


ARCHITECTURAL REVIEW BOARD APPLICATION REVIEW AND RECOMMENDATION

ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

- COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS** - church
- SPECIAL PERMIT USE**
- SIGNAGE**

Submission Date: 4/9/21

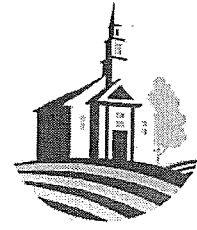
1. Property Address 71 Hillandale Rd., Greens Farms Congregational Church
(As listed in the Assessor's records)
2. Property PID# F08105000 Zoning District: A
3. Owner's Name: Congregational Church of Greens Farms Daytime Tel #: 203-227-2728
Owner's Address: 71 Hillandale Rd., Westport CT 06880 E-mail: claireengland@greensfarmschurch.org
4. Agent's Name *(if different)*: Richard Benson Daytime Tel #: 203-856-9792
Agent's Address: 29 E. Main St. Westport, CT E-mail: rick.rbbensonco@gmail.com
5. Zoning Board of Appeals Case # *(if any)* prior 7764, 20-00218; new application pending
6. Existing Uses of property: Congregational Church
7. Reason for this Request: Prior ARB approval 1/14/20 was for an extensive expansion and renovation of the entire church complex. We now propose less scope, not build an approved central front expansion, keep existing center facade, but now add a small addition on West (left) side of nursery school, set way back from street.


Applicant's Signature (If different than owner)

see attached letter of authorization
Owner's Signature (If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.)

Architectural Review Board Recommendation:

Chair's Signature: _____ Date: _____



February 21, 2020

To Whom It May Concern

The undersigned, being the Operations Director of Green's Farms Church, 71 Hillandale Road, Westport CT 06880, hereby consents and authorizes Richard Benson, Trustee of Green's Farms Church, and President of R.B. Benson & Company Inc., as general contractor/project manager, and Steven Orban, Architect, to make all necessary applications and to appear before all requisite commissions, boards, departments, authorities and their respective staffs in the Town of Westport in order to obtain permits necessary for all renovations, building improvements and desired appurtenances on said property.

Sincerely,

Claire England
Operations Director

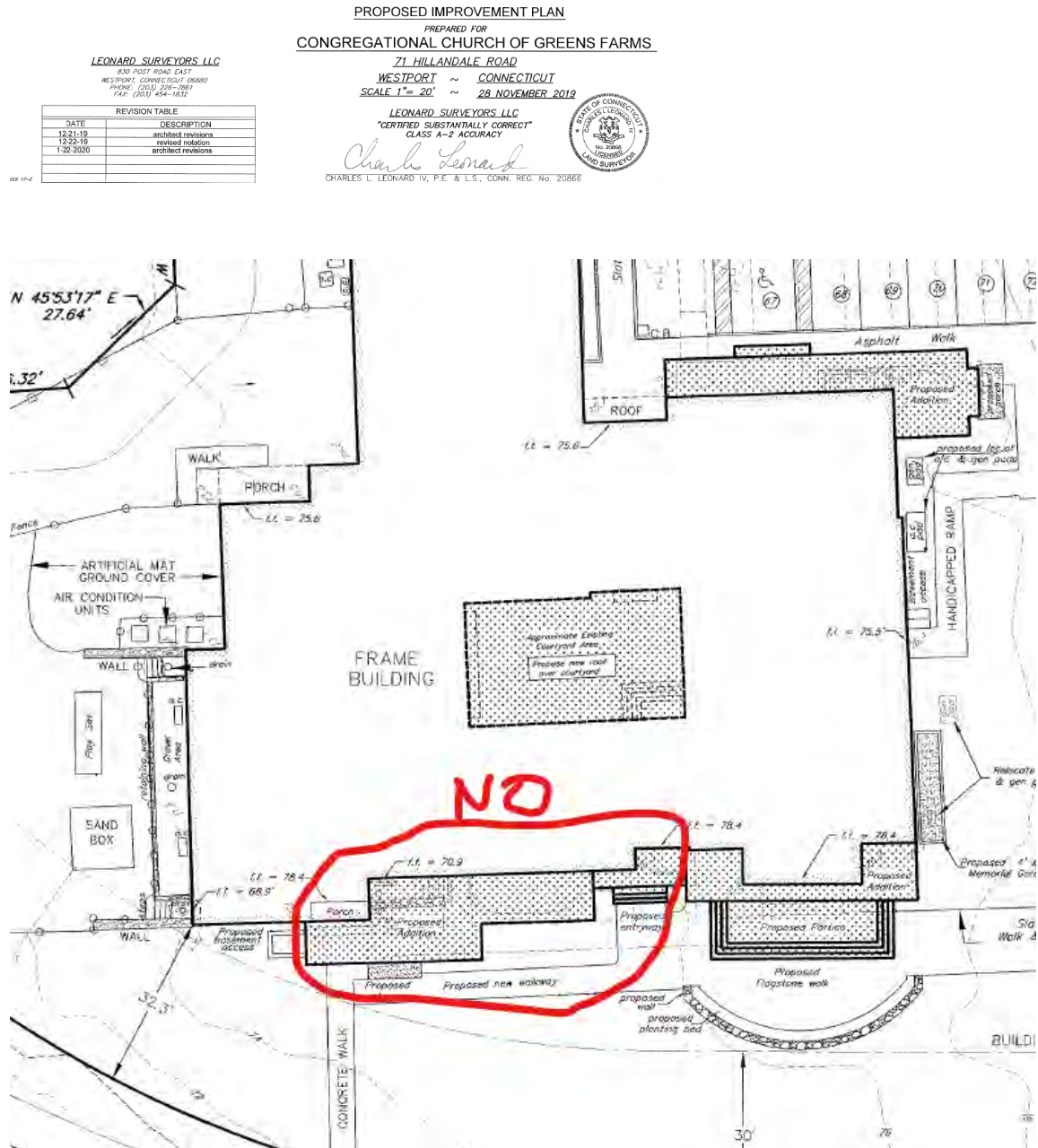
71 Hillendale Rd. Comparison of Approved 1/22/20 Plan and Proposed Plan 4/8/21

R.B. Benson 4/8/21

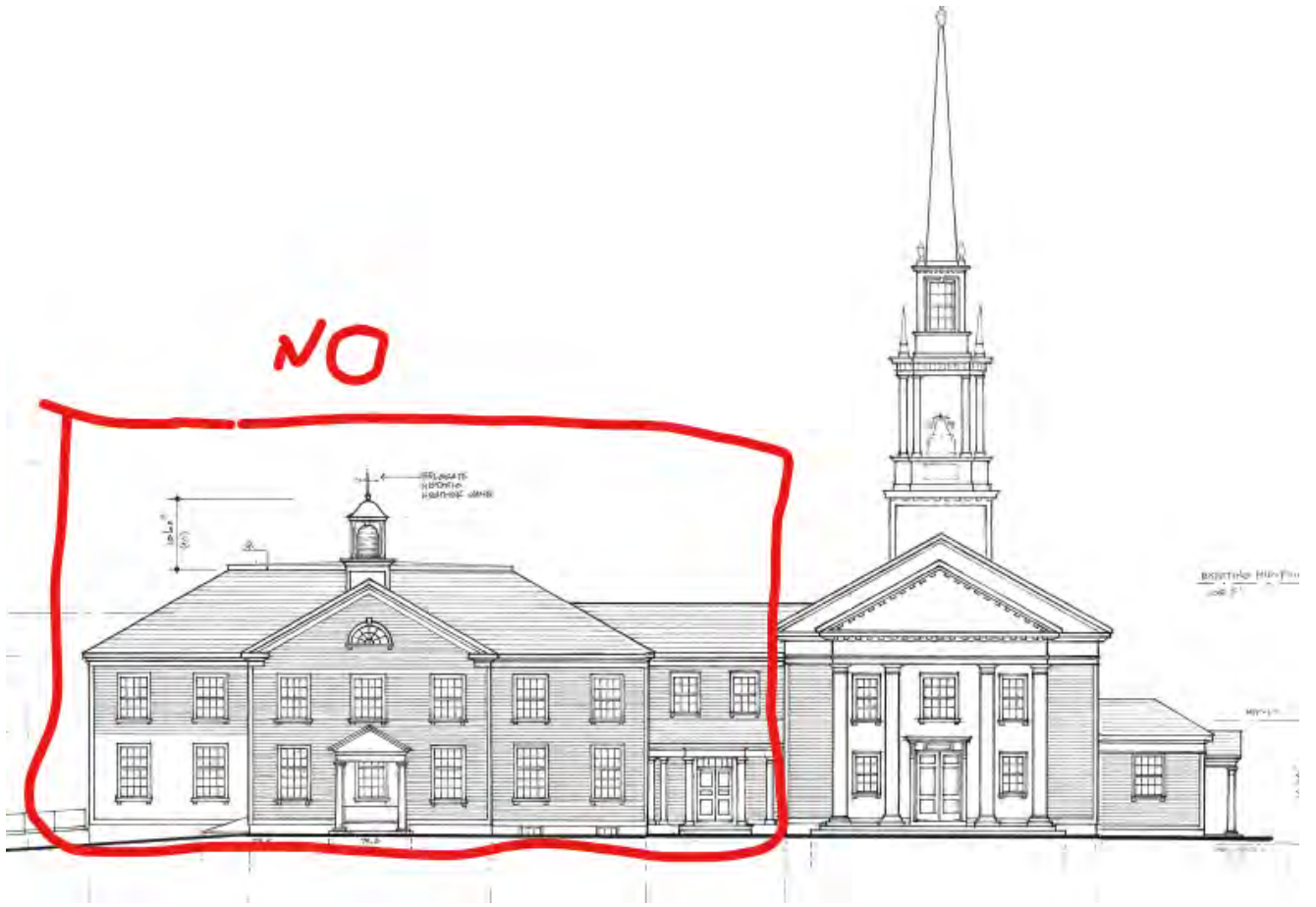
A front addition that was approved by ZBA #7764 permitted a 2nd floor addition to everything left of the Sanctuary.

