light" personal safety system, and closed circuit video monitoring system will be included. Improvements to vehicle and pedestrian access and egress and ADA compliance are expected. This is the same level of detail applied to our other parking facilities that have been renovated since 2015. A possible physical connection between this municipal lot and the abutting Avery Place private lot will be accommodated in the design should the Town and adjacent owner wish to provide access and parking through both lots. As the number of parking stalls is being reduced from 203 to 173 due to the existing non-conforming conditions, this future connection may add some flexibility and greater parking opportunities to the area.

This work will be accomplished by a competitively bid construction contract, designed, and overseen by the Westport Department of Public Works.

With respect to the Village District Design Principles and Standards we submit the following:

The elements of this project include lighting, landscaping, parking reconfiguration, and installation of LID drainage elements including raingardens and vegetated drainage swales. In addition, we are adding electric vehicle chargers to address our sustainability goals and adding security stations to be consistent with our security for large parking facilities.

Lighting – will be the standard Lumec LED contemporary Lantern that was previously approved by the Joint Committee and has been used consistently on Main Street, Elm Street, Church Lane, and the Sigrid Schultz, (Elm St), parking lot.

Landscaping – will comply with all Zoning requirements and provides a distributed greenery throughout the lot that simply does not exist today. The long parking islands as well as the Northeast border of the lot utilize flush curbing to facilitate rainwater flow into rain gardens for biofiltration before being discharged to the storm drains. There are many more landscaped areas in the lot than existed previously with a mix of both low plantings and trees. This will compliment the district's landscape patterns, and frankly provide a level of landscaping in the parking lot that has never existed before. In terms of design standards, we feel that the proposed landscaping in every way meets the standards outlined in §36-2.3.4.

Parking – the existing circulation pattern is non-conforming to the current P&Z regulations. The proposed parking circulation improves the circulation as best it can. Since this is a geometrically challenging lot with very little uniformity of shape, in order to make the aisle widths and turning radii compliant, we had to give up some parking and creatively utilize small car parking spaces strategically. The result is a reduction in parking spaces from 203 existing spaces to 173 spaces, or a reduction of 30 spaces. However, with our proposed regrading many of the existing spaces that were subject to the 25 year flood are proposed to be lifted out of it. the result is that we actually gain 20 usable parking spaces that are not subject to being flooded.

Here is a photograph of the situation when the existing lot gets flooded:



In the current configuration there are up to 72 spaces that are not usable during a major flooding event. By lifting the lot's elevation we will reduce both the number of spaces flooded and the severity of the flooding

Finally with respect to parking, we are building into the design the ability to make a connection to the private Avery Street parking lot, in the event that we are able to reach an agreement with the private lot owners. Part of the agreement is to create a shared compactor pad that will service both lots and eliminate the unsightly line of dumpsters that exist today. Those will be reduced to two compactors, one for trash and one for recycling. This concept, first advanced by the Downtown Plan Implementation Committee, has been successful in both the Parker Harding lot and the Sigrid Schultz lot.

Pedestrian Access – the plan improves upon the accessibility requirements of the ADA by providing an accessible route from the proposed handicap spaces to Elm Street and the greater Downtown area.

All in all, we feel that the overall proposal for the Baldwin lot is entirely consistent with the principles and Standards of the Village District, and will create a much more user-friendly parking area for the use of all Downtown.

We request the approval of the Village District Joint Committee.

# SITE PLAN APPLICATION

## PROPOSED IMPROVEMENTS FOR THE TOWN OF WESTPORT

### BALDWIN PARKING LOT IMPROVEMENTS

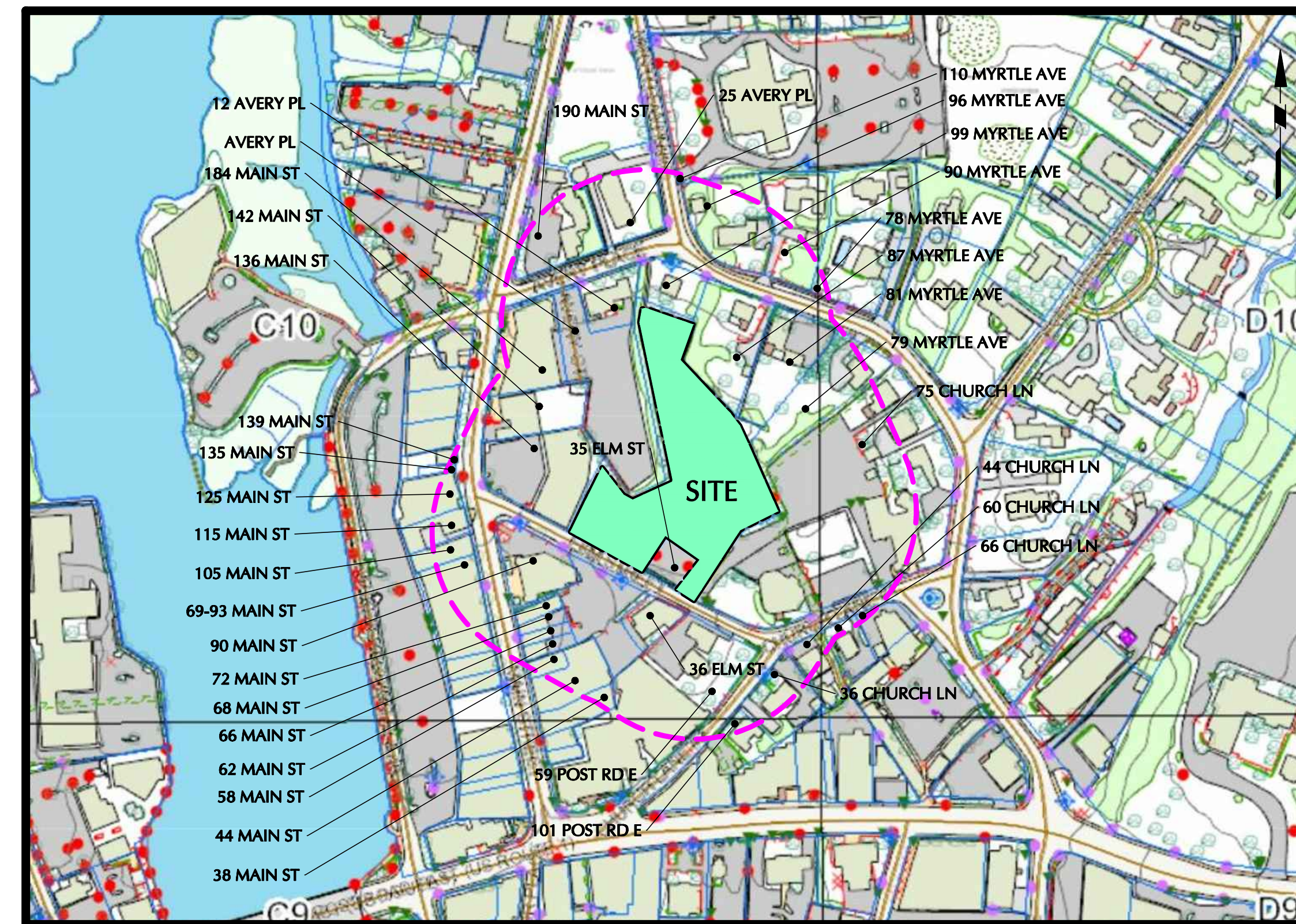
#### 35 ELM STREET

#### TOWN OF WESTPORT, FAIRFIELD COUNTY, CONNECTICUT

### CIVIL DRAWING INDEX

#### ABUTTING PROPERTY OWNERS

ADDRESS	OWNER	OWNER'S ADDRESS	ADDRESS	OWNER	OWNER'S ADDRESS
105 MAIN ST	ESRT 103-107 MAIN ST LLC	1 GRAND CENTRAL PLACE, NEW YORK NY 10165	44 MAIN ST	WESTPORT MAIN ST RETAIL LLC	276 POST RD W SUITE 201, WESTPORT, CT 06880
79 MYRTLE AVE	NICKY V LLC	25 OLD MILL RD, WESTPORT CT 06880	75 CHURCH LN	CHRIST & HOLY TRINITY CHURCH	75 CHURCH LN, WESTPORT, CT 06880
184 MAIN ST	HULBERT THOMAS FEST	3903 BELLAIRE BLVD, HOUSTON TX 77025	66 MAIN ST	PARILLO FAMILY THE LTD PARTNERSHIP LP	4 HUNT CLUB LN, WESTPORT, CT 06880
96 MYRTLE AVE	DAURIA MATTHEW AND CALABRETTA MICHELLE	96 MYRTLE AVE, WESTPORT CT 06880	AVERY PL	HULBERT THOMAS F EST OF	3903 BELLAIRE BLVD, HOUSTON, TX 77025
90 MYRTLE AVE	ENGLEHART JOHN N & PAGE N	90 MYRTLE AVE, WESTPORT CT 06880	44 CHURCH LN	BW CHURCH EAST LLC	28 CHURCH LN 2ND FL, WESTPORT, CT 06880
69-93 MAIN ST	ESRT 69-97 MAIN ST LLC	1 GRAND CENTRAL PLACE, NEW YORK NY 10165	90 MAIN ST	ZATCOFF GERALDINE	59 MAIN ST UNIT 5, WESTPORT, CT 06880
135 MAIN ST	F D H GROUP	153 DUDLEY DR, FAIRFIELD CT 06824	62 MAIN ST	PARILLO FAMILY THE LTD PARTNERSHIP LP	4 HUNT CLUB LN, WESTPORT, CT 06880
68 MAIN ST	GARFIELD ANNE C & ARTHUR LANGE ET ALS	12 GENEVA RD, NORWALK CT 06850	136 MAIN ST	WESTFAIR INC	877 POST RD E #4, WESTPORT, CT 06880
78 MYRTLE AVE	KEENAN SHEILA F & THOMAS M	78 MYRTLE AVE, WESTPORT CT 06880	25 AVERY PL	WESTPORT HISTORICAL SOCIETY	25 AVERY PLACE, WESTPORT, CT 06880
58 MAIN ST	COBBLER LLC	9 DELETTA LN, WESTPORT CT 06880	90 MAIN ST	HANNAN PETER J & DOLORES B	PO BOX 548, WESTPORT, CT 06880-0548
38 MAIN ST	38 MAIN LP	97-77 QUEENS BLVD SUITE 1103, REGO PARK NY 11374	101 POST RD E	WW 101-107 POST LLC	28 CHURCH LN, WESTPORT, CT 06880
115 MAIN ST	CAMPANA 115 LLC	350 WILLOW ST, SOUTHPORT CT 06890	90 MAIN ST	FEARON PETER D & MARISA	PO BOX 575, WESTPORT, CT 06881
90 MAIN ST	SEVERN REALTY CORPORATION	445 PARK AVE 9TH FLOOR, NEW YORK NY 10022	36 CHURCH LN	RED X HOLDINGS LLC	PO BOX 5180, WESTPORT, CT 06881
142 MAIN ST	TEUSCHER FAMILY LMTD PARTNERSHIP	5 WILCOX LN, WESTPORT CT 06880	110 MYRTLE AVE	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT, CT 06880
ELM ST	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT CT 06880	90 MAIN ST	JAM ON MAIN LLC	28 WOODS GROVE RD, WESTPORT, CT 06880
60 CHURCH LN	BRAIDMAX LLC	PO BOX 5180, WESTPORT CT 06881	90 MAIN ST	CondoMain	CondoMain, WESTPORT, CT 06880
59 POST RD E	BEDFORD SQUARE ASSOC LLC	75 HOLLY HILL LN SUITE 305, GREENWICH CT 06830	90 MAIN ST	BHADRA PITHIVRAJ AND DATTA INDRANI	90 MAIN ST #7, WESTPORT, CT 06880
72 MAIN ST	ABC KINSHIP LLC	19 ROME STREET, NORWALK, CT	81 MYRTLE AVE	ZHANG BING & CINDY	81 MYRTLE AVE, WESTPORT, CT 06880
35 ELM ST	DD KEMPER-GUNN, LLC	75 HOLLY HILL LN SUITE 305, GREENWICH CT 06830	87 MYRTLE AVE	EGEBERG OLAV AND VERMEERSCH ISABELLE	9 CACCAMO TRL, WESTPORT, CT 06880
90 MAIN ST	WARD DARIA & KELLY	90 MAIN ST #6, WESTPORT, CT 06880	125 MAIN ST	CAMPANA 125 LLC	350 WILLOW ST, SOUTHPORT, CT 06890
35 ELM ST	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT, CT 06880	36 ELM ST	36 5 15 PROPERTIES LLC	1 STONY PT W, WESTPORT, CT 06880
66 CHURCH LN	66 CHURCH LANE LLC	PO BOX 1013, PALM BEACH, FL 33480	90 MAIN ST	RUTHERFORD ANNE F TRUSTEE	9 OLD HILL RD, WESTPORT, CT
99 MYRTLE AVE	GLYNN PATRICIA	99 MYRTLE AVE, WESTPORT, CT 06880	139 MAIN ST	UNITED REALTY INC	1111 SUMMER ST SUITE 603, STAMFORD, CT 06905
190 MAIN ST	WHA EQUITIES CORPORATION	PO BOX 95, WESTPORT, CT 06881	12 AVERY PL	B + B ASSOCIATES	12 AVERY PL, WESTPORT, CT 06880-3201



**LOCATION MAP**  
1" = 200'

NUMBER	TITLE	DATE	REVISED
CS001	COVER SHEET	01/26/2021	05/10/2021
CS002	MASTER LEGEND & NOTES	01/26/2021	05/10/2021
VB101	BOUNDARY & TOPOGRAPHIC SURVEY	05/31/2019	
CS101	SITE PLAN	01/26/2021	05/10/2021
CS501	SITE DETAILS I	01/26/2021	05/10/2021
CS502	SITE DETAILS II	01/26/2021	05/10/2021
CG101	GRADING & DRAINAGE PLAN	01/26/2021	
CG501	GRADING & DRAINAGE DETAILS	01/26/2021	
LP101	PLANTING PLAN	01/08/2021	05/10/2021
LP501	PLANTING DETAILS	01/08/2021	
LL101	LIGHTING PLAN	01/08/2021	05/10/2021
LL501	LIGHTING DETAILS	01/08/2021	

#### RELEASE DATES

DATE	ISSUED FOR
01/26/2021	70% FOR TOWN REVIEW AND COMMENT
05/10/2021	SITE PLAN APPLICATION

#### OWNER/APPLICANT

TOWN OF WESTPORT  
110 MYRTLE AVENUE  
WESTPORT, CONNECTICUT 06880  
(203) 341-1000

#### CIVIL ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT

LANGAN CT, INC.  
555 LONG WHARF DRIVE  
NEW HAVEN, CONNECTICUT 06511  
(203) 562-5771

**LANGAN**

### DEMOLITION NOTES

- GENERAL:**
- THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
  - THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
  - THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
  - THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
  - CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.
- DEMOLITION:**
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
  - THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

### GENERAL SITE NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, DATED 05/31/19. SITE PLAN PREPARED FROM THIS CLASS A-2 SURVEY.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- THE CONTRACTOR AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- HANDICAP PARKING SHALL COMPLY WITH THE CT STATE BUILDING CODE REQUIREMENTS AS OF DECEMBER 2016 OR LATEST REVISED.

### GRADING & DRAINAGE NOTES

- STORM DRAINAGE PIPING INSTALLATION SHALL COMMENCE AT THE FURTHEST DOWNSTREAM POINT AND PROCEED UPSTREAM "IN THE DRY".
- THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE ENTIRE DRAINAGE SYSTEM OF ALL DEBRIS AND OBSTRUCTIONS BOTH DURING CONSTRUCTION AND AT THE END OF CONSTRUCTION PRIOR TO ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ALL FORMWORK FROM STRUCTURES, CONCRETE AND MORTAR DROPPINGS, CONSTRUCTION DEBRIS, AND DIRT. THE SYSTEM SHALL BE THOROUGHLY FLUSHED CLEAN AND THE CONTRACTOR SHALL FURNISH ALL NECESSARY HOSE, PUMPS, PIPE, AND OTHER EQUIPMENT THAT MAY BE REQUIRED FOR THIS PURPOSE. NO DEBRIS SHALL BE FLUSHED INTO EXISTING STORM DRAINS, WETLANDS, OR WATERCOURSES. ALL DEBRIS SHALL BE REMOVED FROM THE SYSTEM AND DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
- ALL MANHOLE COVERS, GRATES, INLETS, AND RIMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.

### CONTRACTOR NOTES

- THE WORK TO BE PERFORMED IS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS MAY NOT COMPLETELY REPRESENT ALL SPECIFIC DETAILS OF INSTALLATION REQUIRED FOR CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL ENGINEERING INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND RECEIVING REVIEWS AND/OR DIRECTION ON WRITTEN REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE AND SHALL BE DEEMED TO HAVE MADE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ANY AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION. ANY CONDITIONS THAT DIFFER FROM THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
- IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTE THAT THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE THE PROPOSED SANITARY AND STORM PIPING WILL CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS SO THAT AN APPROPRIATE MODIFICATION CAN BE MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWN OF WESTPORT TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, TOWN OF WESTPORT AND STATE OF CONNECTICUT.