The reduced scope proposal 4/8/21 wishes to keep the existing façade to everything left of the Sanctuary, but add a height conforming cupola and an addition to the left of the nursery school. Both proposals roof over the open central courtyard. Approved additions to the front and rear of the Sanctuary are nearly complete. There is no change to approved use, coverage, setbacks, or height. We are requesting to relocate non-conforming coverage.

Approved by ZBA 2/11/20 and P&Z 5/4/20



NO



Proposed 4/8/21

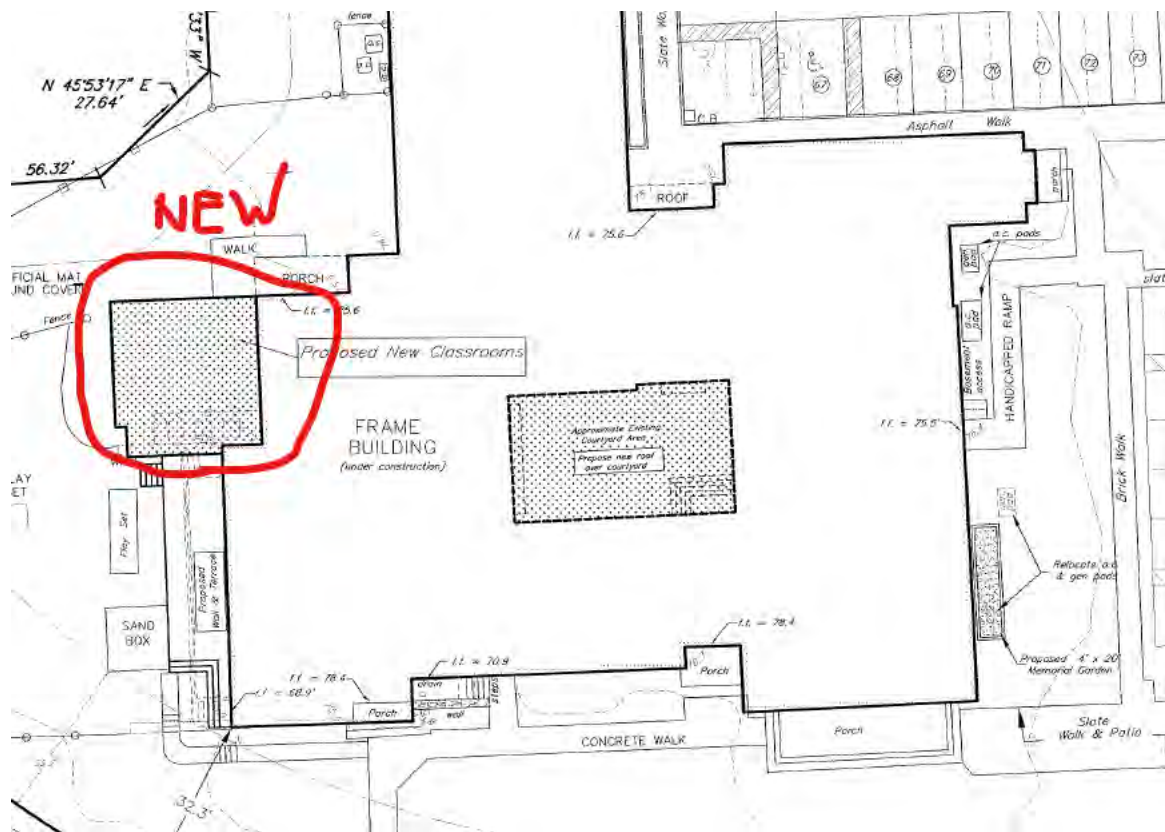
PROPOSED IMPROVEMENT PLAN
 PREPARED FOR
CONGREGATIONAL CHURCH OF GREENS FARMS
 71 HILLDALE ROAD
 WESTPORT CT CONNECTICUT
 SCALE 1" = 20' NOVEMBER 2019

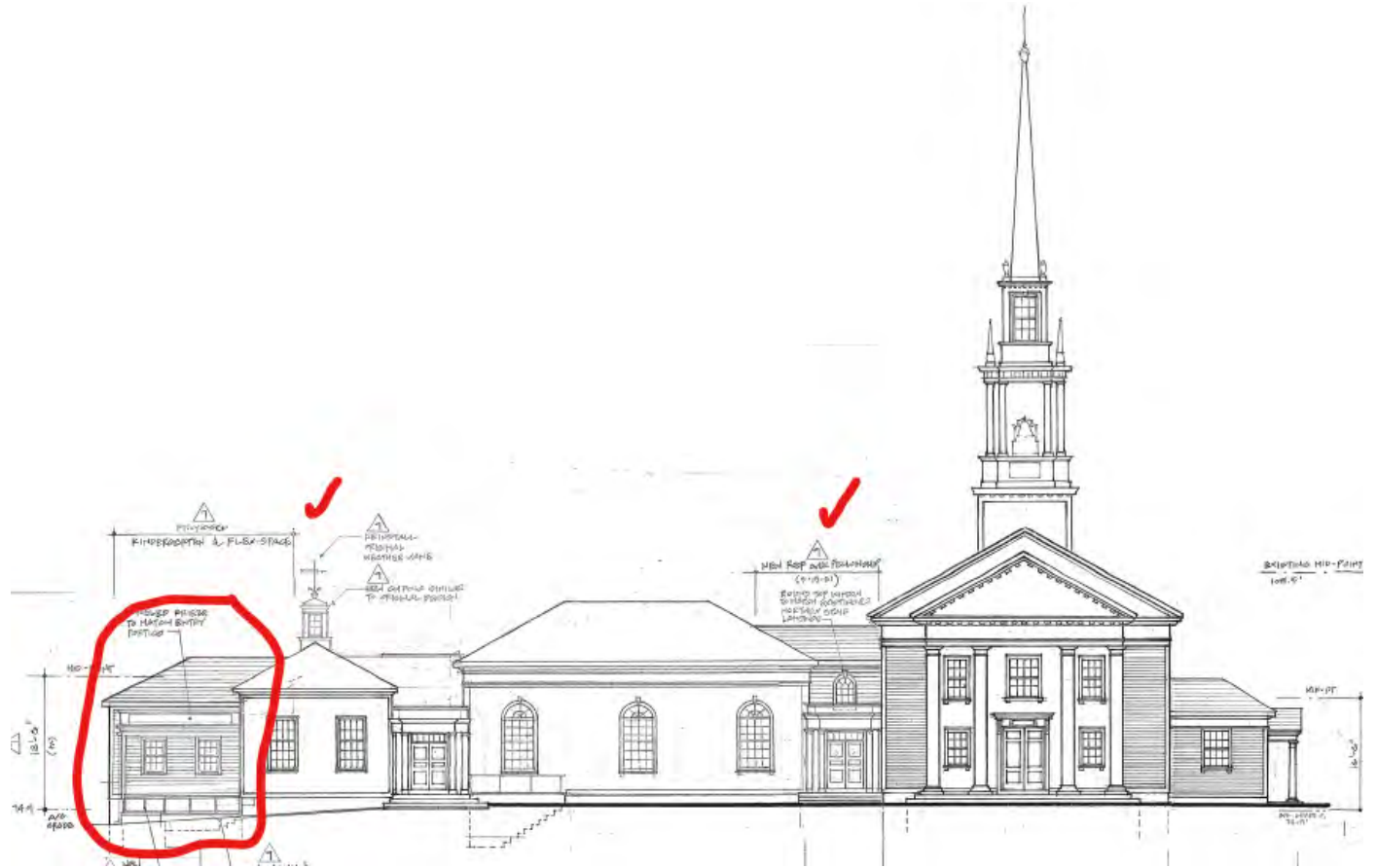
LEONARD SURVEYORS LLC
 157 WEST STAMFORD RD
 WESTPORT, CONNECTICUT 06880
 PHONE (203) 234-2888
 FAX (203) 234-1522