### ABBREVIATIONS

- |                                       |  |
|---------------------------------------|--|
| SWL - SINGLE WHITE LINE               | MH - MANHOLE                           |
| DYL - DOUBLE YELLOW LINE              | COB - CURBED CATCH BASIN (STORM INLET) |
| BWL - BROKEN WHITE LINE               | INV - INVERT                           |
| CLF - CHAIN LINK FENCE                | LF - LINEAR FEET                       |
| AD - AREA DRAIN                       | CO - CLEAN OUT                         |
| CB - CATCH BASIN                      | TF - TOP OF FRAME                      |
| TYP. - TYPICAL                        | RCP - REINFORCED CONCRETE PIPE         |
| N.I.C. - NOT IN CONTRACT              | YD - YARD DRAIN                        |
| HDPE - HIGH DENSITY POLYETHYLENE PIPE | V.I.F. - VERIFY IN FIELD               |
| PVC - POLYVINYL CHLORIDE PIPE         | GTD - GRADE TO DRAIN                   |
| RL - ROOF LEADER                      | LA - LANDSCAPE AREA                    |

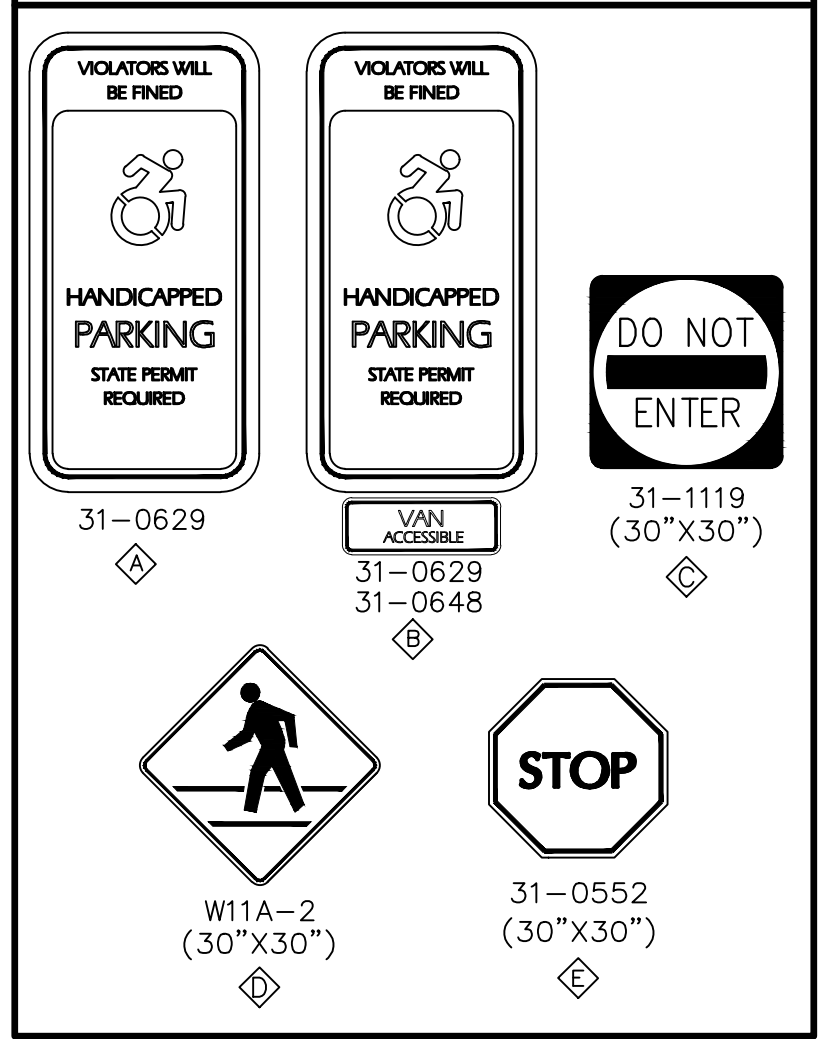
### UTILITY CONTACTS

- |   |   |   |
|---|---|---|
| <b>ELECTRIC</b><br>EVERSOURCE<br>LORENZO DIURNO<br>9 TINDALL AVENUE<br>NORWALK, CT 06851<br>(203) 845-3435                | <b>TELEPHONE</b><br>FRONTIER COMMUNICATIONS<br>JAY SCHIAVONE<br>(203) 383-6623  | <b>GAS</b><br>SOUTHERN CONNECTICUT GAS<br>BRIAN EARLY<br>60 MARSH HILL ROAD<br>ORANGE, CT 06477<br>(203) 339-0099     |
| <b>WATER</b><br>AQUARION<br>DAVE SANDOR<br>200 MONROE TURNPIKE<br>MONROE, CT 06468<br>(203) 445-7310                      | <b>PUBLIC WORKS</b><br>TOWN HALL<br>PETER RATKIEWICH<br>110 MYRTLE AVENUE, ROOM 210<br>WESTPORT, CT 06880<br>(203) 341-1120 | <b>SANITARY</b><br>WESTPORT ENGINEERING<br>BRYAN H THOMPSON<br>110 MYRTLE AVE<br>WESTPORT, CT 06880<br>(203) 341-1129 |
| <b>TOWN ENGINEER</b><br>TOWN HALL<br>KEITH WILBERG<br>110 MYRTLE AVENUE, ROOM 210<br>WESTPORT, CT 06880<br>(203) 341-1793 | <b>CABLE</b><br>CABLEVISION OF CONNECTICUT<br>28 CROSS STREET<br>NORWALK, CT 06851<br>(203) 750-5779                        |   |

### LEGEND

	EXISTING	PROPOSED
BUILDING LINE		
DOOR LOCATION		
CURB LINE		
PROPERTY LINE		
PARKING COUNT		
CROSSWALK		
PAVEMENT MARKING		
DIRECTION OF TRAVEL		
TRAFFIC SIGN		
SIGN DESIGNATION		
CONCRETE SIDEWALK		
SAWCUT LINE		
CONTOUR		
SPOT ELEVATION		
STORM PIPE		
CATCH BASIN		
AREA DRAIN		
YARD DRAIN		
STORM MANHOLE		
SANITARY SEWER MAIN		
SANITARY MANHOLE		
CLEANOUT		
WATER MAIN (DOMESTIC)		
FIRE PROTECTION		
FIRE HYDRANT		
WATER GATE VALVE		
SIAMESE CONNECTION		
GAS VALVE		
GAS LINE		
GAS METER		
OVERHEAD WIRES		
UTILITY POLE		
LIGHT POLE		
UNDERGROUND ELECTRIC		
ELECTRIC MANHOLE		
ELECTRIC/TRAFFIC VAULT		
UNDERGROUND TELECOMM		
TELEPHONE MANHOLE		
TRANSFORMER		
LIMIT OF DISTURBANCE		
SILT SOCK		
PROPOSED INLET PROTECTION		
CONSTRUCTION FENCE		
ANTI-TRACKING PAD		
HAYBALES		
ZONE LINES		
BUILDING DOORS		
PARKING COUNTS		

### SIGN LEGEND



### UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING EXCAVATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
  - LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
  - GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
  - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
  - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
- ELECTRIC, TELEPHONE, & GAS:**
- CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
  - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.
- WATER & SANITARY:**
- GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY". THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING UTILITY DOWNSTREAM. IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

#### REVISIONS

Langan CT, Inc.  
555 Long Wharf Drive  
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project

## BALDWIN PARKING LOT IMPROVEMENTS

ELM STREET

WESTPORT CONNECTICUT

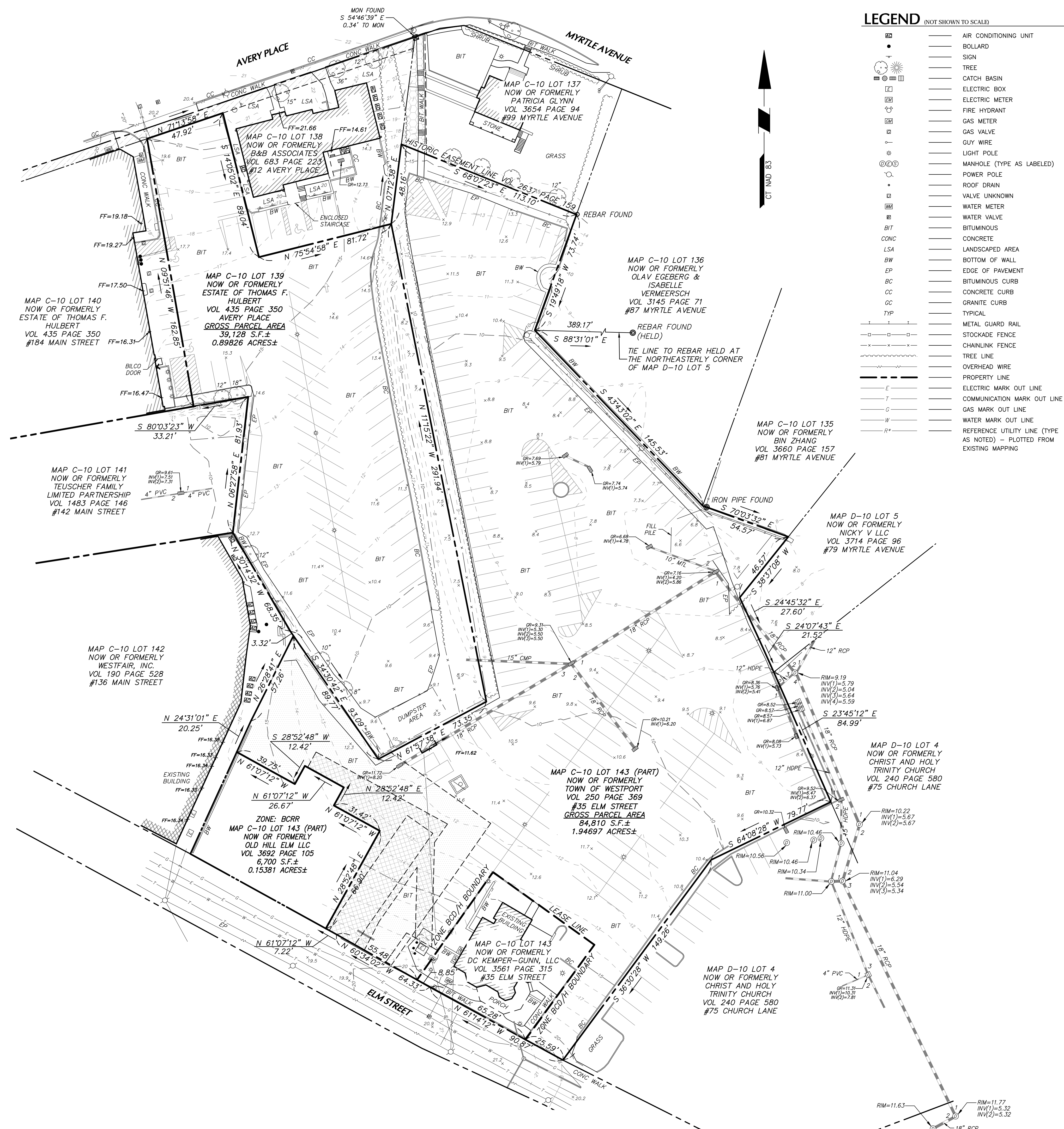
Drawing Title

## MASTER LEGEND & NOTES

Project No.	Drawing No.
140204001	CS002
Date	
01/26/2021	
Drawn By	
NCW	
Checked By	
DTG	

**NOTES**

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
  - MAP TITLED "KEMPER-GUNN HOUSE, PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY, WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: 09/11/2014, REVISED: 09/11/2014, BY: LANGAN ENGINEERING & ENVIRONMENTAL SERVICES
  - MAP TITLED "PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY KEMPER-GUNN HOUSE" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED: 09/11/2014.
  - MAP TITLED "PLOT PLAN PREPARED FOR TOWN OF WESTPORT" BY LEONARD SURVEYORS, LLC, DATED: SEPTEMBER 22, 2002.
  - MAP TITLED "PLOT PLAN PREPARED FOR TOWN OF WESTPORT" BY LEONARD SURVEYORS, LLC, DATED: JANUARY 3, 2006.
  - MAP TITLED "MAP PREPARED FOR ROSE KRAFT WESTPORT CONN", SCALE: 1"=40', DATED: APRIL 1956, MAP #4417
  - MAP TITLED "MAP OF PROPERTY TO BE TRANSFERRED FROM DEBORA SLACK TO PEGGY VAN KIRK REID WESTPORT CONN.", SCALE: 1"=40', DATED: APRIL 1943, MAP #1751
  - MAP TITLED "MAP SHOWING PROPERTY TO BE ACQUIRED BY THE TOWN OF WESTPORT FROM ELLEN RICE WILEY" DATED JUNE 1967.
  - MAP TITLED "SURVEY PREPARED FOR THE TOWN OF WESTPORT PARKING AUTHORITY WESTPORT CONN", SCALE: 1"40', DATED: JUNE 1966, MAP #6434
  - MAP TITLED "MAP OF PROPERTY OF EDWARD C. BIRGE & EST. KATE T. BIRGE, WESTPORT CONN.", SCALE: 1"=20', DATED MARCH 1938, MAP #1380
  - MAP TITLED "MAP OF PROPERTY OF PAULINE CARUSON ET-ALS." DATED DECEMBER 1947.
  - MAP TITLED "SURVEY PREPARED FOR CHRIST AND HOLY TRINITY CHURCH WESTPORT, CONN.", SCALE: 1"=20', DATED: FEBRUARY 23, 1966, MAP #6238
  - MAP TITLED "MAP OF PROPERTY SURVEYED FOR DOROTHY R. HEALY WESTPORT CONN.", SCALE: 1"=20', DATED: JANUARY 1940, LAST REVISED: APRIL 1941.
  - MAP TITLED "ALTA/ACSM LAND TITLE SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED MARCH 26, 2007 AND LAST REVISED JUNE 12, 2013.
  - MAP TITLED "PROPERTY OF THOMAS F. HULBERT "AVERY COURT." WESTPORT CONN.", SCALE: 1"=20', MAP #3006
  - MAP TITLED "MAP DEPICTING PROPOSED UTILITY EASEMENTS TO BE GRANTED TO THE TOWN OF WESTPORT ACROSS PROPERTIES LOCATED AT 184 MAIN STREET & 12 AVERY PLACE WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: 03/09/2016, MAP #10262
  - MAP TITLED "SURVEY PREPARED FOR THE ESTATE OF JENNIE S. THORPE WESTPORT, CONN", SCALE: 1"=20', DATED: MARCH 1961, MAP #5510
  - MAP TITLED "PLOT PLAN PROPERTY SURVEYED FOR SUSAN SCHULTZ LOCATED 87 MYRTLE AVENUE - WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: DEC. 5, 1988, MAP #8715
  - MAP TITLED "MAP OF PROPERTY OWNED BY MISS MARGARET JUDSON WESTPORT, CONN.", SCALE: 1"=20', DATED: JULY 1922, MAP #236
  - MAP TITLED "SUBDIVISION MAP EMILY MCLAURY HOUSE 99 MYRTLE AVENUE WESTPORT CONNECTICUT", SCALE: 1"=20', DATED: 08/08/2015, BY: LANGAN CT, INC.
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF APRIL 2019.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "FAIRFIELD COUNTY, CONNECTICUT PANEL 413 OF 626, MAP NUMBER: 09001C0413G, EFFECTIVE DATE: JULY 8, 2019" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

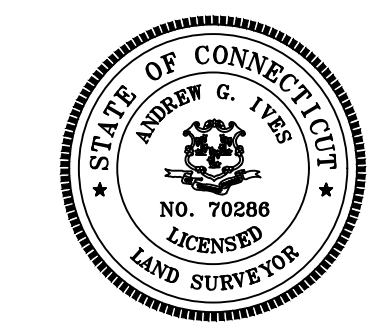
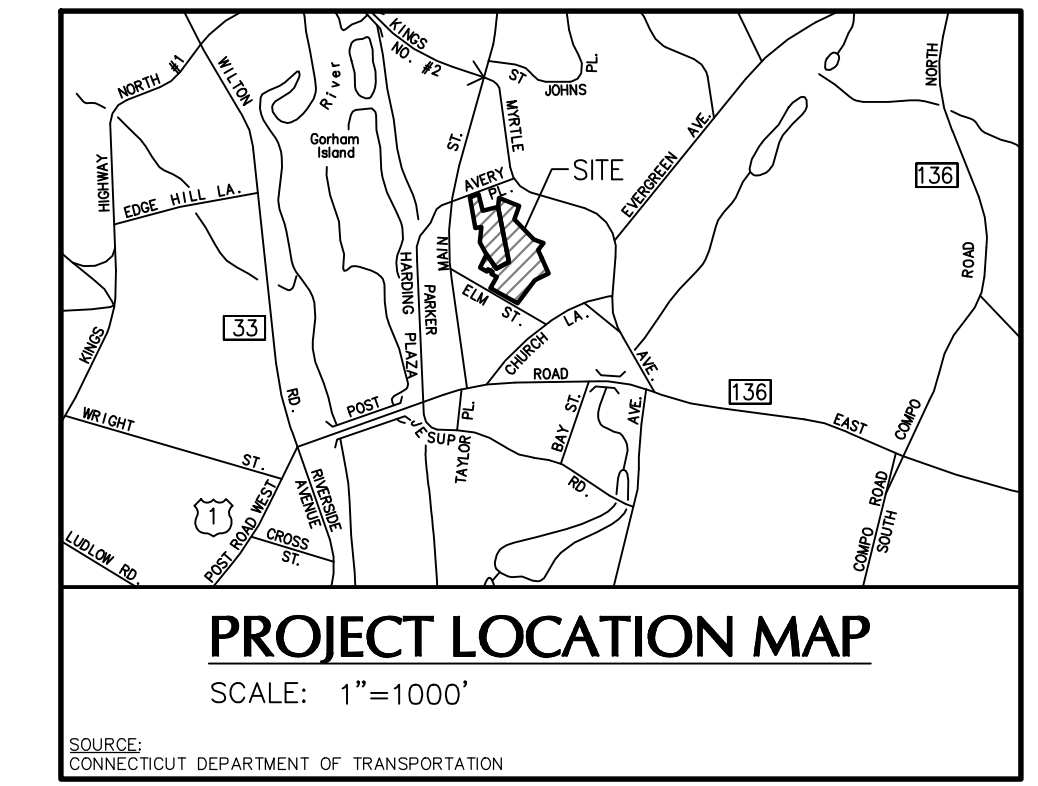