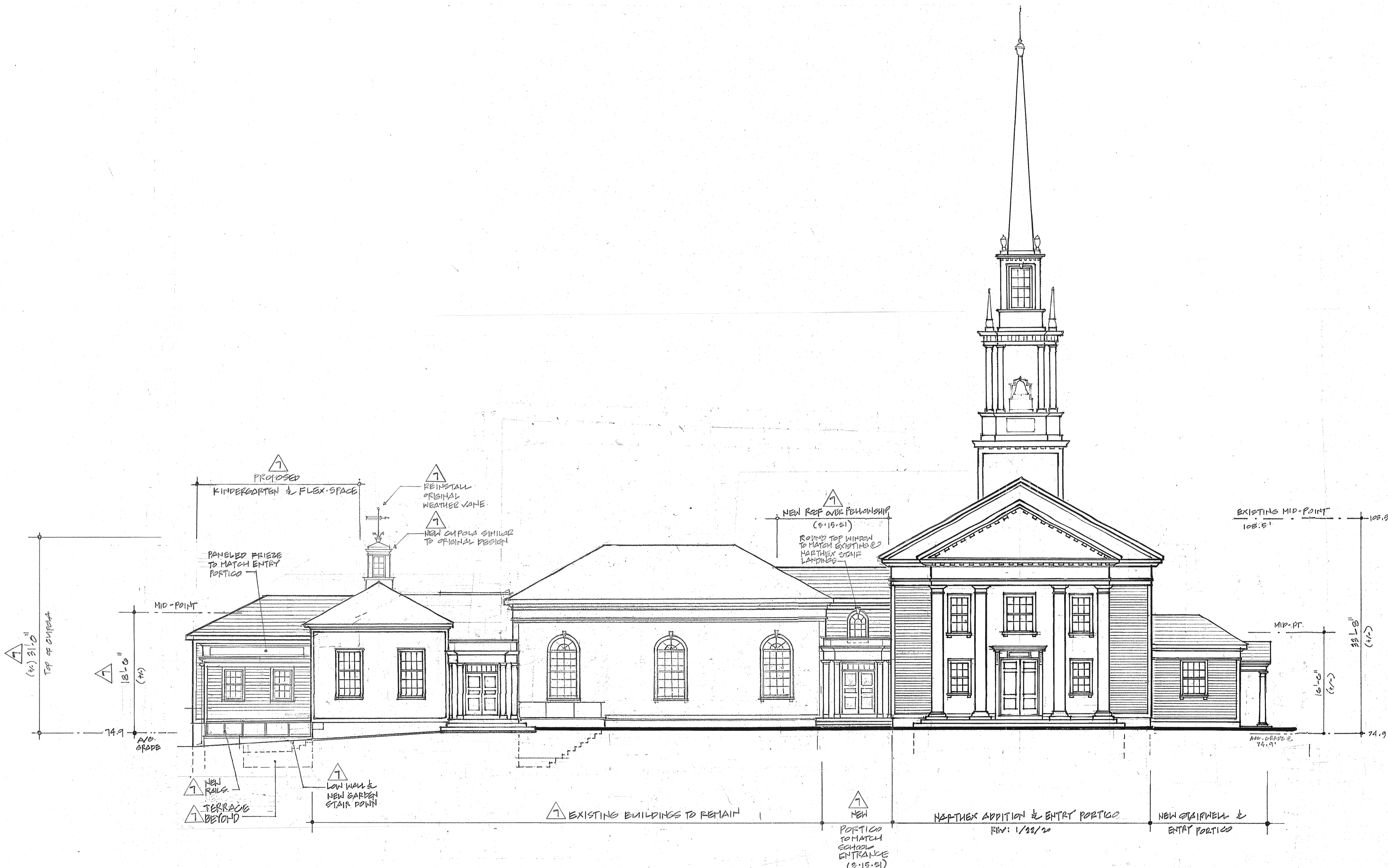
LEONARD SURVEYORS LLC
 "CERTIFIED SUBSTANTIALLY CORRECT"
 CLASS A-2 ACCURACY

Charles Leonard
 CHARLES L. LEONARD A.P.E. & L.S., 2008, P.E., No. 20890

REVISION TABLE	
DATE	DESCRIPTION
12-21-19	initial revision
12-22-19	revised notation
1-22-20	revise proposed addition
3-12-21	revise proposed addition
4-8-21	revise proposed addition







1
A2.1
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #7
3/23/21
*ELIMINATED SECOND FLOOR SCHOOL EXPANSION
*ADDED NEW KINDERGARTEN & FLEX-SPACE ADJACENT TO EXISTING CLASSROOMS
*REDIRECTED SCHOOL ACCESS FROM EXISTING NARROW/STEEP FRONT STAIR TO NEW TERRACE AT CELLAR CLASSROOMS FOR BETTER PARENT/PLAYGROUND INTERFACE, FIRE EGRESS & REFUGE AREA
*MINIMIZED FELLOWSHIP ADDITIONS- MAINTAINING EXISTING PARLOR ROOF STRUCTURE AND LOCALIZING SMALLER SKYLIGHTS
*EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
*REDUCED SECOND FLOOR LIBRARY AREA

REVISION #4
3/23/2020
MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM

REVISION-1/22/20
*NARTHEX ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:

GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED SOUTH ELEVATION

Drawing Status

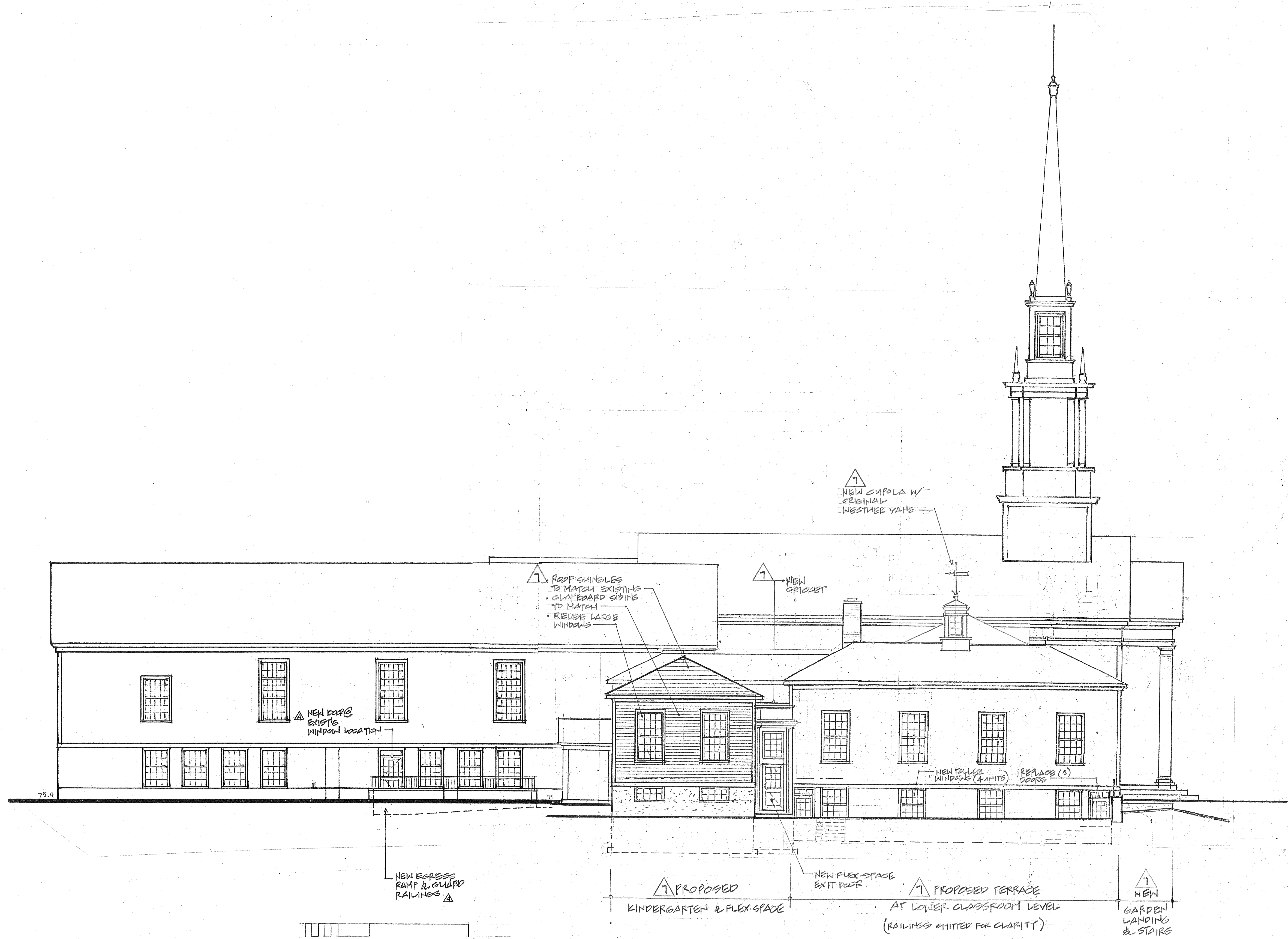
Drawn by R.C.S. Date **ISSUED 11/19/2019** FOR: **ZBA APPLICATION**

Drawing Scale **AS NOTED**

Layout ID Status Revision **A2.1**

PRELIMINARY
NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING



1
A2.3
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #7
3/23/21
*ELIMINATED SECOND FLOOR SCHOOL EXPANSION
*ADDED NEW KINDERGARTEN & FLEX-SPACE ADJACENT TO EXISTING CLASSROOMS
*REDIRECTED SCHOOL ACCESS FROM EXISTING NARROW/STEEP FRONT STAIR TO NEW TERRACE AT CELLAR CLASSROOMS FOR BETTER PARENT/PLAYGROUND INTERFACE, FIRE EGRESS & REFUGE AREA
*MINIMIZED FELLOWSHIP ADDITIONS- MAINTAINING EXISTING PARLOR ROOF STRUCTURE AND LOCALIZING SMALLER SKYLIGHTS
*EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
*REDUCED SECOND FLOOR LIBRARY AREA

REVISION #4
3/23/2020
MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM
SHOWING NEW EGRESS RAMP UP FROM DAY CARE "NAP-ROOM"

REVISION-1/22/20
*NARTHES ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:
GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED WEST ELEVATION

Drawing Status
Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

Drawing Scale
AS NOTED

Layout ID A2.3 Status Revision

PRELIMINARY
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1
A2.4
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #7
3/23/21
*ELIMINATED SECOND FLOOR SCHOOL EXPANSION
*ADDED NEW KINDERGARTEN & FLEX-SPACE ADJACENT TO EXISTING CLASSROOMS
*REDIRECTED SCHOOL ACCESS FROM EXISTING NARROW/STEEP FRONT STAIR TO NEW TERRACE AT CELLAR CLASSROOMS FOR BETTER PARENT/PLAYGROUND INTERFACE.
*FIRE EGRESS & REFUGE AREA
*MINIMIZED FELLOWSHIP ADDITIONS- MAINTAINING EXISTING PARLOR ROOF STRUCTURE AND LOCALIZING SMALLER SKYLIGHTS
*EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
*REDUCED SECOND FLOOR LIBRARY AREA

REVISION #4
3/23/2020
MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM
PROVIDED ACCESS DOORS & AWNING PANELS AT CANTILEVERED BOX-BAY

REVISION-1/22/20
*NARTHES ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:

GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED NORTH ELEVATION

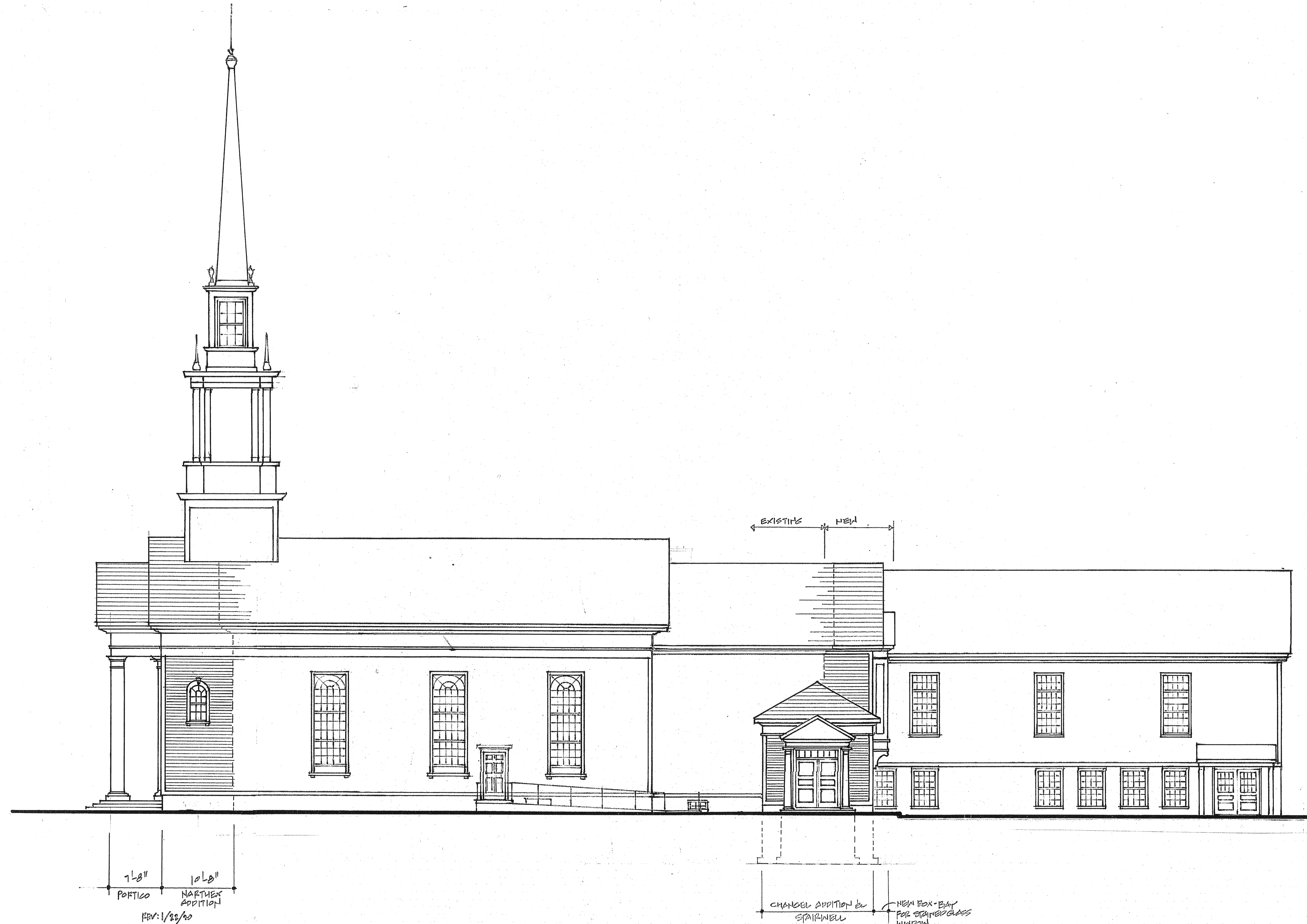
Drawing Status
Drawn by ISSUED 11/19/2019
R.C.S. FOR:
ZBA APPLICATION