**LEGEND (NOT SHOWN TO SCALE)**

[Symbol]	AIR CONDITIONING UNIT
[Symbol]	BOLLARD
[Symbol]	SIGN
[Symbol]	TREE
[Symbol]	CATCH BASIN
[Symbol]	ELECTRIC BOX
[Symbol]	ELECTRIC METER
[Symbol]	FIRE HYDRANT
[Symbol]	GAS METER
[Symbol]	GAS VALVE
[Symbol]	GUY WIRE
[Symbol]	LIGHT POLE
[Symbol]	MANHOLE (TYPE AS LABELED)
[Symbol]	POWER POLE
[Symbol]	ROOF DRAIN
[Symbol]	VALVE UNKNOWN
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	BITUMINOUS
[Symbol]	CONCRETE
[Symbol]	LANDSCAPED AREA
[Symbol]	BOTTOM OF WALL
[Symbol]	EDGE OF PAVEMENT
[Symbol]	BITUMINOUS CURB
[Symbol]	CONCRETE CURB
[Symbol]	GRANITE CURB
[Symbol]	TYPICAL
[Symbol]	METAL GUARD RAIL
[Symbol]	STOCKADE FENCE
[Symbol]	CHAINLINK FENCE
[Symbol]	PROPOSED EASEMENT IN FAVOR OF #35 ELM STREET
[Symbol]	TREE LINE
[Symbol]	OVERHEAD WIRE
[Symbol]	PROPERTY LINE
[Symbol]	ELECTRIC MARK OUT LINE
[Symbol]	COMMUNICATION MARK OUT LINE
[Symbol]	GAS MARK OUT LINE
[Symbol]	WATER MARK OUT LINE
[Symbol]	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

**EASEMENT LEGEND**

[Symbol]	RIGHT OF WAY ACROSS LOT 138 IN FAVOR OF LOT 139, VOL 118 PAGE 579
[Symbol]	EXISTING CL&P EASEMENT ACROSS #35 ELM STREET, VOL 3658 PAGE 285
[Symbol]	PROPOSED EASEMENT IN FAVOR OF #35 ELM STREET
[Symbol]	PROPOSED UTILITY EASEMENT IN FAVOR OF OLD HILL ELM LLC
[Symbol]	PROPOSED ACCESS EASEMENT IN FAVOR OF OLD HILL ELM LLC



Date	Description	No.
REVISIONS		
"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."		
ANDREW G. IVES	DATE SIGNED	
PROFESSIONAL LAND SURVEYOR		
CT STATE LIC. NO. 70286		

**LANGAN**

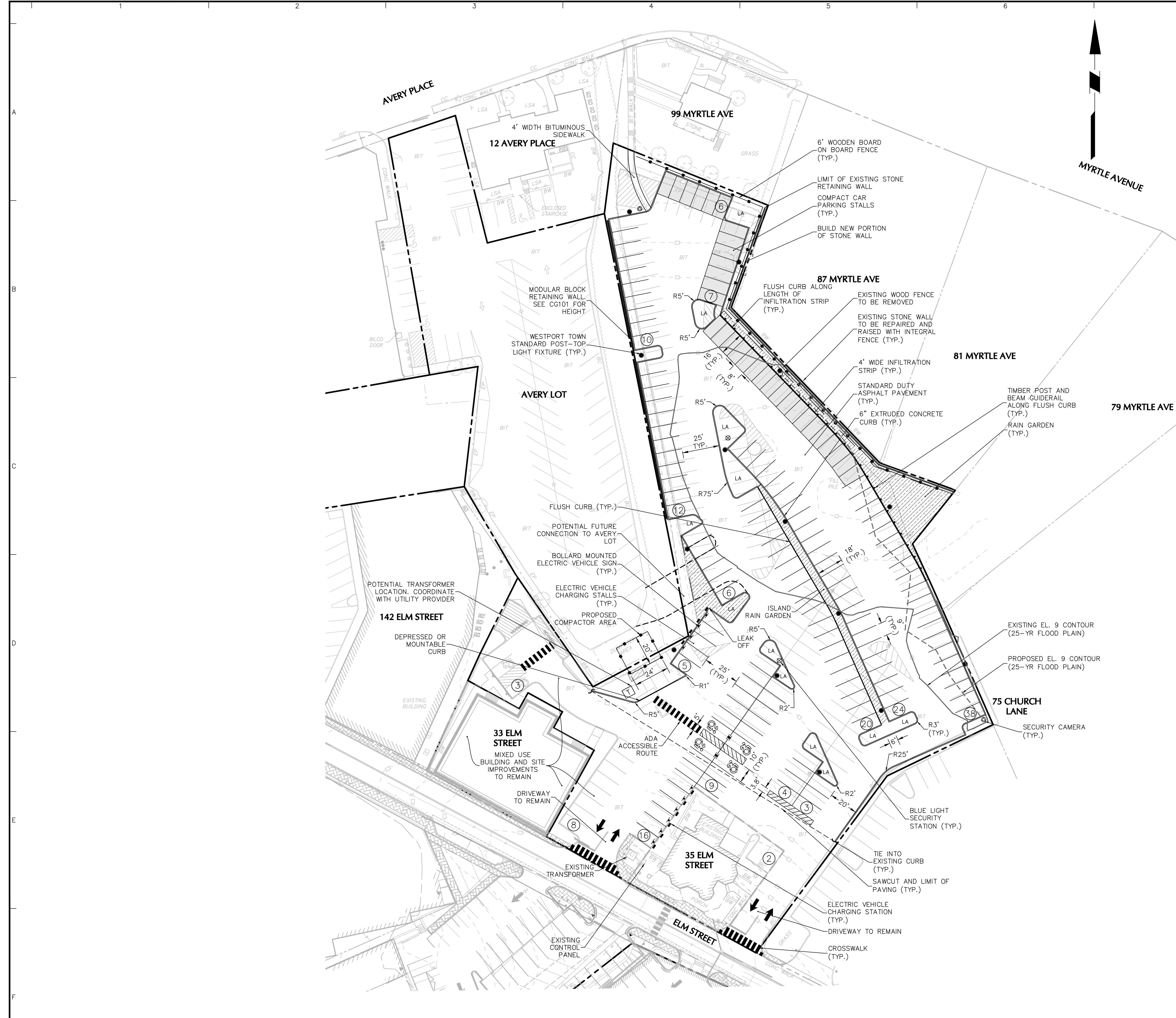
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**35 ELM STREET & AVERY PLACE**  
MAP C-10 LOTS 139 & 143

**BOUNDARY & TOPOGRAPHIC SURVEY**

Project No.	Drawing No.
140204001	VB101
Date	
MAY 31, 2019	
Drawn By	
JIS	
Checked By	
AGI	Sheet 1 of 1



LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING LINE	---	---
6" CONCRETE CURB	---	---
CURB LEAK OFF	---	---
PARKING ROW COUNT	---	---
RAIN GARDEN	---	---
WOOD FENCE	---	---
CONTOUR	---	---
RETAINING WALL	---	---

PARKING TABLE			
	WITHIN 25-YR FLOOD	OUTSIDE 25-YR FLOOD	TOTAL <sup>1</sup>
EXISTING	72	131	203
PROPOSED	22	151	173
NET CHANGE	-50	+20	-30

1. TOTAL PARKING COUNTS INCLUDE IMPROVEMENTS ADJACENT TO 33 ELM STREET.  
 2. PARKING COUNT INCLUDES 31 COMPACT PARKING SPACES, PER TOWN OF WESTPORT ZONING REGULATIONS, UP TO 20% OF PARKING MAY BE COMPACT. 34 COMPACT SPACES ARE ALLOWED (172 SPACES X 0.2 = 34.4 = 34).

Date	Description	No.
05/10/2021	SITE PLAN APPLICATION	1

REVISIONS

Date	Description	No.

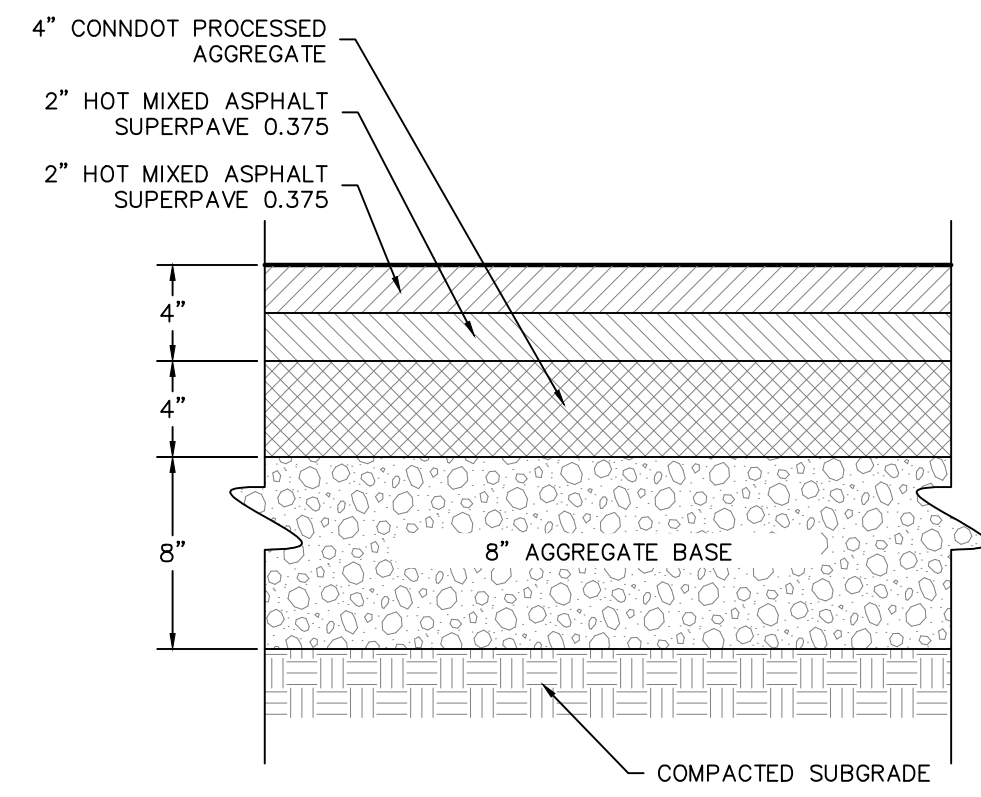
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 New Haven, CT 06511  
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Project  
**BALDWIN PARKING LOT IMPROVEMENTS**  
 ELM STREET  
 WESTPORT CONNECTICUT  
 Drawing Title  
**SITE PLAN**

Project No. <b>140204001</b>	Drawing No. <b>CS101</b>
Date <b>01/26/2021</b>	
Drawn By <b>AMK</b>	
Checked By <b>DTG</b>	

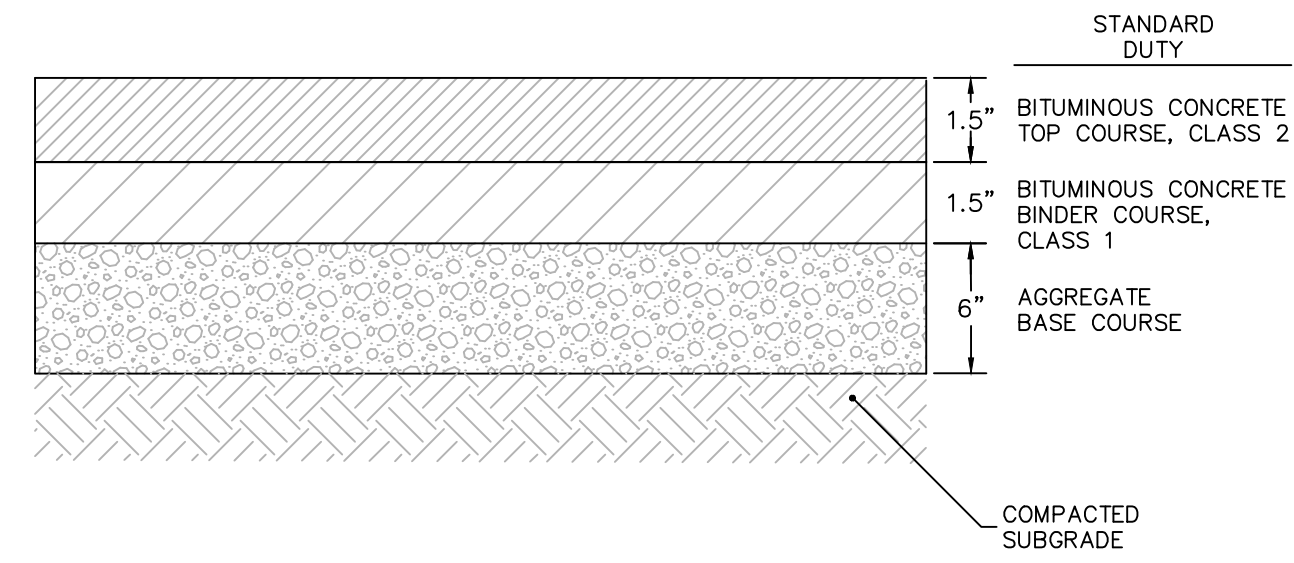






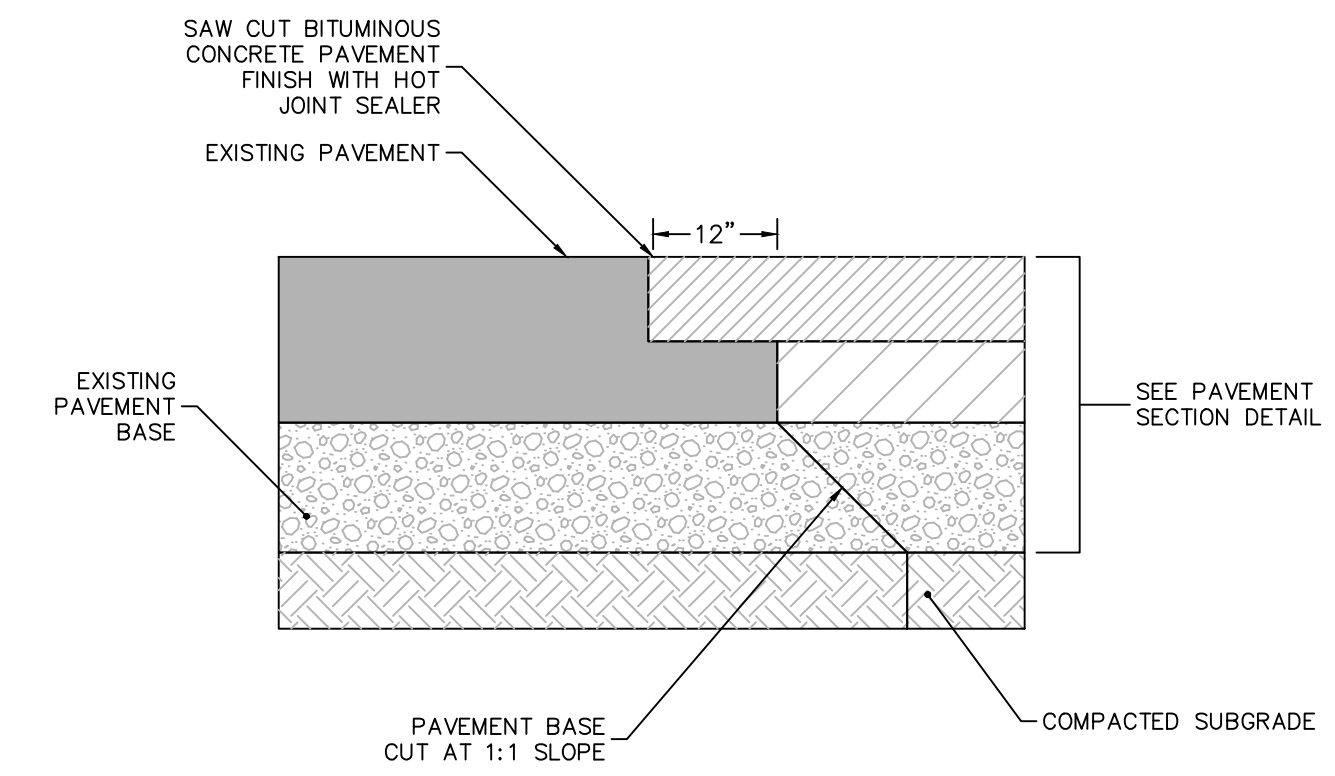
- NOTES:
1. BITUMINOUS CONCRETE SHALL CONFORM TO CONNDOT SPECIFICATIONS.
  2. PROCESSED AGGREGATE AND ROLLED GRAVEL SUBBASE SHALL CONFORM TO CONNDOT SPECIFICATIONS.
  3. RECYCLED ON-SITE PAVEMENT IS PERMITTED AS THE BASE COURSE, FINE GRADE WITH PROCESSED STONE AGGREGATE.