Drawing Scale
AS NOTED

Layout ID Status Revision
A2.4

PRELIMINARY
NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING



1
A2.2
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #7
3/23/21
NO CHANGES TO THIS ELEVATION

REVISION #4
3/23/2020
NO MODIFICATIONS

REVISION-1/22/20
*NARTHEX ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT
PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE,
STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO
REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:

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71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT, 06855
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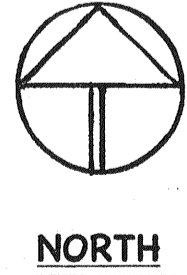
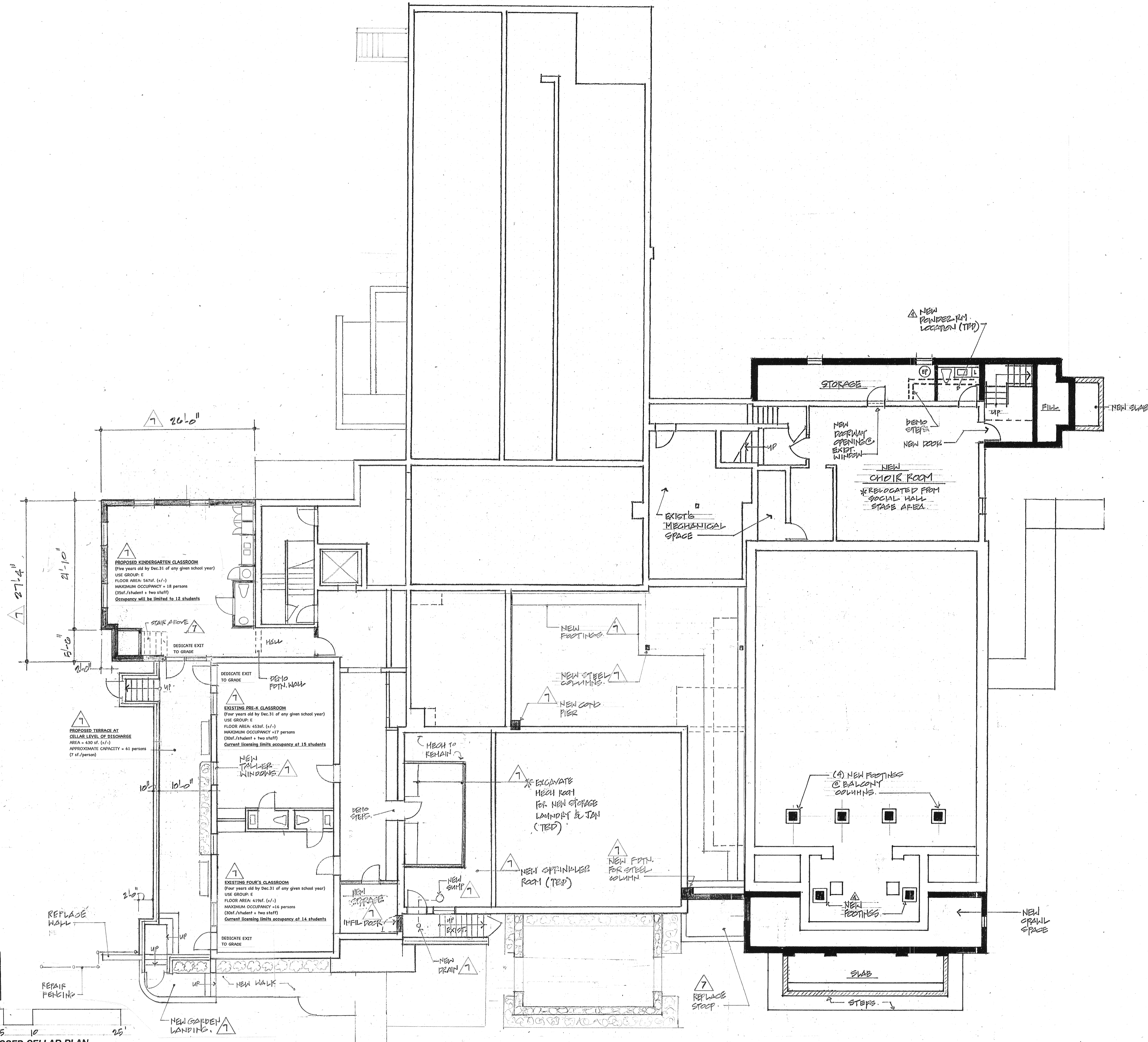
Drawing Name
PROPOSED EAST ELEVATION

Drawing Status
Drawn by R.C.S. Date ISSUED 11/19/2019
FOR:
ZBA APPLICATION

Drawing Scale AS NOTED
Layout ID A2.2 Status Revision

PRELIMINARY
NOT FOR CONSTRUCTION

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WALL PARTITION LEGEND

	NEW PARTITION
	EXISTING PARTITION TO REMAIN

1
A1.0
PROPOSED CELLAR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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REVISION #7
3/23/21
*ELIMINATED SECOND FLOOR SCHOOL EXPANSION
*ADDED NEW KINDERGARTEN & FLEX-SPACE ADJACENT TO EXISTING CLASSROOMS
*REDIRECTED SCHOOL ACCESS FROM EXISTING NARROW/STEEP FRONT STAIR TO NEW TERRACE AT CELLAR CLASSROOMS FOR BETTER PARENT/PLAYGROUND INTERFACE, FIRE EGRESS & REFUGE AREA
*MINIMIZED FELLOWSHIP ADDITIONS- MAINTAINING EXISTING PARLOR ROOF STRUCTURE AND LOCALIZING SMALLER SKYLIGHTS
*EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
*REDUCED SECOND FLOOR LIBRARY AREA

REVISION #4
3/23/2020
NEW EGRESS RAMP UP FROM DAYCARE "NAP-ROOM"
ADDITIONAL FOOTINGS FOR FELLOWSHIP & NARTHEX COLUMNS
NEW 1/2 BATH IN CHOIR ROOM

REVISION-1/22/20
*NARTHEX ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

REVISION #1 (10/19/19)
Nursery school- shift playspace to lower floor & relocate 3's & 4's to proposed new second floor

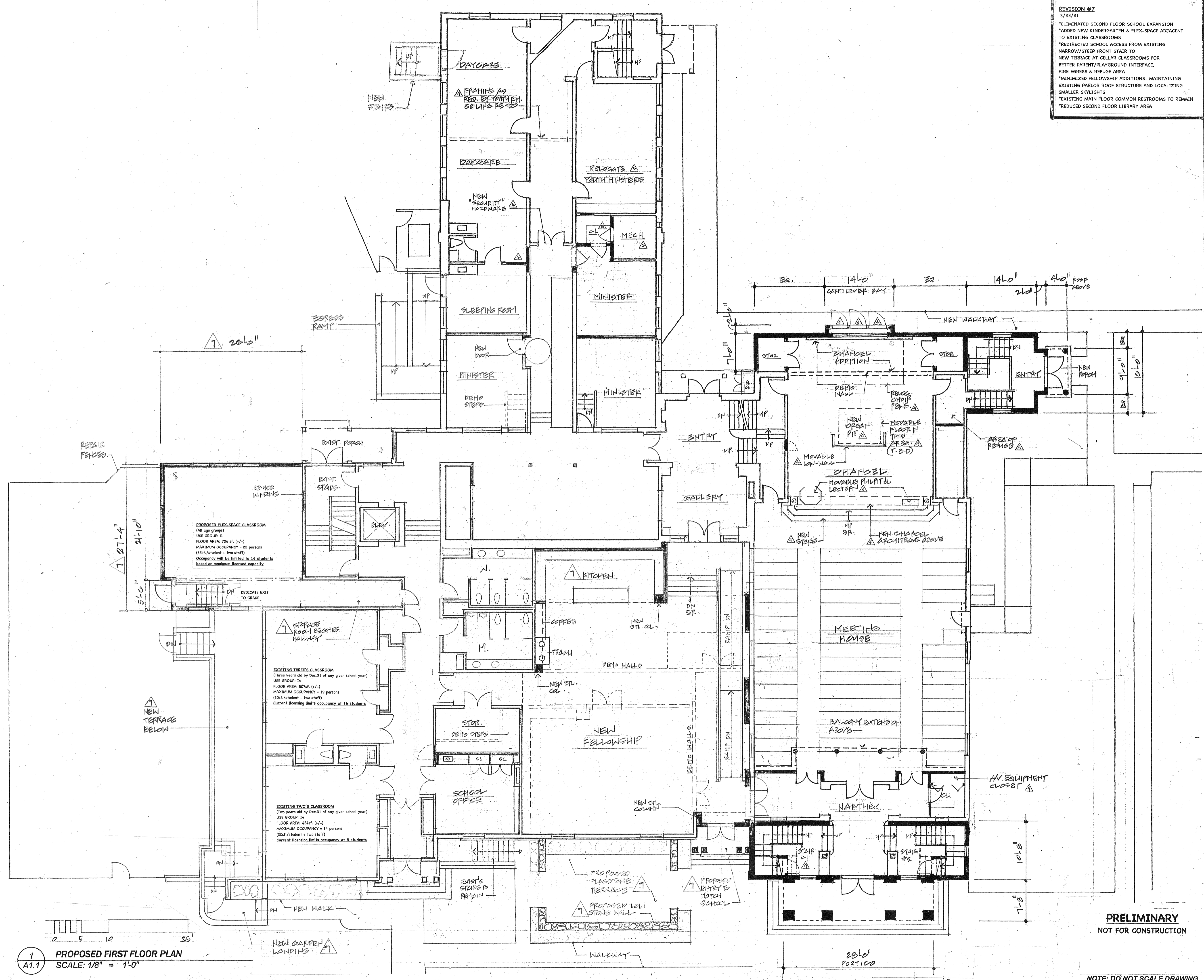
Job Title Alterations, Additions and Renovations to the:
GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED BASEMENT PLAN

Drawing Status
Date
Drawn by R.C.S. ISSUED 11/19/2019 FOR:
ZBA APPLICATION

Drawing Scale AS NOTED
Layout ID Status Revision
A1.0



REVISION #7
3/23/21
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 *EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
 *REDUCED SECOND FLOOR LIBRARY AREA

REVISION #6 5/4/2020
 EXPANDED (2) MINISTER'S OFFICES INTO RAMP CORRIDOR
 EXPANDED YOUTH MINISTER'S OFFICE FOR RELOCATED ACCOUNTING FUNCTION
 RELOCATED YOUTH MINISTER'S TO EXISTING "ART ROOM"
 EXPANDED ADMINISTRATION FUNCTION & CREATED A "NEW MINISTER'S" OFFICE
 ELIMINATED THE SECURITY DOORS @ REAR ENTRY HALL
 ADDED SECURITY DOORS AT THE BOTTOM OF THE RAMP CORRIDOR & REMOVED THE SLEEPING ROOM HALL ACCESS DOOR (PROVIDING NEW EXTERIOR EGRESS RAMP)
 RELOCATED JANITOR'S CLOSET FOR NEW STACKING WASHER & DRY'R

REVISION #5 4/21/2020
 ADDED TABLE STORAGE IN REAR OF FELLOWSHIP SPACE
 ELIMINATED DROPPED HEADER & COLUMNS AT FELLOWSHIP ALCOVE
 ORGANIZED FIREPLACE & SKYLIGHT IN CENTRAL PORTION OF FELLOWSHIP SPACE
 INFILL 2" floor WINDOWS @ CAFÉ & STORAGE ROOM
 RAISED PARLOR/LIBRARY FLOOR LEVEL FOR BETTER ACCESS FROM ELEVATOR
 ADDED STORAGE ROOM FROM PARLOR/LIBRARY SPACE
 REMOVED STAIRS & INCREASED PANTRY STORAGE @ CAFÉ
 MODIFIED CLASSROOM DESIGNATIONS

REVISION #4 3/23/2020
 NEW EGRESS RAMP UP FROM DAYCARE "NAP-ROOM"
 RELOCATED EGRESS RAMP AT FELLOWSHIP SPACE
 ELIMINATED FELLOWSHIP BAL STAIRS & LANDING FROM BALCONY
 RELOCATED KITCHEN & BATHROOMS
 RELOCATED GAS FIREPLACE
 ADDED POWDER ROOM FOR SCHOOL ADMINISTRATION & VISITORS
 REPLACED LU/LA ELEVATOR WITH ADDITIONAL EGRESS STAIRS
 MODIFIED CHANCEL STEPS & ACHITRAVE
 ADDED MOVABLE ORGAN-PIT W/LOW WALL
 PROVIDED ACCESS DOORS TO LED LIGHTING BEHIND STAINED GLASS WINDOW
 PROVIDED AREA OF REFUGE AT LANDING OF NEW CHANCEL STAIRWELL
 ADDED A/V EQUIPMENT CLOSET AT MEETING HOUSE

REVISION-1/22/20
 *NARTHEX ADDITION & ENTRY PORTICO
 *FELLOWSHIP ENTRANCE
 *ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
 FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
 ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

REVISION #1 (10/19/19)
 Nursery school- shift play space to lower floor & relocate 3's & 4's to proposed new second floor

Job Title Alterations, Additions and Renovations to the
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 WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
 5 GOLF PASTURE BEACH ROAD
 NORWALK, CT. 06855
 203-454-2444

Drawing Name
PROPOSED FIRST FLOOR PLAN

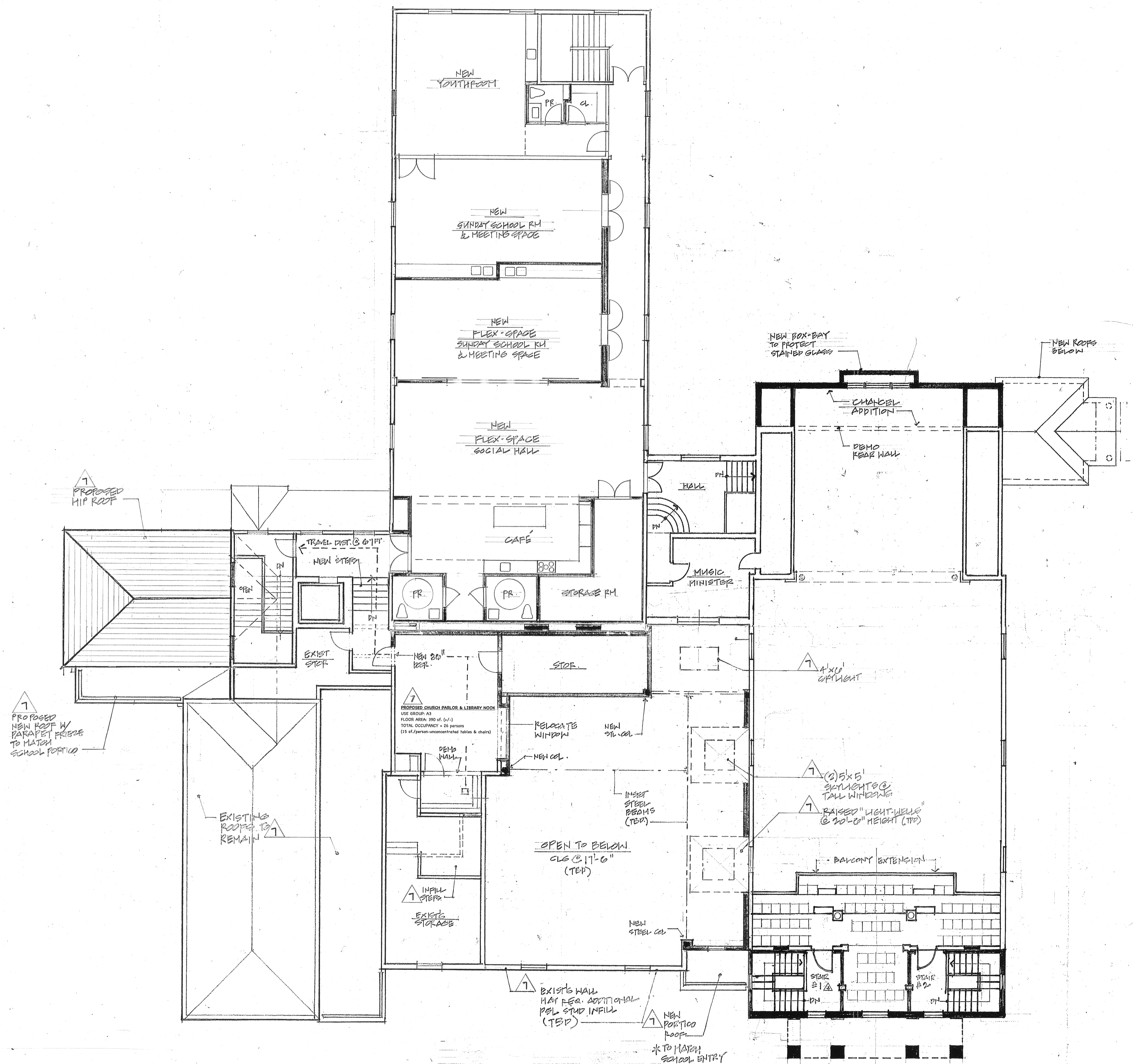
Drawing Status
PRELIMINARY
 NOT FOR CONSTRUCTION