**1 PAVEMENT SECTION IN TOWN R.O.W.**  
N.T.S.



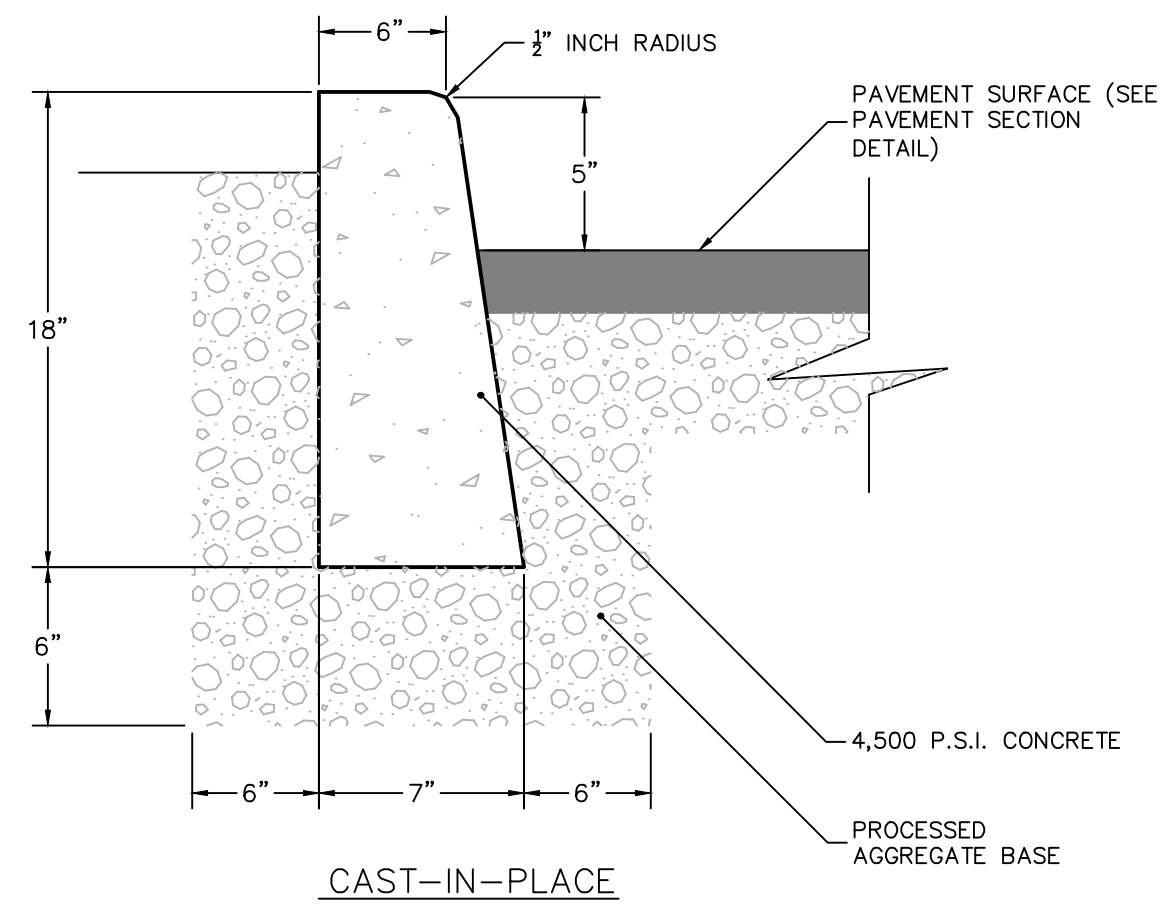
- NOTES:
1. PROVIDE BITUMINOUS CONCRETE PAVEMENT AS INDICATED ON THE SITE PLAN.
  2. BITUMINOUS CONCRETE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 4.03-7, LATEST REVISION
  3. PROCESSED AGGREGATE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 3.03, LATEST REVISION

**2 BITUMINOUS CONCRETE PAVEMENT SECTION**  
N.T.S.



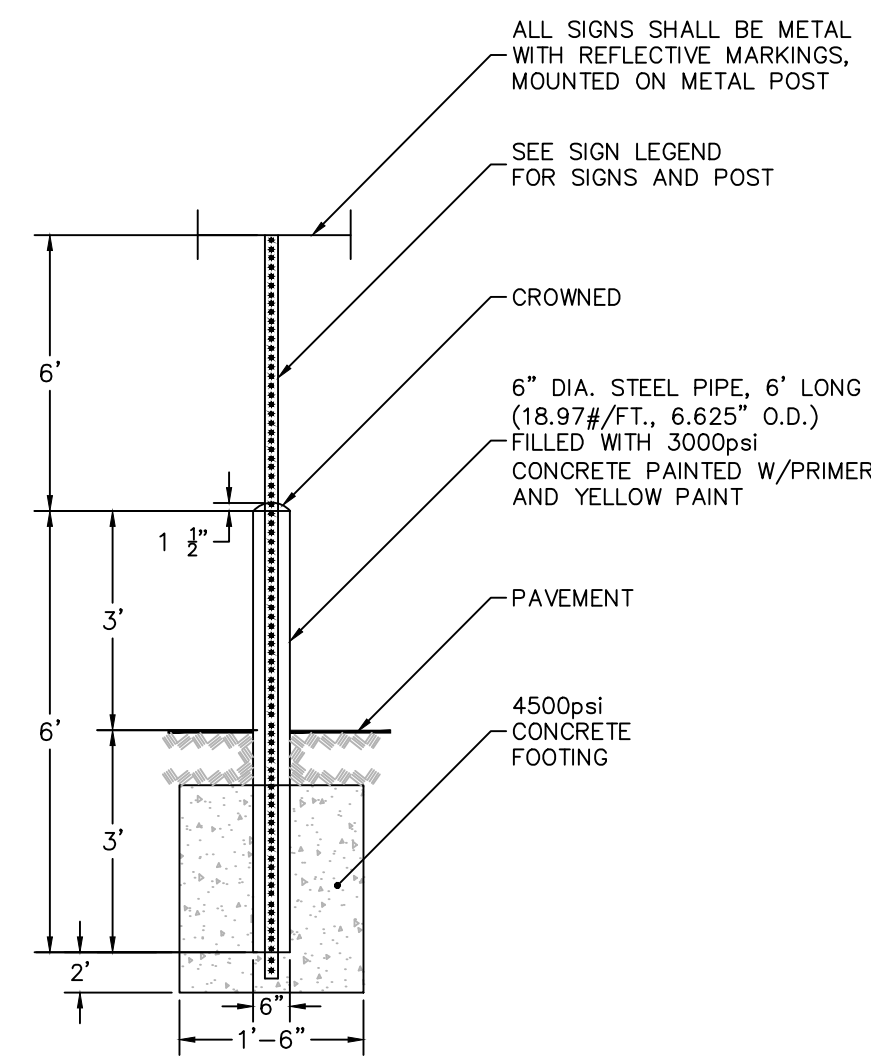
- NOTES:
1. CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

**3 SAW CUT PAVEMENT SECTION**  
N.T.S.

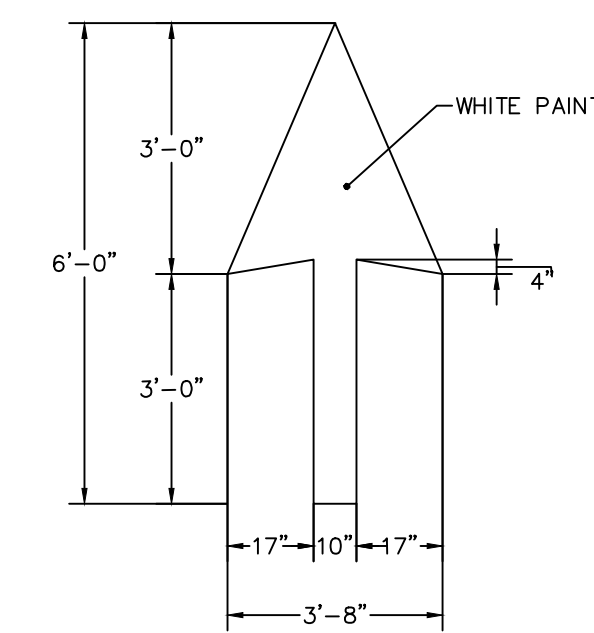


- NOTES:
1. CONCRETE TO TEST 4,500 P.S.I. MINIMUM ON 28 DAY TEST. AIR ENTRAINMENT 4% TO 7%.
  2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CAST-IN-PLACE CURB 20"-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
  3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.

**4 CONCRETE CURB**  
N.T.S.



**5 BOLLARD MOUNTED SIGN**  
N.T.S.



**6 PAVEMENT MARKINGS**  
N.T.S.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

**LANGAN**

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555 Long Wharf Drive  
New Haven, CT 06511

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Project  
**BALDWIN PARKING LOT IMPROVEMENTS**

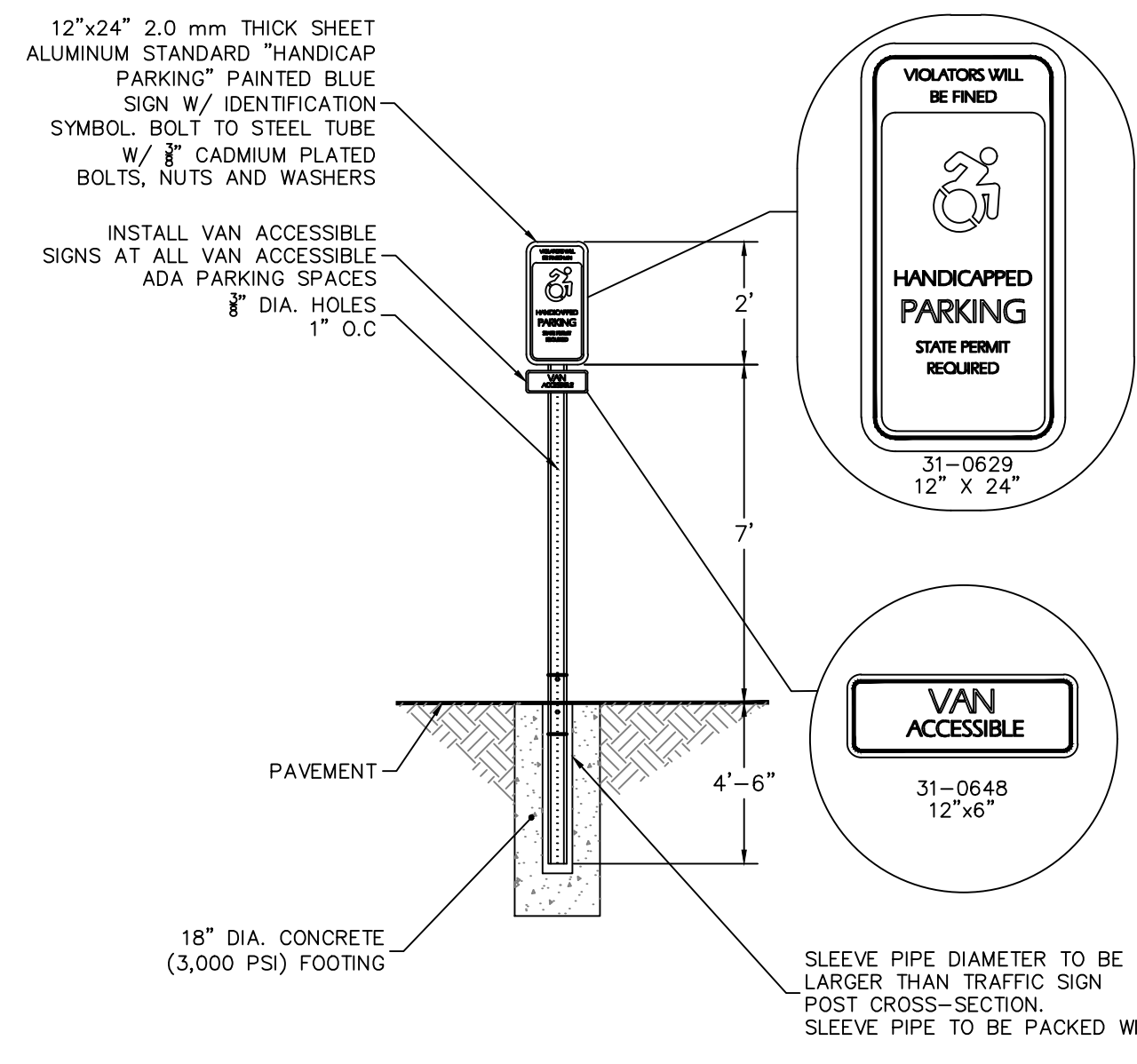
WESTPORT CONNECTICUT

ELM STREET

Drawing Title

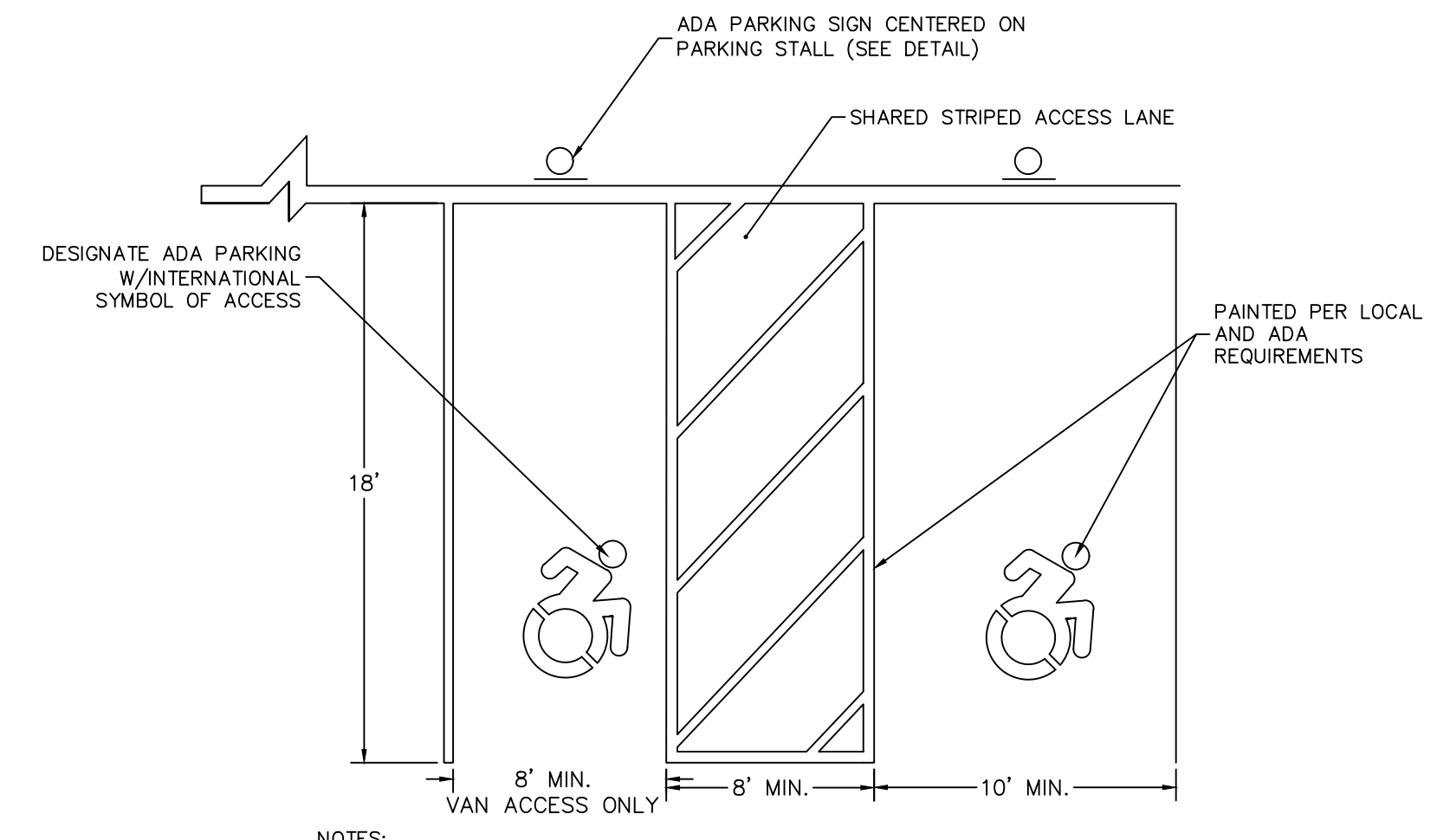
**SITE DETAILS I**

Project No. <b>140204001</b>	Drawing No. <b>CS501</b>
Date <b>01/26/2021</b>	
Drawn By <b>NCW</b>	
Checked By <b>DTC</b>	



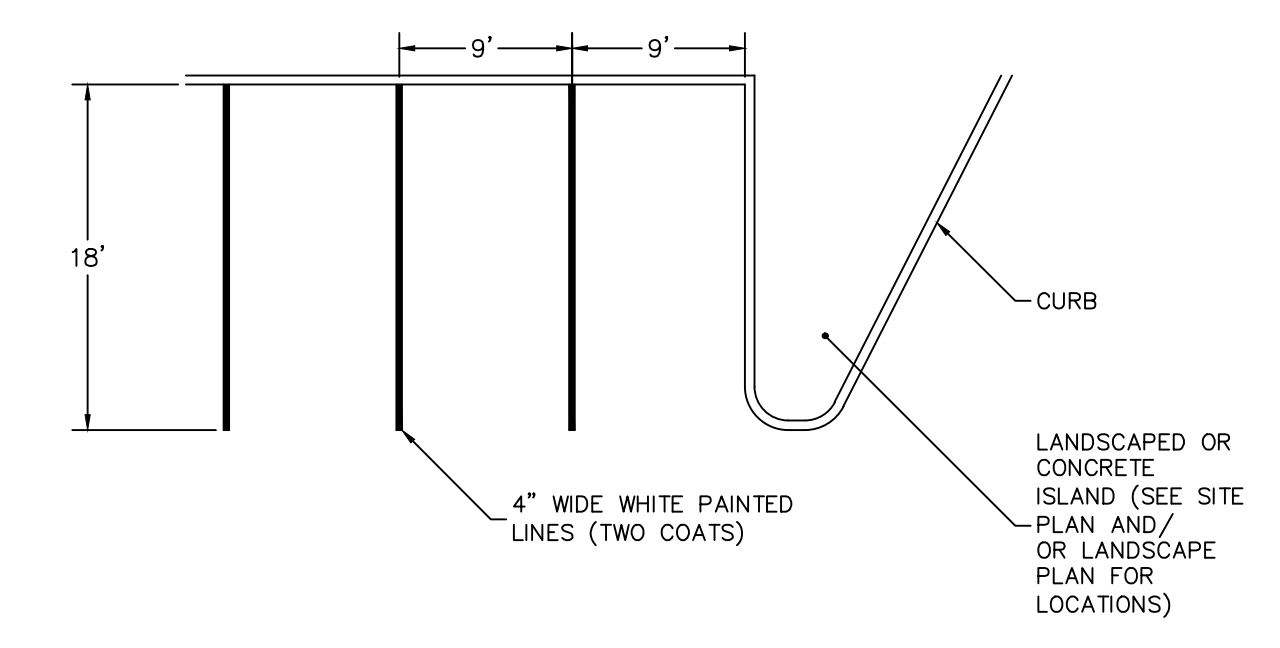
- NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
  2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
  3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
  4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
  5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
  6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.