Drawn by R.C.S. Date **ISSUED 11/19/2019**
 FOR: **ZBA APPLICATION**

Drawing Scale **AS NOTED**
 Layout ID Status Revision
A1.1

1
PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTE: DO NOT SCALE DRAWING



REVISION #7
 3/23/21
 *ELIMINATED SECOND FLOOR SCHOOL EXPANSION
 *ADDED NEW KINDERGARTEN & FLEX-SPACE ADJACENT TO EXISTING CLASSROOMS
 *REDIRECTED SCHOOL ACCESS FROM EXISTING NARROW/STEEP FRONT STAIR TO NEW TERRACE AT CELLAR CLASSROOMS FOR BETTER PARENT/PLAYGROUND INTERFACE, FIRE EGRESS & REFUGE AREA
 *MINIMIZED FELLOWSHIP ADDITIONS- MAINTAINING EXISTING PARLOR ROOF STRUCTURE AND LOCALIZING SMALLER SKYLIGHTS
 *EXISTING MAIN FLOOR COMMON RESTROOMS TO REMAIN
 *REDUCED SECOND FLOOR LIBRARY AREA

REVISION #6 5/4/2020
 SEPARATED PARLOR & LIBRARY
 ADDED BUILT-INS @ PARLOR, LIBRARY & SCHOOL HALLWAY
 RELOCATED ATTIC STAIRS TO ELEVATOR LANDING
 MOVED SCHOOL SECURITY DOORS
 REVISED POWDER RM. @ "PRE-K"
 EXTENDED FELLOWSHIP WALL BUILD-OUT TOWARD CHAIR STORAGE ROOM TO INCREASE SPACE FOR 1ST FL. FIREPLACE

REVISION #5
 4/21/2020
 ADDED TABLE STORAGE IN REAR OF FELLOWSHIP SPACE
 ELIMINATED DROPPED HEADER & COLUMNS AT FELLOWSHIP ALCOVE ORGANIZED FIREPLACE & SKYLIGHT IN CENTRAL PORTION OF FELLOWSHIP SPACE
 INFILL 2ND FLOOR WINDOWS @ CAFÉ & STORAGE ROOM
 RAISED PARLOR/LIBRARY FLOOR LEVEL FOR BETTER ACCESS FROM ELEVATOR
 ADDED STORAGE ROOM FROM PARLOR/LIBRARY SPACE
 REMOVED STAIRS & INCREASED PANTRY STORAGE @ CAFÉ
 MODIFIED CLASSROOM DESIGNATIONS

REVISION #4
 3/23/2020
 REPLACED LU/LA ELEVATOR WITH ADDITIONAL EGRESS STAIRS
 ADDED STAIR IN SECOND FLOOR STORAGE ROOM FOR HW/AC & SKYLIGHT ACCESS
 MODIFIED EGRESS DOORS FROM NEW CLASSROOMS
 MODIFIED ATTIC STAIR DOOR ADJACENT TO REAR FIRE STAIRS
 REVISED SOCIAL HALL "FLEX-SPACES" TO PROVIDE ACCESSIBLE WASHROOMS, CHAIR STORAGE AND REPROGRAMMED THE CAFÉ FOR BETTER YOUTH GROUP CULINARY TEACHING

REVISION-1/22/20
 *NARTHES ADDITION & ENTRY PORTICO
 *FELLOWSHIP ENTRANCE
 *ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
 FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
 ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

REVISION #1 (10/19/19)
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 WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
 5 CALF PASTURE BEACH ROAD
 NORWALK, CT. 06855
 203-454-2444

Drawing Name
PROPOSED SECOND FLOOR PLAN

Drawing Status
PRELIMINARY
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Drawn by R.C.S. Date
ISSUED 11/19/2019
 FOR:
ZBA APPLICATION

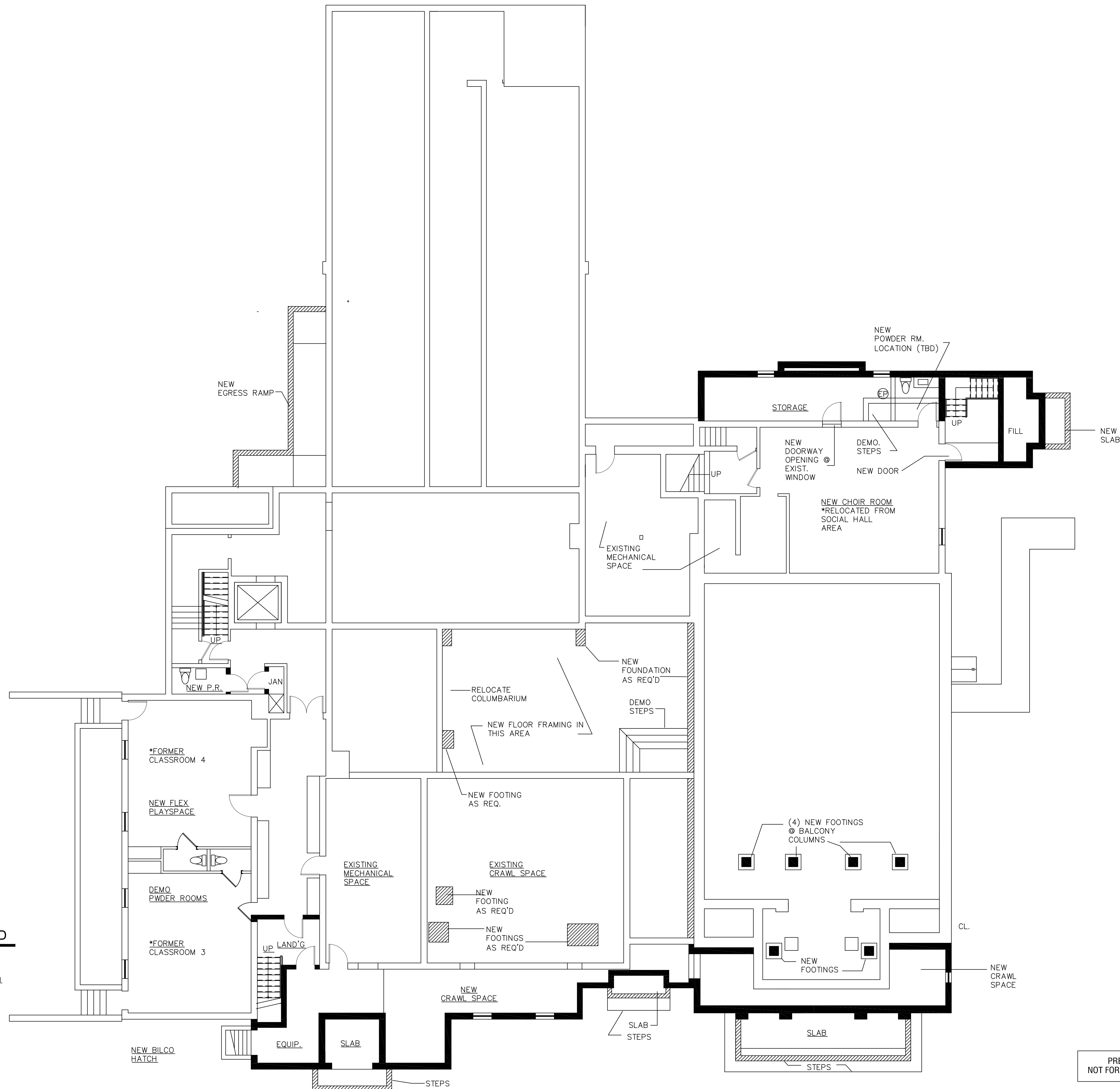
Drawing Scale
AS NOTED

Layout ID Status Revision
A1.2

PRELIMINARY
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NOTE: DO NOT SCALE DRAWING