1 ADA ACCESSIBLE PARKING SIGN N.T.S



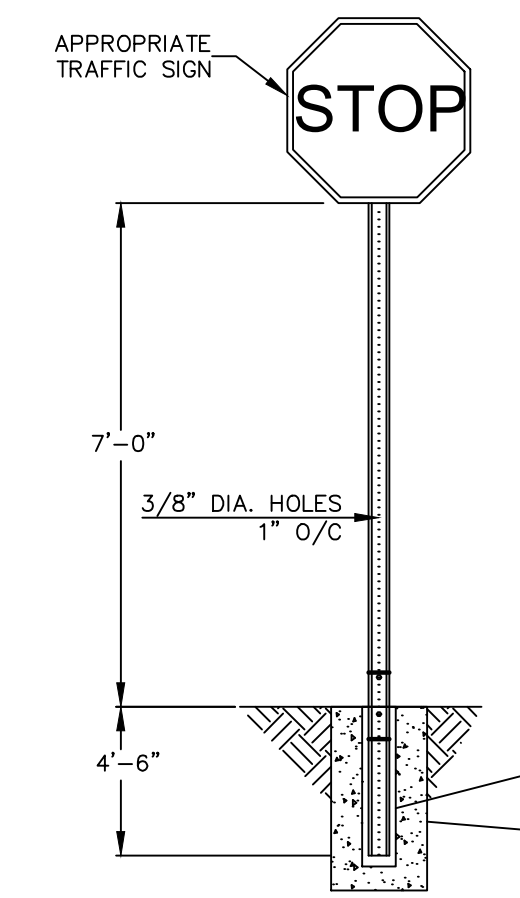
- NOTES:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
  2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  3. APPLY TWO COATS OF TRAFFIC PAINT. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
  4. STANDARD ADA ACCESSIBLE PARKING SPOTS SHALL HAVE 5' WIDE ACCESS AISLE & 10' WIDE PARKING STALL.

2 ADA PARKING STALL STRIPING N.T.S



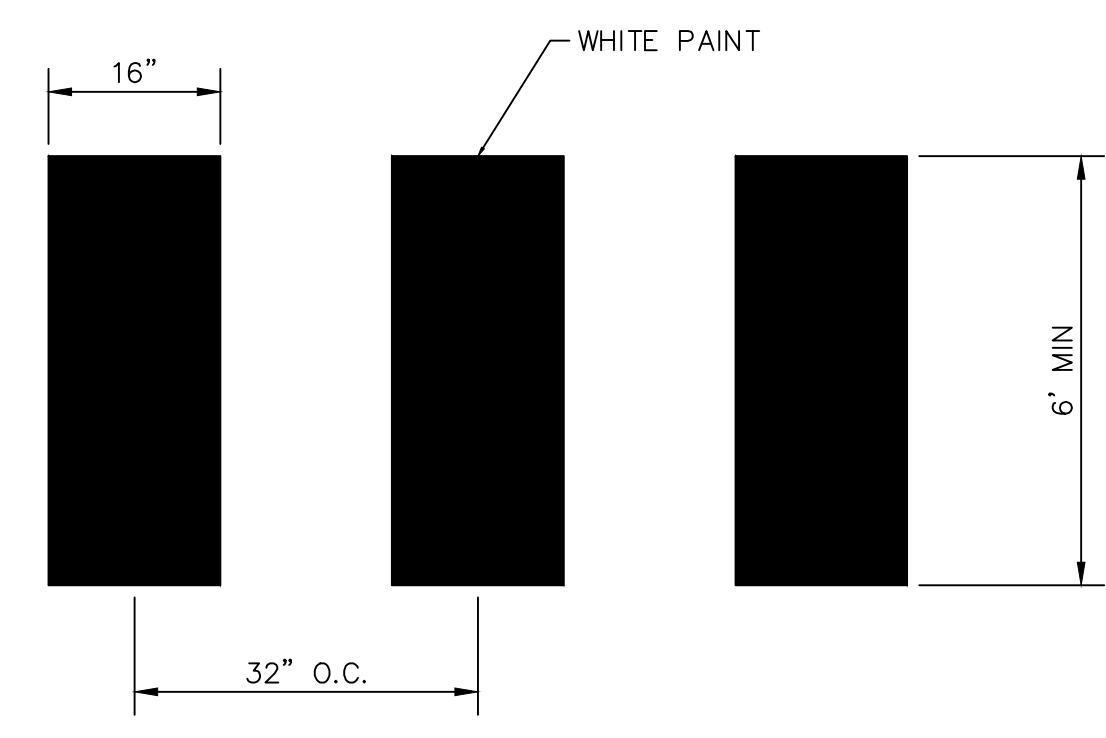
- NOTES:
1. ALL PAINT SHALL BE SHERWIN-WILLIAMS "SETFAST" PAINT. #TM2160 - WHITE
  2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. APPLY SECOND COAT JUST PRIOR TO BUILDING OPENING.

3 PARKING STALL STRIPING N.T.S



- NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND TOWN STANDARDS.
  2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
  3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
  4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
  5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
  6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
  7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.
- SLEEVE PIPE DIAMETER TO BE SLIGHTLY LARGER THAN TRAFFIC SIGN POST CROSS-SECTION. SLEEVE PIPE TO BE PACKED WITH SAND.

4 TRAFFIC SIGN POST N.T.S



- NOTES:
1. TWO COATS OF EPOXY PAINT SHALL BE USED FOR CROSSWALK STRIPING. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

5 CROSSWALK STRIPING N.T.S

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

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Project

**BALDWIN PARKING LOT IMPROVEMENTS**

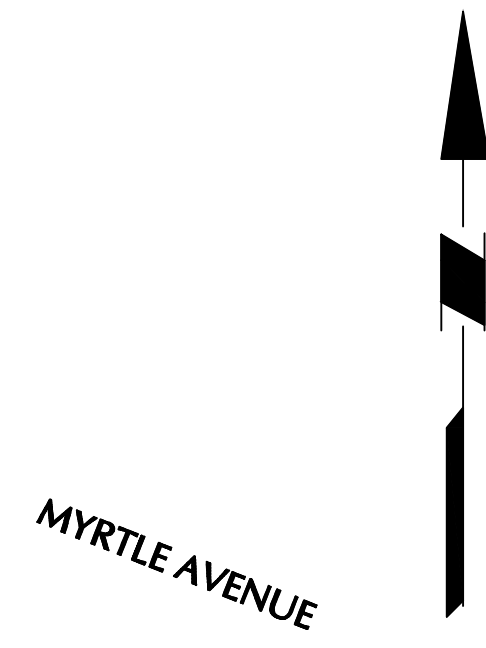
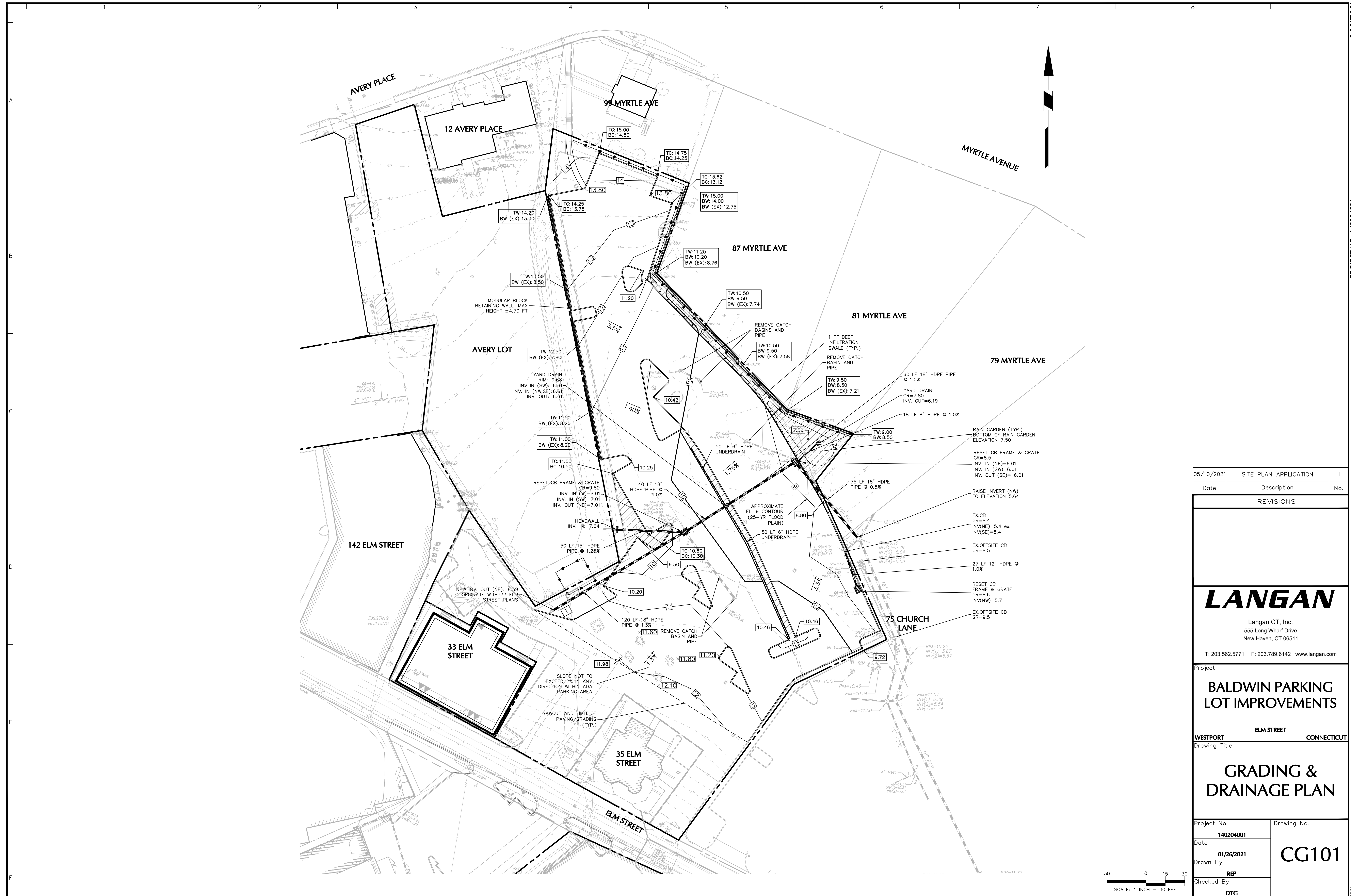
ELM STREET CONNECTICUT

WESTPORT

Drawing Title

**SITE DETAILS II**

Project No.	Drawing No.
140204001	CS502
Date	
01/26/2021	
Drawn By	
NCW	
Checked By	
DTC	



05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS		
Date	Description	No.

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Project

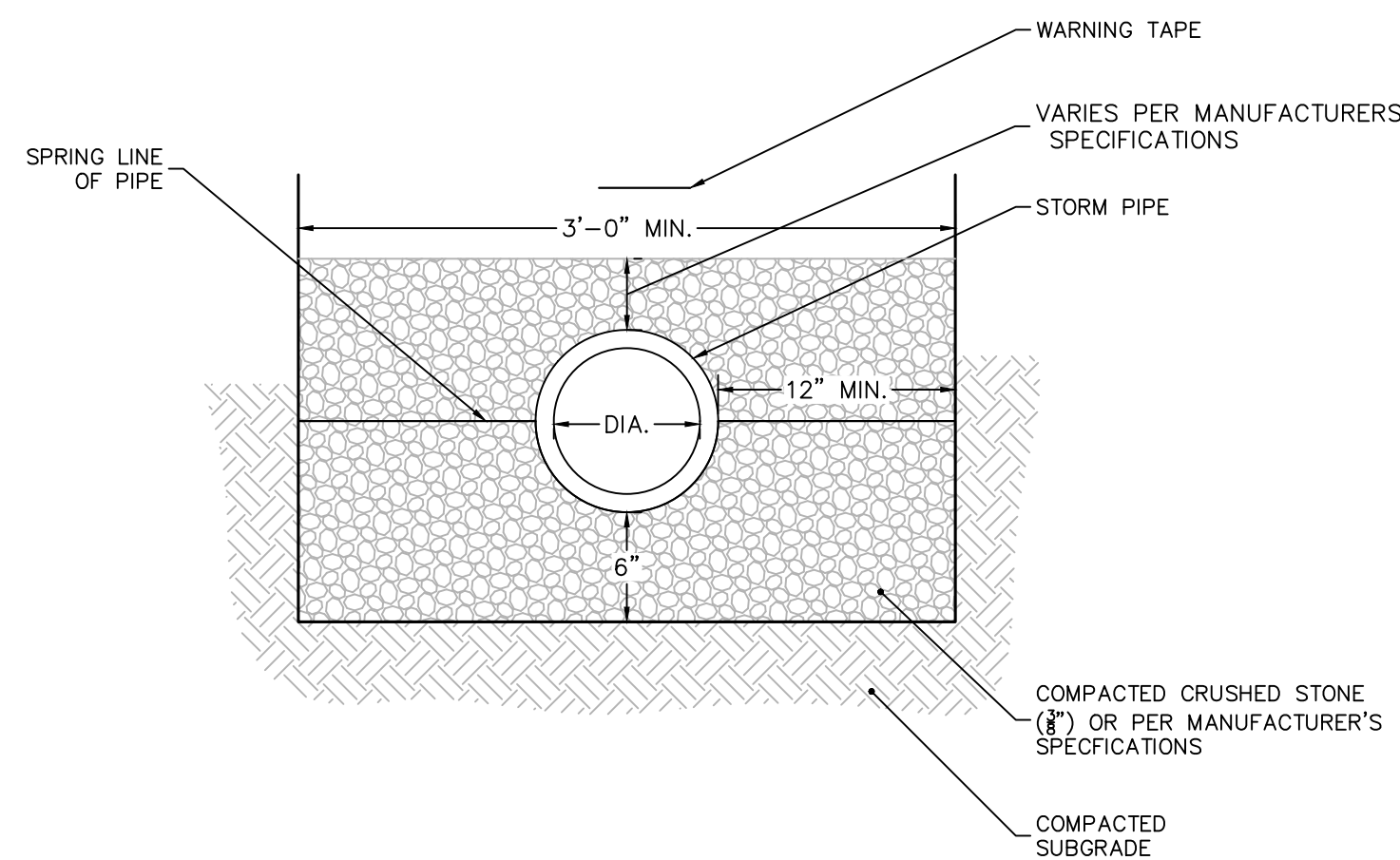
**BALDWIN PARKING LOT IMPROVEMENTS**

ELM STREET CONNECTICUT

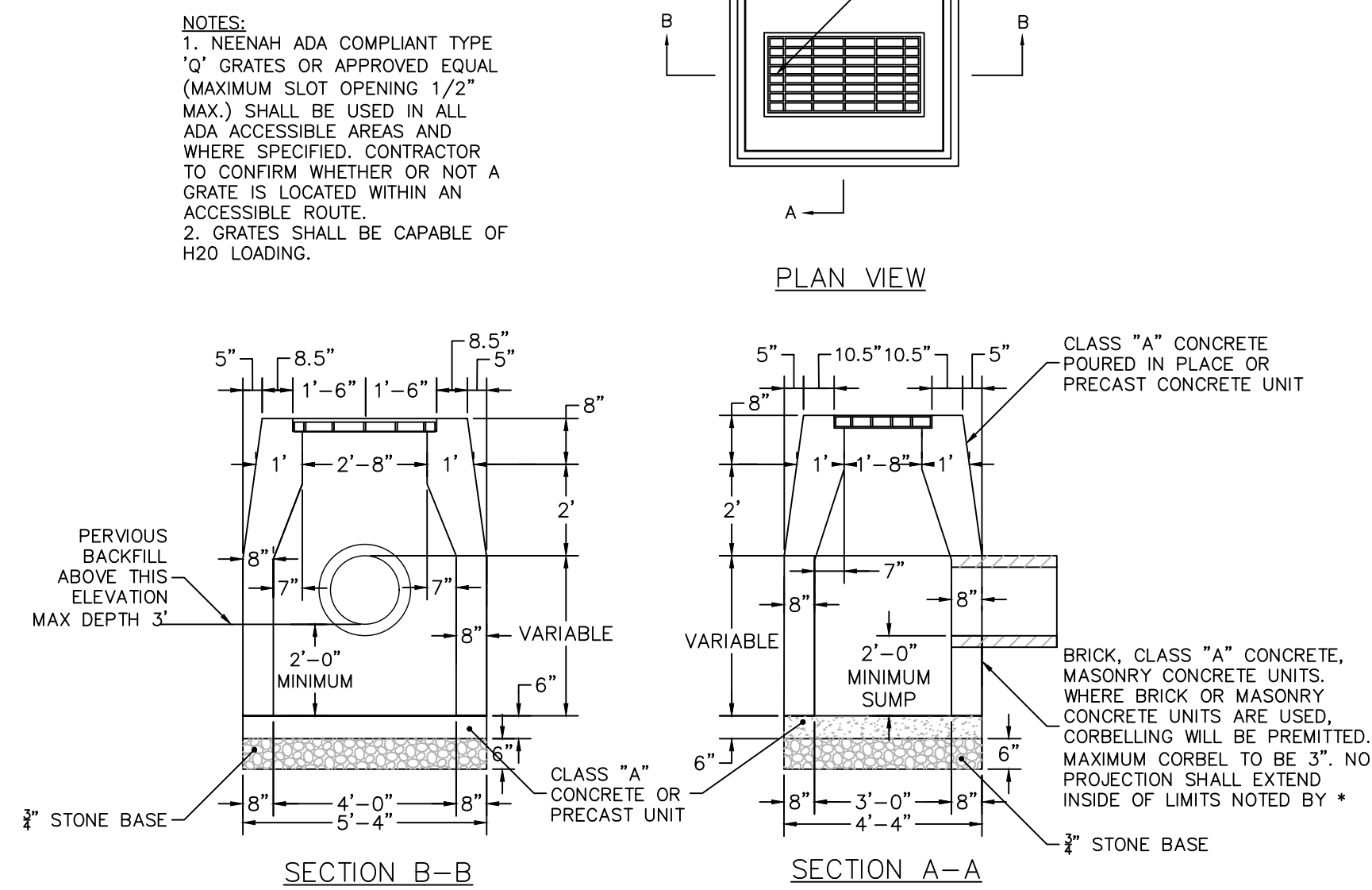
Drawing Title

**GRADING & DRAINAGE PLAN**

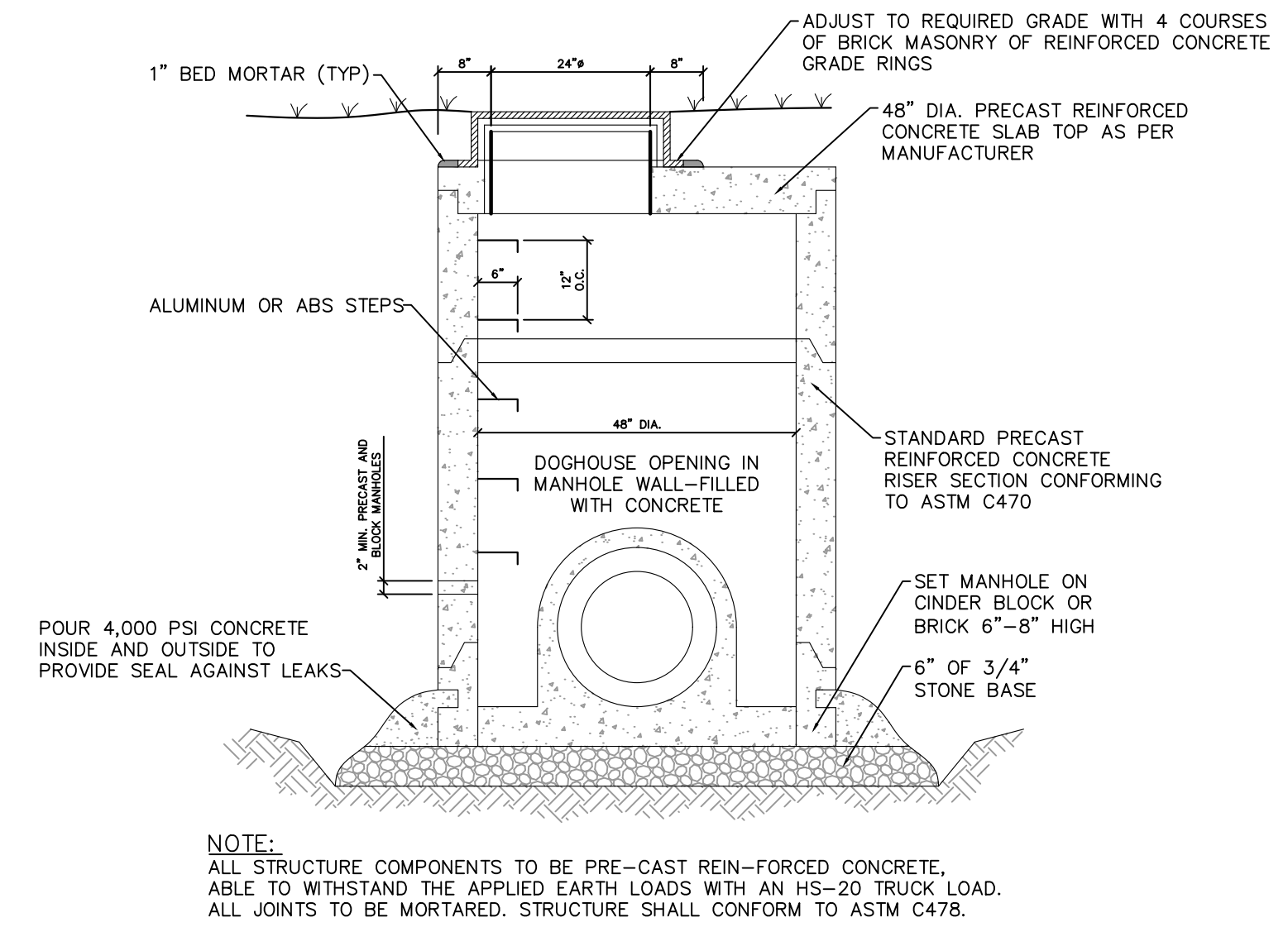
Project No.	Drawing No.
140204001	CG101
Date	
01/26/2021	
Drawn By	
REP	
Checked By	
DTG	



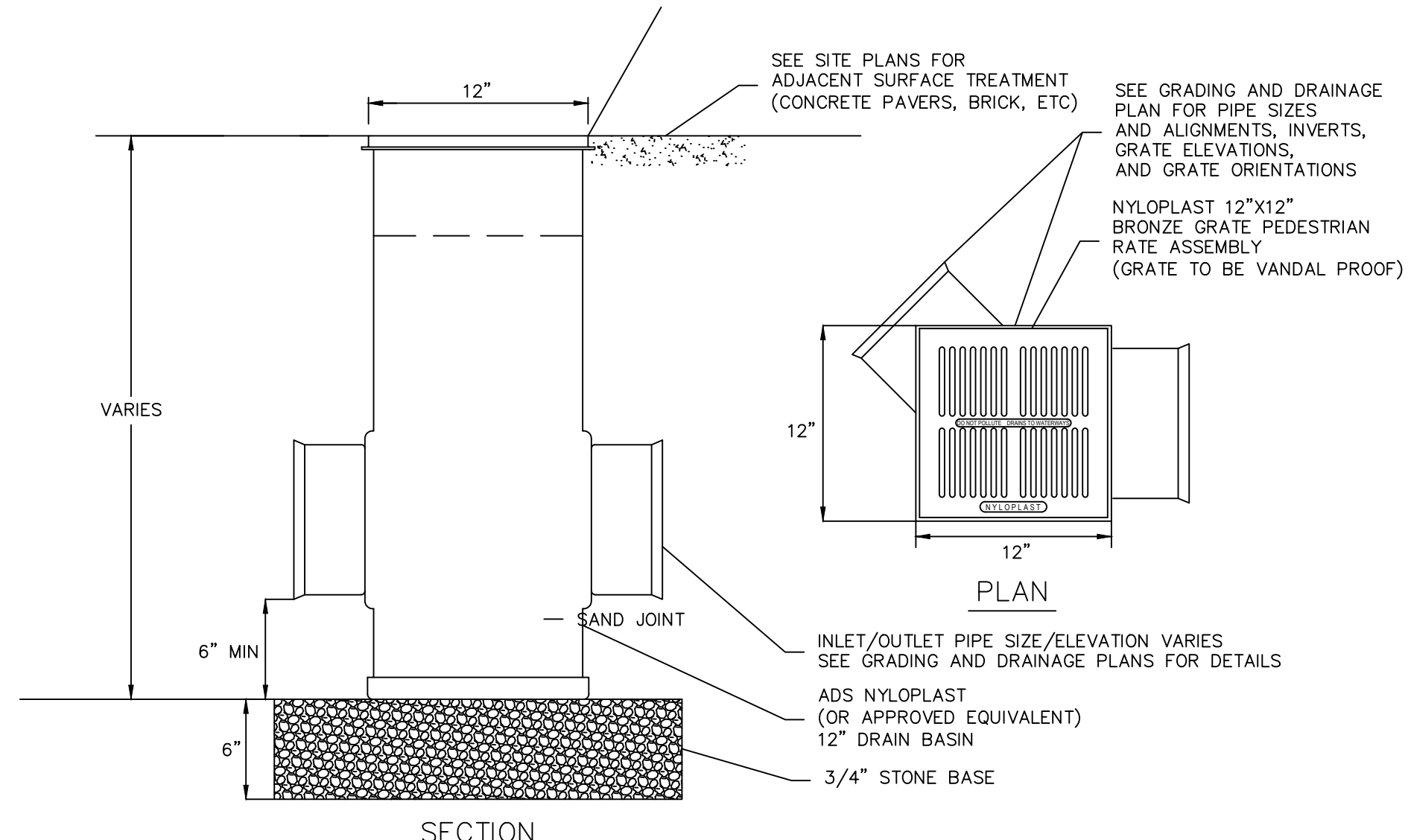
**1** **STORM PIPE BEDDING**  
N.T.S.



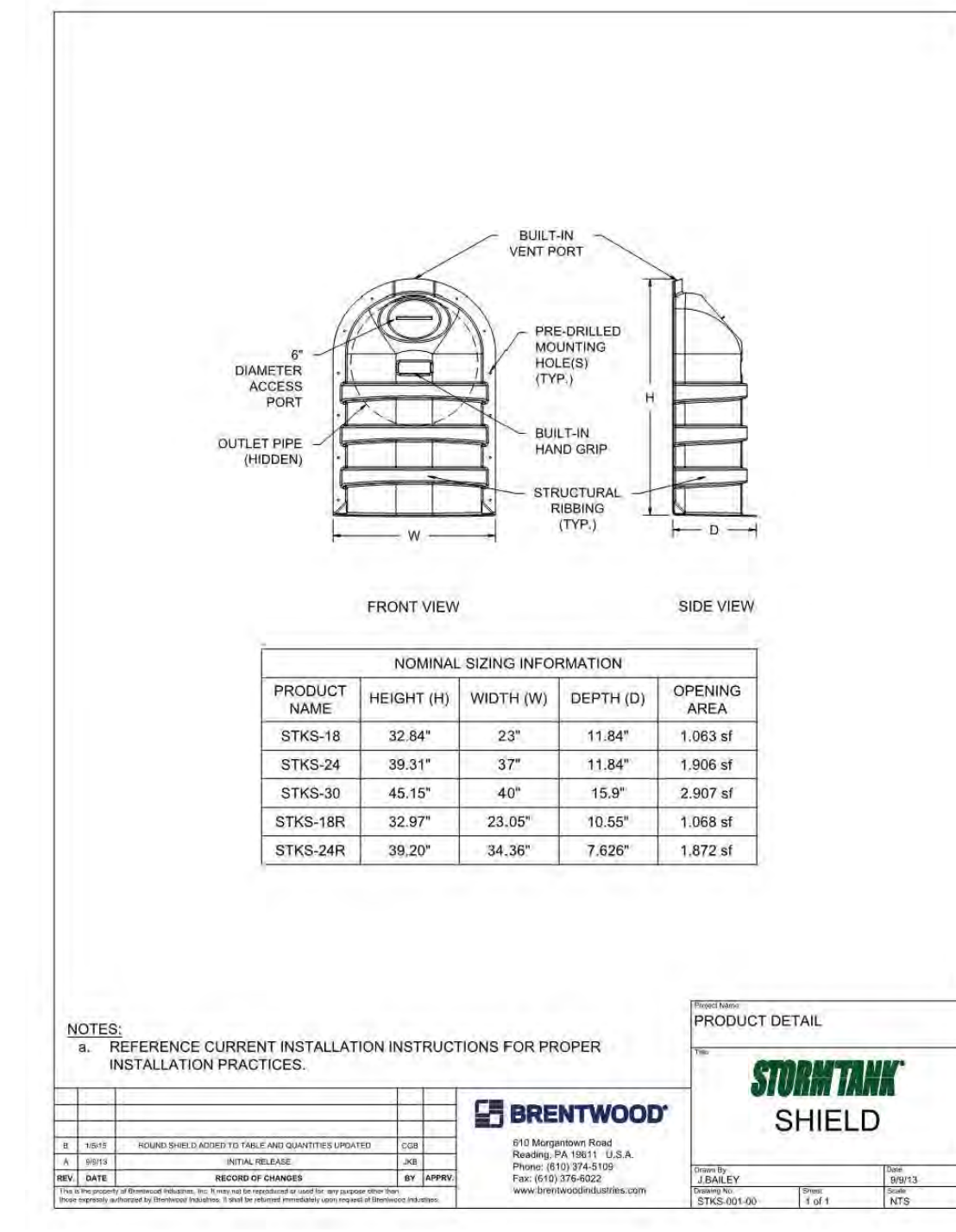
**2** **TYPE CL SINGLE CATCHBASIN**  
N.T.S.



**3** **DOGHOUSE MANHOLE/CATCH BASIN**  
N.T.S.



**4** **AREA DRAIN**  
N.T.S.



**5** **STORM DRAIN OUTLET PIPE HOOD**  
N.T.S.

Date	Description	No.
REVISIONS		

**LANGAN**

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555 Long Wharf Drive  
New Haven, CT 06511

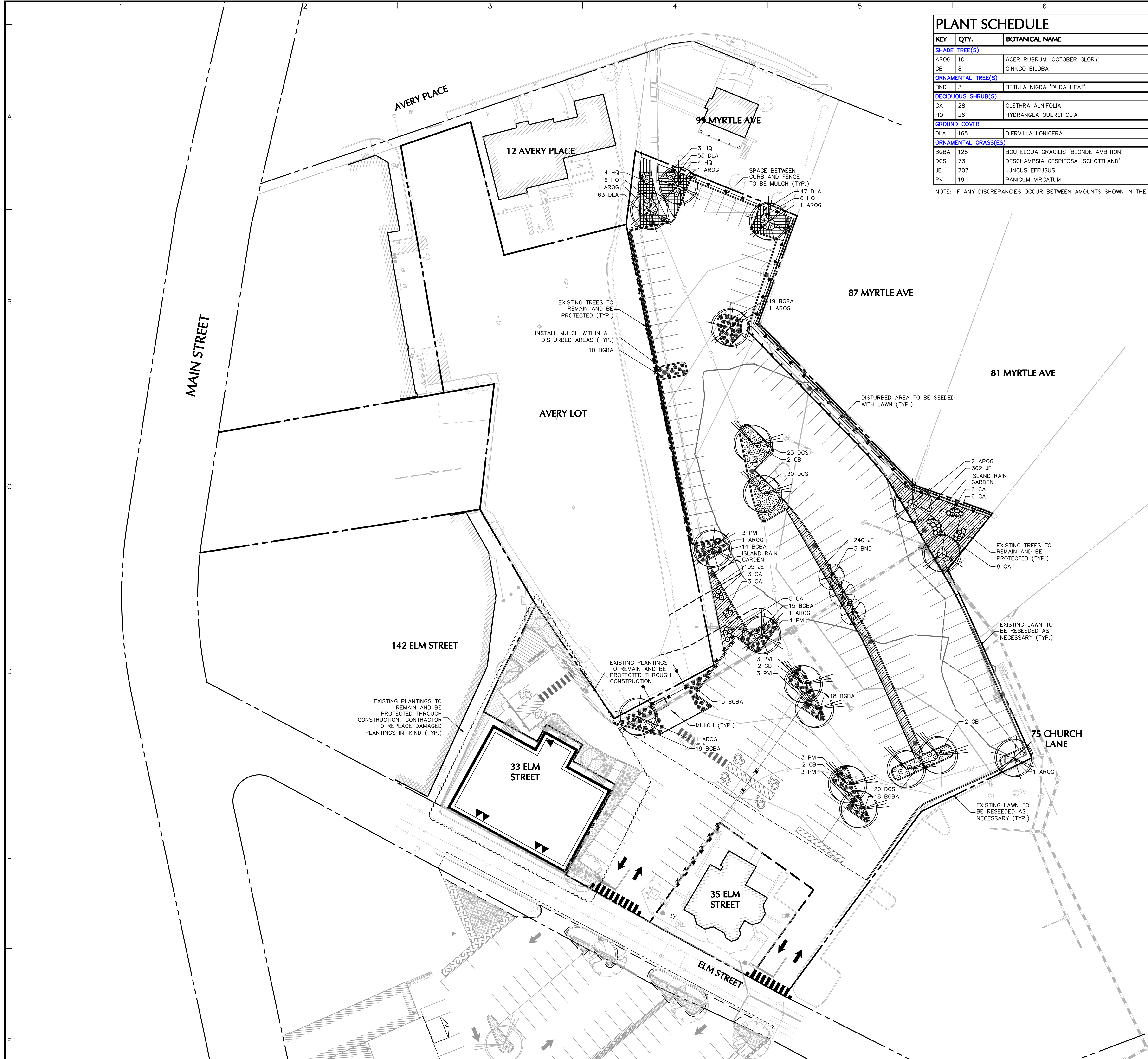
T: 203.562.5771 F: 203.789.6142 www.langan.com

Project  
**BALDWIN PARKING LOT IMPROVEMENTS**

ELM STREET  
WESTPORT CONNECTICUT

Drawing Title  
**GRADING & DRAINAGE DETAILS**

Project No. <b>140204001</b>	Drawing No. <b>CG501</b>
Date <b>01/26/2021</b>	
Drawn By <b>NCW</b>	
Checked By <b>DTC</b>	



KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREE(S)</b>						
AROG	10	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	4-4 1/2" CAL.	B+B	-
GB	8	GINKGO BILOBA	MAIDENHAIR TREE GINKO	4-4 1/2" CAL.	B+B	MALE SPECIES ONLY
<b>ORNAMENTAL TREE(S)</b>						
BND	3	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	-
<b>DECIDUOUS SHRUB(S)</b>						
CA	28	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	2 GAL.	CONTAINER	-
HQ	26	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	2 GAL.	CONTAINER	-
<b>GROUND COVER</b>						
DLA	165	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	2 GAL.	CONTAINER	spaced @ 30" o.c.
<b>ORNAMENTAL GRASS(ES)</b>						
BGBA	128	BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA GRASS	2 GAL.	CONTAINER	-
DCS	73	DESCHAMPSIA CESPITOSA 'SCHOTTLAND'	SCOTTISH TUFTED HAIR GRASS	2 GAL.	CONTAINER	-
JE	707	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	CONTAINER	spaced @ 24" o.c.
PVI	19	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

ORDINANCE SECTION	REQUIRED	PROPOSED	COMPLIANCE
35-2.2.2	ALL FRONT LANDSCAPE AREAS SHALL HAVE AT LEAST ONE (1) SHADE TREE FOR EACH FIFTY (50) FEET OF FRONT LENGTH (MEASURED PARALLEL TO THE STREET LINE) AND SHALL BE SETBACK AT LEAST TEN (10) FEET FROM THE STREET LINE.	TOTAL LENGTH OF LANDSCAPE AREA MEASURED PARALLEL TO THE STREET LINE = 19 FT 19/50 = .38 = 1 SHADE TREE(S) REQUIRED 1 SHADE TREE(S) PROVIDED IN EXISTING PARKING LOT ISLAND TO REMAIN	COMPLIES
35-2.2.3	SHADE TREES SHALL NOT BE PLANTED UNDER OR WITHIN FIFTEEN (15) FEET OF OVERHEAD UTILITY WIRES. ALL SHADE TREES SHALL BE AT LEAST FOUR (4) INCH CALIPER. EACH FLOWERING TREE SHALL BE TEN (10) FEET TO TWELVE (12) FEET IN HEIGHT AT TIME OF PLANTING. STREET TREES SHALL BE HIGH BRANCHED WITH AT LEAST SIX (6) FEET OF CLEARANCE FROM THE GROUND TO THE FIRST BRANCH.	PROPOSED SHADE TREES ARE AT LEAST 4" CALIPER. PROPOSED FLOWERING TREES ARE MINIMUM 10-12' HEIGHT AT TIME OF PLANTING	COMPLIES
35-2.3.2	ALL PARKING AREAS SHALL HAVE AT LEAST ONE (1) SHADE TREE FOR EACH TEN (10) REQUIRED OFF STREET PARKING SPACES.	TOTAL NUMBER OF PARKING SPACES = 173 173/10 = 17.3 = 18 SHADE TREES REQUIRED 18 SHADE TREES PROPOSED FOR PARKING AREA	COMPLIES
35-2.4.3	[RESIDENTIAL BUFFER STRIP] PLANTING SHALL CONSIST OF EVERGREEN TREES AT LEAST EIGHT (8) TO TEN (10) FEET IN HEIGHT [AND] SHALL BE PLANTED AT TEN (10) FEET ON CENTER. NON-EVERGREEN PLANTING AND/OR A SCREENING BERM, HEDGE, FENCE OR WALL AT LEAST FIVE (5) FEET IN HEIGHT AND UP TO EIGHT (8) FEET IN HEIGHT MAY BE USED IN CONJUNCTION WITH THE EVERGREEN TREES.	EIGHT FOOT HEIGHT SCREENING FENCE PROPOSED ADJACENT TO ALL RESIDENTIAL PROPERTIES.	COMPLIES TO EXTENT PRACTICABLE

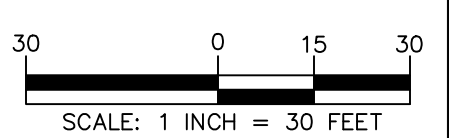
05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

**LANGAN**  
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Project  
**BALDWIN PARKING LOT IMPROVEMENTS**  
 WESTPORT CONNECTICUT  
 Drawing Title  
**PLANTING PLAN**

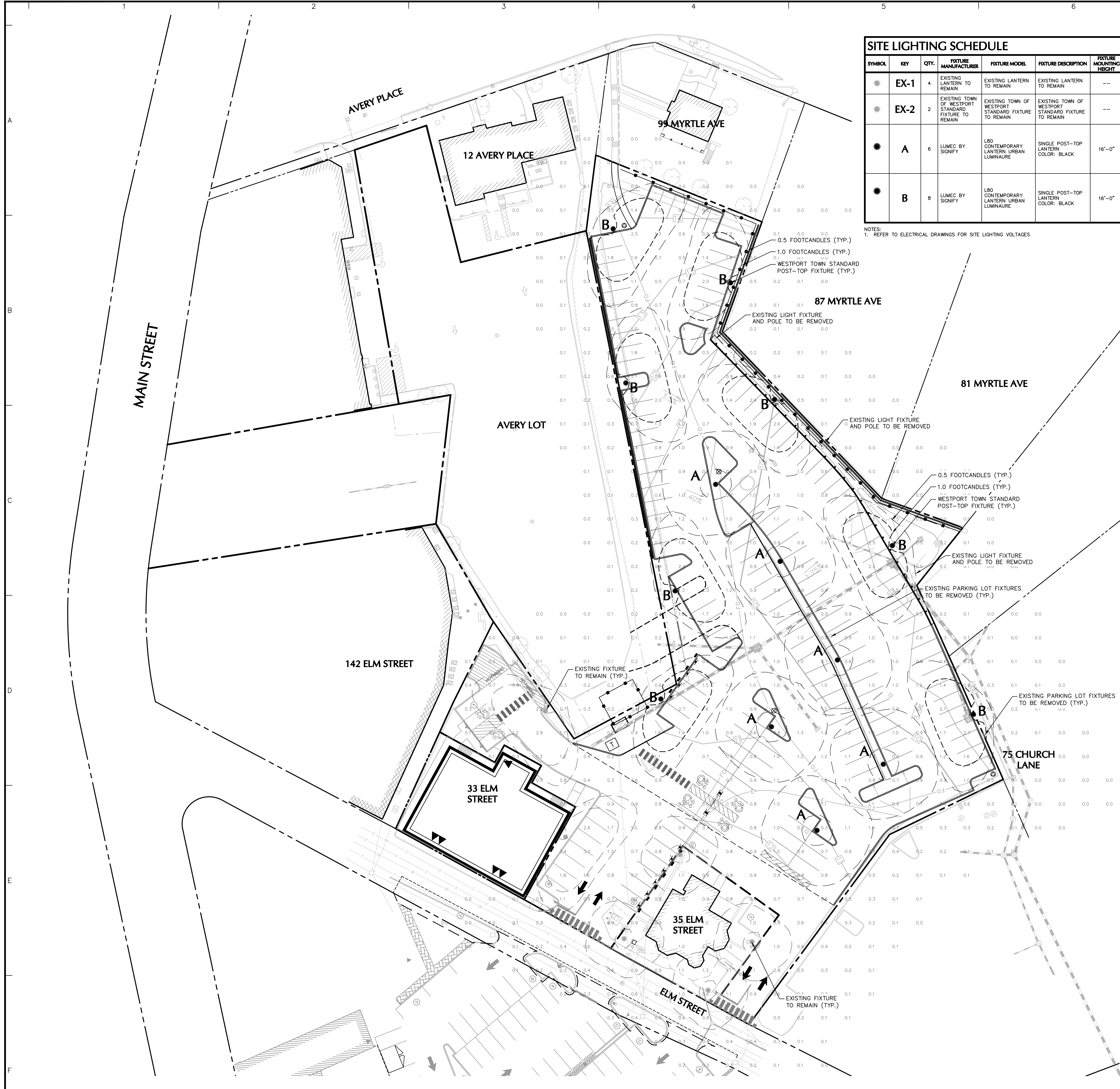
Project No. <b>140204001</b>	Drawing No. <b>LP101</b>
Date <b>05/10/2021</b>	
Drawn By <b>AC</b>	
Checked By <b>JAMH</b>	



PROJECT NO. 140204001

LANGAN





SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	COLOR TEMPERATURE	OPTICS	LUMENS	LLF	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
●	EX-1	4	EXISTING LANTERN TO REMAIN	EXISTING LANTERN TO REMAIN	EXISTING LANTERN TO REMAIN	--	--	--	--	--	--	--	--	--	--	--	--	EXISTING LANTERN TO REMAIN
●	EX-2	2	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	--	--	--	--	--	--	--	--	--	--	--	--	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN
●	A	6	LUMEC BY SIGNIFY	L80 CONTEMPORARY LANTERN URBAN LUMINAIRE	SINGLE POST-TOP LANTERN COLOR: BLACK	16'-0"	81W LED	4000K	TYPE V	6,148	0.90	L80-B0W-4BLED4K-T-PC-CS-LE3-VOLTS-DMG-SF80-LRPS1291NM)IES	L80-B0W4BLED4K-T-PC-CS-LE3-VOLTS-DMG-SF80-BKTX	LUMEC BY SIGNIFY	4" ROUND STRAIGHT ALUMINUM POLE WITH GF1 Ø 11'-0" FROM BASE; ROUND BASE COVER; COLOR: BLACK	14'-0"	APRAU-14-GF1-B104-BKTX	POLE TO BE MOUNTED ON 2' HEIGHT EXPOSED CONCRETE BASE; COORDINATE CONDUIT AND ADDITIONAL ACCESSORIES FOR SECURITY CAMERAS WITH TOWN; FIXTURE TO MATCH CURRENT TOWN STANDARD
●	B	8	LUMEC BY SIGNIFY	L80 CONTEMPORARY LANTERN URBAN LUMINAIRE	SINGLE POST-TOP LANTERN COLOR: BLACK	16'-0"	81W LED	4000K	TYPE III WITH HOUSE SIDE SHIELD	6,044	0.90	L80-B0W-4BLED4K-T-LE3-LRPS1291EM)IES	L80-B0W4BLED4K-T-PC-CS-LE3-VOLTS-DMG-SF80-HS-BKTX	LUMEC BY SIGNIFY	4" ROUND STRAIGHT ALUMINUM POLE WITH GF1 Ø 11'-0" FROM BASE; ROUND BASE COVER; COLOR: BLACK	14'-0"	APRAU-14-GF1-B104-BKTX	POLE TO BE MOUNTED ON 2' HEIGHT EXPOSED CONCRETE BASE; COORDINATE CONDUIT AND ADDITIONAL ACCESSORIES FOR SECURITY CAMERAS WITH TOWN; FIXTURE TO MATCH CURRENT TOWN STANDARD

NOTES:  
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES

STATISTICS				
DESCRIPTION	AVG.	MAX.	MIN.	MAX:MIN
BALDWIN LOT	1.1fc	3.0fc	0.5fc	6.0:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT PARKING LOT LIGHTING TO REMAIN ARE INCLUDED IN THE ABOVE STATISTICS.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

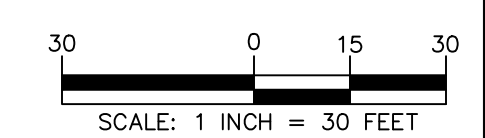
REVISIONS

Date	Description	No.

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Project  
**BALDWIN PARKING LOT IMPROVEMENTS**  
 ELM STREET CONNECTICUT  
 Drawing Title  
**SITE LIGHTING PLAN**

Project No. <b>140204001</b>	Drawing No. <b>LL101</b>
Date <b>05/10/2021</b>	
Drawn By <b>JA</b>	
Checked By <b>MH</b>	



# LIGHTING NOTES:

- GENERAL**
- 1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS. NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
- 2. LIGHT LEVEL POINT SPACING IS 20 FT. LEFT TO RIGHT AND 20 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

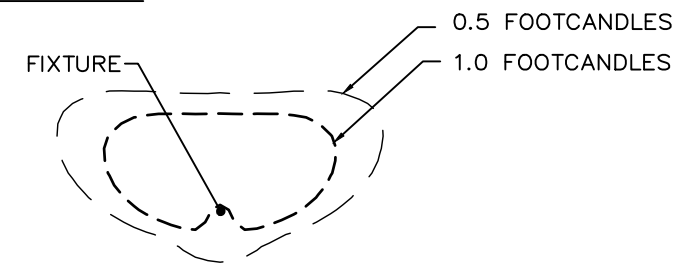
- COMPLIANCE**
- 3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- 4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.
- COORDINATION**
- 5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
- 6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
- 7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- 8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
- 9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

- POLES AND FOOTINGS**
- 10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
- 11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
- 12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
- 13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

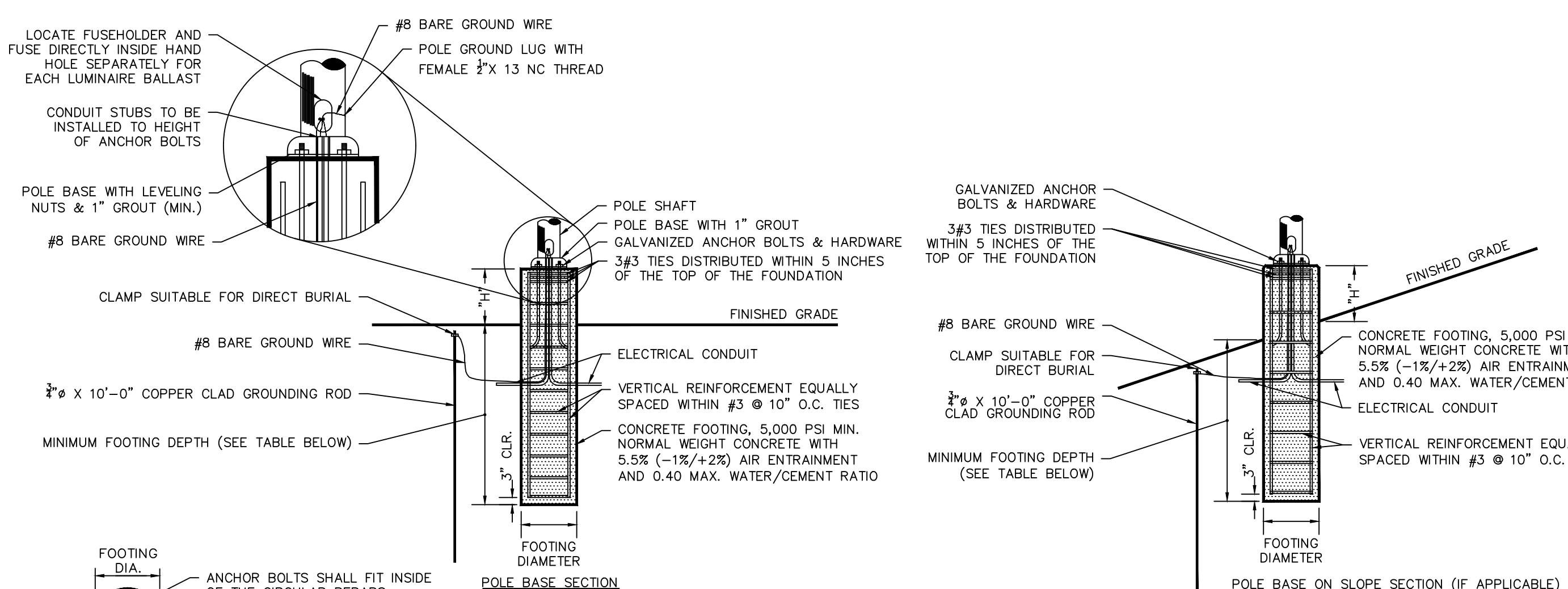
- ADJUSTMENT AND INSPECTION**
- 14. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
- 15. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- 16. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

- REQUIREMENTS FOR ALTERNATES**
- 17. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLIFIED TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
  - A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR
  - B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
  - C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS; SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
  - D. POLE MANUFACTURER RASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
  - E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
  - F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

### PHOTOMETRIC LIGHTING TEMPLATE:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.



FOOTING DIA

ANCHOR BOLTS SHALL FIT INSIDE OF THE CIRCULAR REBARS 3" CLR. FOR DRILLED PIER / 2" CLR. FOR PRECAST PIER

ROUND BASE

VERTICAL REINFORCEMENT EQUALLY SPACED

#3 TIES AT 10" O.C. WITH 6" LAP

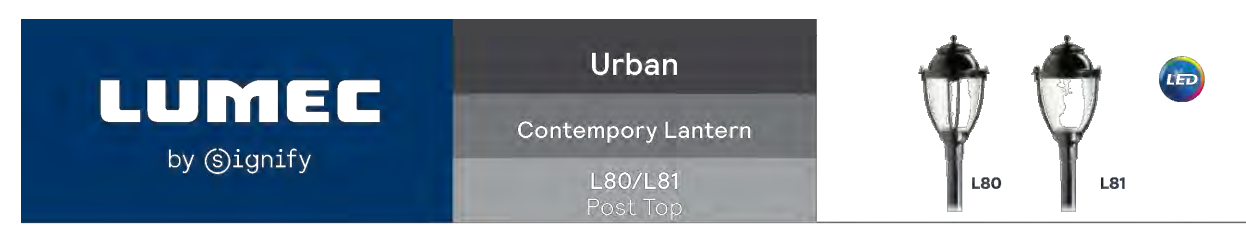
PLAN

MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	VERTICAL REINFORCEMENT	'H'
18'-0"	6'-6"	2'-0"	6 #5 BARS	2' EXPOSED CONCRETE BASE

- NOTES:**
- SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
  - EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-86, N.E.C.
  - CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST-IN-PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI AT 28-DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
  - CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
  - IF POLE BASE IS CAST-IN-PLACE, POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
  - CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
  - THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURERS RECOMMENDATIONS.
  - CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.

## 1 LIGHT POLE BASE

N.T.S.



Lumec LED contemporary lantern luminaires bring the lantern style of design into the 21st century. It offers unique lighting that is at once timeless and intimate. Whether in public places or pedestrian spaces, the LED contemporary lantern luminaires are able to accentuate traditional as well as modern architectural environments.

Product: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat No: \_\_\_\_\_  
Type: \_\_\_\_\_  
Lamp: \_\_\_\_\_ Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

Luminaire ordering guide

Example: L80-30W4LEDSK-F-PC-CS-LED-D2-DMG-SFO-BZTK

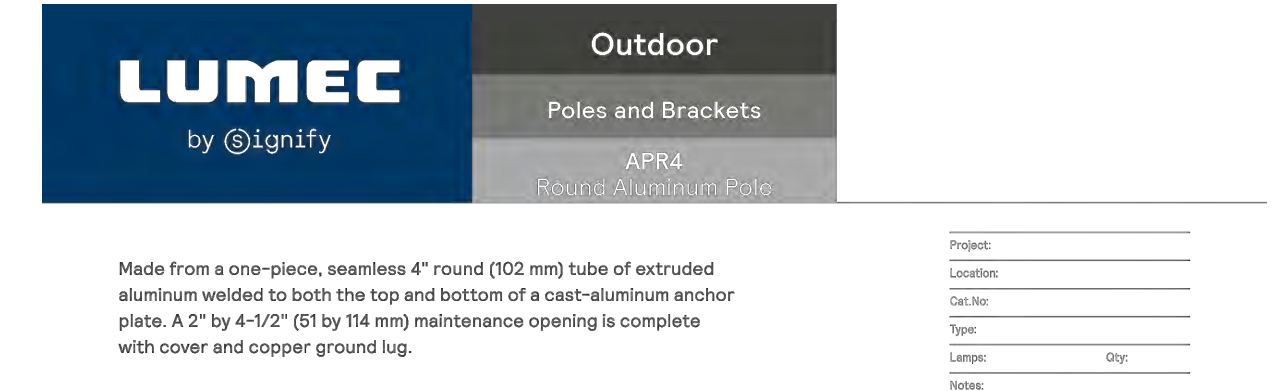
Series	LED module	Lamp type	Globe material	Globe finish	Optical system	Ballast	Driver	Adapter	Luminaire option	Finish
L80	3000K 4000K	T	PC	CS	LED	100	AST	SF2	B0'	BZTK
LS1	30W4LED3K* 30W4LED4K*				LED	208	DMG	SF3	FN2	BEZTK
	30W4LED3K* 30W4LED4K*				LED	240	DMG	SF3	FN2	BEZTK
	48W4LED3K* 48W4LED4K*				LED	277	DMG	SF3	FN2	BEZTK
	30W4LED3K* 30W4LED4K*				LED	347	OTL	SF2	FN3	BZTK
	70W4LED3K 70W4LED4K					460		SFO	FN3	DMTK
	70W4LED3K 70W4LED4K							SFO	FN3	DMTK
	80W4LED3K 80W4LED4K							SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK
								SFS	FN3	DMTK

1. B0 is only available with L80.  
2. 347-85V not available.  
3. L80 not available with L85.  
4. DMG Driver Options is required for DMG.

Motion Response\* (must be ordered as a separate line item) Example: ACC-D0-MSRPG-BZTK

Accessory	Voltage	Motion Response module	Finish
ACC	100	MSRPG1	Single grey
	277	MSRPG2	Double grey
	100	MSRPG3	Single white
	277	MSRPG4	Double white

\*DMG option is required for Motion Response Accessory.



Made from a one-piece, seamless 4" round (102 mm) tube of extruded aluminum welded to both the top and bottom of a cast-aluminum anchor plate. A 2" by 4-1/2" (51 by 114 mm) maintenance opening is complete with cover and copper ground lug.

Product: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat No: \_\_\_\_\_  
Type: \_\_\_\_\_  
Lamp: \_\_\_\_\_ Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

Ordering guide

Example: APR4-F-S-L5-BZTK

Product	Qty	Notes
APR4	1	
LS0	1	8' 10"
LS1	1	8' 10"
LS2	1	8' 10"
LS3	1	8' 10"
LS4	1	8' 10"
LS5	1	8' 10"
LS6	1	8' 10"
LS7	1	8' 10"
LS8	1	8' 10"
LS9	1	8' 10"
LS10	1	8' 10"
LS11	1	8' 10"
LS12	1	8' 10"
LS13	1	8' 10"
LS14	1	8' 10"
LS15	1	8' 10"
LS16	1	8' 10"
LS17	1	8' 10"
LS18	1	8' 10"
LS19	1	8' 10"
LS20	1	8' 10"
LS21	1	8' 10"
LS22	1	8' 10"
LS23	1	8' 10"
LS24	1	8' 10"
LS25	1	8' 10"
LS26	1	8' 10"
LS27	1	8' 10"
LS28	1	8' 10"
LS29	1	8' 10"
LS30	1	8' 10"
LS31	1	8' 10"
LS32	1	8' 10"
LS33	1	8' 10"
LS34	1	8' 10"
LS35	1	8' 10"
LS36	1	8' 10"
LS37	1	8' 10"
LS38	1	8' 10"
LS39	1	8' 10"
LS40	1	8' 10"
LS41	1	8' 10"
LS42	1	8' 10"
LS43	1	8' 10"
LS44	1	8' 10"
LS45	1	8' 10"
LS46	1	8' 10"
LS47	1	8' 10"
LS48	1	8' 10"
LS49	1	8' 10"
LS50	1	8' 10"

Make the appropriate selections by circling the Motion Response code to be ordered with A0-100-000 standards for three seconds, the pole is to be ordered with the design web or not on the pole driver, and with a 0-pole base 0027-pole at 10000-mg above to come.

## 3 LIGHT FIXTURE POLE

N.T.S.

## 2 LIGHT FIXTURE

N.T.S.

Date	Description	No.
REVISIONS		
<b>LANGAN</b>		
Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511		
T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project <b>BALDWIN PARKING LOT IMPROVEMENTS</b>		
ELM STREET		
WESTPORT CONNECTICUT		
Drawing Title <b>SITE LIGHTING DETAILS</b>		
Project No. <b>140204001</b>	Drawing No. <b>LL501</b>	
Date <b>05/10/2021</b>		
Drawn By <b>JA</b>		
Checked By <b>MH</b>		



# SITE PLAN / SPECIAL PERMIT APPLICATION

WESTPORT PLANNING and ZONING COMMISSION

FOR OFFICE USE ONLY

- SITE PLAN  
 SPECIAL PERMIT & SITE PLAN  
 CAM SITE PLAN

Application # \_\_\_\_\_

Submission Date: \_\_\_\_\_

Receipt Date: \_\_\_\_\_

Fee: \_\_\_\_\_

1. Property Address (as listed in the Assessor's records) 35 Elm Street
2. Property ID# (9 Digits - staff will provide) C10143000 Zone: A
3. This property is connected to:  Septic or  Sewer
4. Does this project involve demolition of structures 50+ yrs old or more?  No  If Yes = Visit HDC Rm 108, 341-1184.
5. Applicant's Name John Broadbin, RLA ASLA Daytime Tel # 203-341-1120  
Applicant's Full Address 110 Myrtle Ave Zip Code 06880  
E-Mail: jbroadbin@westportct.gov

**NOTE:** Below List Owner's Name(s) as it appears on the **DEED** (No abbreviations) If more space needed submit list.

6. Property Owner's Name Town of Westport Daytime Tel # 203-341-112  
Property Owner's Address 110 Myrtle Ave Zip Code: 06880  
E-Mail: jbroadbin@westportct.gov
7. Agent's Name (if different): \_\_\_\_\_ Daytime Tel # \_\_\_\_\_  
Agent's Address \_\_\_\_\_ Zip Code: \_\_\_\_\_  
E-Mail: \_\_\_\_\_
8. Zoning Board of Appeals Case # (if any) \_\_\_\_\_
9. Existing Uses of Property: Municipal Parking Lot - Baldwin Parking Lot


10. Describe Proposed Project:  
Redesign and reconstruction of the Baldwin Parking lot at 35 Elm Street. Existing layout to be redesigned according to current zoning regulations. New drainage, paving, landscaping, lighting, security systems of Blue Lights, and closed circuit video cameras, storm water management elements.


11. For Special Permits, please indicate the Special Permit Use and the specific section of the Zoning Regulations requiring a Special Permit for this use: Government Parking Lot / Facility, Sec 11-2.2.1

12. This property  Is  Is Not within 500 feet of an adjoining municipality.

13. List your Estimated time needed for your presentation at hearing: 15 mins  
The P&Z Director, his/her designee, or the P&Z Commission may require an applicant to pay for hiring one or more outside consultants to assist the P&Z staff and Commission in analyzing, reviewing and reporting on areas requiring technical review.

I hereby certify that the above information is correct and that I have submitted herewith all of the pertinent documentation required by the zoning application.

  
Applicant's Signature (If different than owner)

  
Owner's Signature (Must be signed <sup>1</sup>)

1. If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead, as per §43-3.3

<b>FLOOR AREA and PARKING SPACES</b> <i>For This TENANT SPACE</i>  <b>Address</b> <u>35 Elm St</u>	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>COMMENTS</u>
<b>Office</b> - Floor area (1:250)				
<b>Healthcare Professional</b> floor area (1:200)				
<b>Retail</b> - Floor area (1:180)				
<b>Medical</b> - Floor area (1:165)				
<b>Patron Bar</b> - Floor area (1:20)				
<b>Rest. Patron</b> - Floor area (1:50)				
<b>Non Patron</b> - Floor area (1:500)				
<b>Apartment</b> - # of bedrooms (varies)				
<b>Bank Office</b> - (1:250)				
<b>Bank Customer Area</b> - (1:220)				
<b>Other</b> - (Explain):				
<b>Size of Parking Spaces:</b> <b>Standard</b> (9' x 18'):		203	173	
<b>Small</b> (8' x 16' min):				
<b>Handicapped:</b>				
<b>Loading Spaces:</b> <b>Number and Size:</b>				

# P&Z Notice Letter

To whom it may concern:

Date: 5/19/21

This letter is being sent to you to make you aware of the Application listed below.

Notice is hereby given that John Broadbin RLA ASL has filed a Special Permit Site Pl  
(Applicant's Full Name) (List Type of Application)

For Listed Proposed Project Description below:

The redesign and reconstruction of the Baldwin parking lot located at 35 Elm Street. Site improvements to be new paving, drainage, lighting, landscaping, parking layout, handicap parking, personal security system, closed circuit video system, and storm water management elements.

With the Town of Westport / *Planning and Zoning*

For approval for 35 Elm Street  
(Address of Property)

The public hearing date for this application will be, scheduled at the discretion of the P&Z Commission. A Notice of Public Hearing for this application will be published on the town's website.

To view application details please: Visit [www.westportct.gov](http://www.westportct.gov) under *P&Z Pending Applications & Recent Approvals*.

To submit comments for above project: Mail or E-mail letter to [pandz@westportct.gov](mailto:pandz@westportct.gov).

**For Future Reference:**

If you wish to receive E-mail Notifications of future hearings follow these directions:

1. Go to Town Website at [www.westportct.gov](http://www.westportct.gov)
2. On the top tool bar Click: **How Do I . . .**
3. On the left tool bar Click the following in order: **Communicate with the Town** then **Subscribe to Westport Emergency, Meetings, and News eNotifications**
4. Scroll down to **Meeting & News eNotifications** and type in your E-mail Address and your Name.
5. Click each **Board / Committee / Category** you want to receive E-mail Notifications from.
6. When you complete your selections, Click: **Submit**.
7. You will soon receive an E-mail confirmation.

Thank you, John Broadbin, RLA ASLA  
(Applicant's Full Name)

# P&Z Notice Letter

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Date:

5/4/21

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5. Click each **Board / Committee / Category** you want to receive E-mail Notifications from.
6. When you complete your selections, Click: **Submit**.
7. You will soon receive an E-mail confirmation.

Thank you,

John Broadbin, RLA ASLA  
(Applicant's Full Name)



# 250' Abutters Map of 35 Elm St.

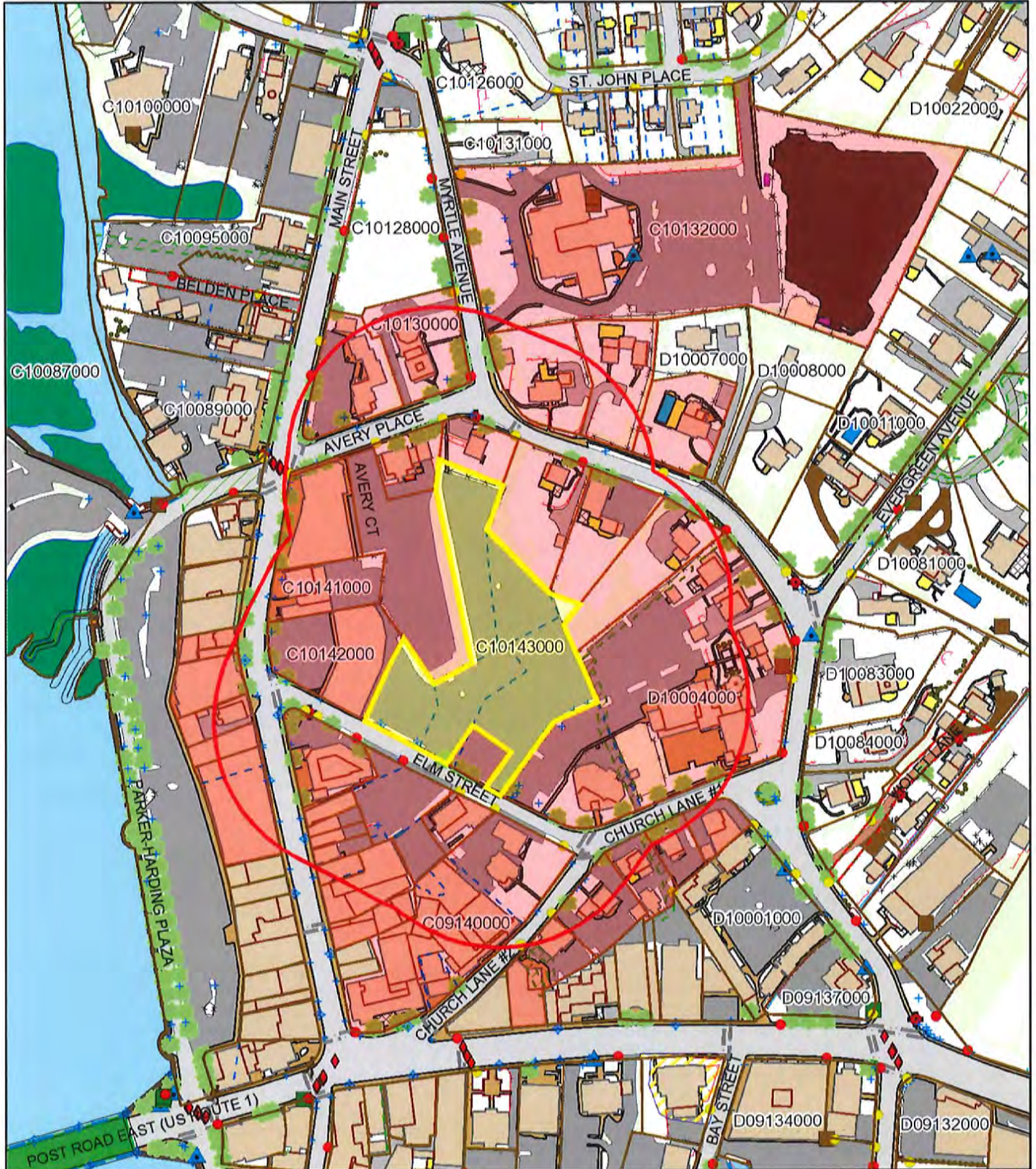
Westport, CT



May 4, 2021

1 inch = 225 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
WESTPORT TOWN OF PARKING LOT 110 MYRTLE AVE				1 Public		Description	Code	Appraised	Assessed	6158 WESTPORT, CT
WESTPORT CT 06880						EX VC C L	52	7,371,000	5,159,700	
1		<b>SUPPLEMENTAL DATA</b>				EX VC OTB	55	108,500	75,900	<b>VISION</b>
		Alt Prcl ID 53181162	Lift Hse Asking \$		Total			7,479,500	5,235,600	

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
WESTPORT TOWN OF		0250 0369	08-01-1967	U	V	0	29	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed
								2020	52	5,159,700	2020	52	5,159,700	2019	52	5,733,000
									55	75,900		55	75,900		55	75,900
								Total		5,235,600	Total		5,235,600	Total		5,808,900

EXEMPTIONS				OTHER ASSESSMENTS			
Year	Code	Description	Amount	Code	Description	Number	Amount
Total			0.00				

ASSESSING NEIGHBORHOOD			
Nbhd	Sub	Nbhd Name	Batch
0001	A	0001	

NOTES	
M/ 10225 MUNICIPAL PARKING 11/5/15 M/10235 EASEMENT TOWN OWNS LAND BUT NOT THE BLDG ...SEE ACCOUNT #14747 FOR BLDG & ...GROUND LEASE DATED 9/11/14.	TOTAL LAND = 1.95 AC: =1.82 ACS EXEMPT + .13 AC TAXABLE PER GROUND LEASE. 1.95 AC REPRESENTS ACREAGE AFTER LAND TRADE W/ WALDMAN - (33 ELM ST.) PF 10/21/19 SEE ASSOCIATED DOCUMENTS

This signature acknowledges a visit by a Data Collector or Assessor

APPRAISED VALUE SUMMARY	
Appraised Bldg. Value (Card)	0
Appraised Xf (B) Value (Bldg)	0
Appraised Ob (B) Value (Bldg)	108,500
Appraised Land Value (Bldg)	7,371,000
Special Land Value	0
Total Appraised Parcel Value	7,479,500
Valuation Method	C
Total Appraised Parcel Value	7,479,500

BUILDING PERMIT RECORD								
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments

VISIT / CHANGE HISTORY					
Date	Id	Type	Is	Cd	Purpost/Result
09-16-2015	MJF	2		18	No Tresp/Dog/Not M or I ot
05-25-2010	J			99	Vacant Lot Inspection
08-04-2005	LV	1		99	Vacant Lot Inspection

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value
1	920	Mun Land Com	A		1.950 AC	1,080,000	1.00000	C	0.50	V	7.000	SHAPE		1.0000	7,371,000
Total Card Land Units					1.950 AC	Parcel Total Land Area					2	Total Land Value			7,371,000

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style: 94		Outbuildings	Fireplaces		
Model: 00		Vacant	Ceiling Height		
Grade:			Elevator		
Stories:					
Occupancy					
Exterior Wall 1					
Exterior Wall 2					
Roof Structure:					
Roof Cover					
Interior Wall 1					
Interior Wall 2					
Interior Flr 1					
Interior Flr 2					
Heat Fuel					
Heat Type:					
AC Type:					
Total Bedrooms					
Total Bthrms:					
Total Half Baths					
Total Xtra Fixtrs					
Total Rooms:					
Bath Style:					
Kitchen Style:					
Kitchens					
Whirlpool Tubs					
Hot Tubs					
Sauna (SF Area)					
Fin Basement					
Fin Bsmt Qual					
Bsmt. Garages					
Interior Cond					
Fireplaces					
Ceiling Height					
<b>CONDO DATA</b>					
Parcel Id		C	Ownr		
			B	S	
Adjust Type	Code	Description	Factor%		
Condo Flr					
Condo Unit					
<b>COST / MARKET VALUATION</b>					
Building Value New					
Year Built					
Effective Year Built					
Depreciation Code					
Remodel Rating					
Year Remodeled					
Depreciation %					
Functional Obsol					
External Obsol					
Trend Factor			1		
Condition					
Condition %					
Percent Good					
Cns Sect Rcnld					
Dep % Ovr					
Dep Ovr Comment					
Misc Imp Ovr					
Misc Imp Ovr Comment					
Cost to Cure Ovr					
Cost to Cure Ovr Comment					

No Sketch

**OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)**

Code	Descript	Sub	Sub Ty	L/B	Units	Unit Pric	Yr Blt	Cond. C	% Gd	Grade	Grade A	Appr. V
PAV1	Paving			L	64,40	2.50	2010	5	60		0.00	96,600
LT1	1Pole -			L	10	1980.00	2010	5	60		0.00	11,900

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
Ttl Gross Liv / Lease Area		0	0			0