1 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISION #6 5/4/2020
 EXPANDED (2) MINISTERS OFFICES INTO RAMP CORRIDOR
 EXPANDED YOUTH MINISTER'S OFFICE FOR RELOCATED YOUTH MINISTERS TO EXISTING "ART ROOM"
 EXPANDED ADMINISTRATION FUNCTION & CREATED A "NEW MINISTERS" OFFICE
 ELIMINATED THE SECURITY DOORS @ REAR ENTRY HALL
 ADDED SECURITY DOORS AT THE BOTTOM OF THE RAMP CORRIDOR & REMOVED THE SLEEPING ROOM HALL ACCESS DOOR (PROVIDING NEW EXTERIOR EGRESS RAMP)
 RELOCATED JANITOR'S CLOSET FOR NEW STACKING WASH'R & DRY'R

REVISION #5 4/21/2020
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 INFILL 2nd floor WINDOWS @ CAFE & STORAGE ROOM
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 MODIFIED CLASSROOM DESIGNATIONS

REVISION #4 3/23/2020
 NEW EGRESS RAMP UP FROM DAYCARE "NAP ROOM"
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 RELOCATED GAS FIREPLACE
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 MODIFIED CHANCEL STEPS & ACHITRAVE
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REVISION- 12/10/19
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GREEN'S FARMS CHURCH
 71 HILLDALE ROAD
 WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
 5 CALF PASTURE BEACH ROAD
 NORWALK, CT. 06855
 203-454-2444

Drawing Name
PROPOSED CELLAR FLOOR PLAN

Drawing Status
 Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

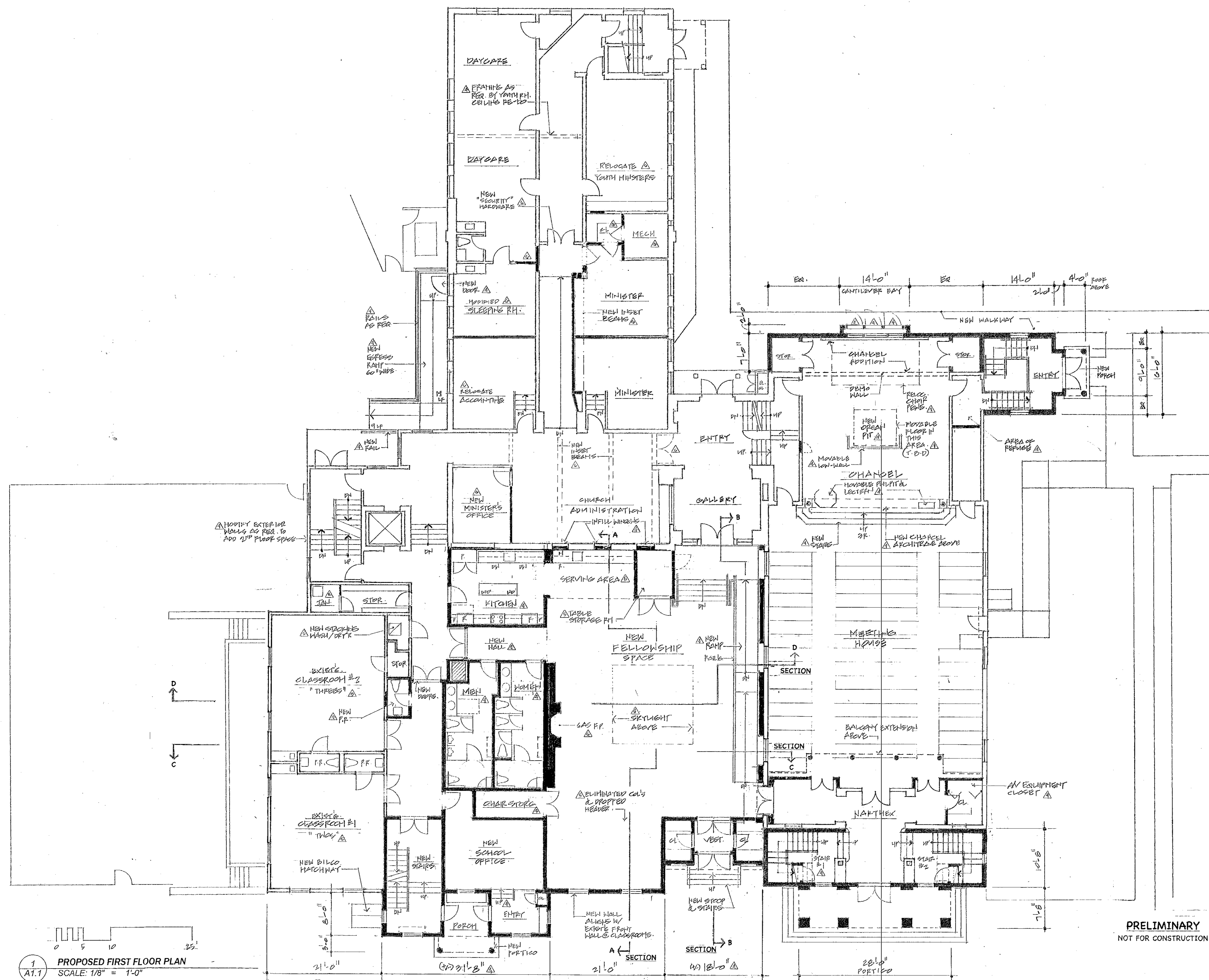
Drawing Scale AS NOTED

Layout ID Status Revision

A0.1

NOTE: DO NOT SCALE DRAWING

1 PROPOSED CELLAR FLOOR PLAN
 A0.1 SCALE: 1/8"=1'-0"



REVISION #6 5/4/2020
 EXPANDED (2) MINISTER'S OFFICES INTO RAMP CORRIDOR
 EXPANDED YOUTH MINISTER'S OFFICE FOR RELOCATED ACCOUNTING FUNCTION
 RELOCATED YOUTH MINISTERS TO EXISTING "ART ROOM"
 EXPANDED ADMINISTRATION FUNCTION & CREATED A "NEW MINISTER'S" OFFICE
 ELIMINATED THE SECURITY DOORS @ REAR ENTRY HALL
 ADDED SECURITY DOORS AT THE BOTTOM OF THE RAMP CORRIDOR & REMOVED THE SLEEPING ROOM HALL ACCESS DOOR (PROVIDING NEW EXTERIOR EGRESS RAMP)
 RELOCATED JANITOR'S CLOSET FOR NEW STACKING WASHFR & DRYR

REVISION #5 4/21/2020
 ADDED TABLE STORAGE IN REAR OF FELLOWSHIP SPACE
 ELIMINATED DROPPED HEADER & COLUMNS AT FELLOWSHIP ALCOVE
 ORGANIZED FIREPLACE & SKYLIGHT IN CENTRAL PORTION OF FELLOWSHIP SPACE
 INFILL 2" floor WINDOWS @ CAFÉ & STORAGE ROOM
 RAISED PARLOR/LIBRARY FLOOR LEVEL FOR BETTER ACCESS FROM ELEVATOR
 ADDED STORAGE ROOM FROM PARLOR/LIBRARY SPACE
 REMOVED STAIRS & INCREASED PANTRY STORAGE @ CAFÉ
 MODIFIED CLASSROOM DESIGNATIONS

REVISION #4 3/23/2020
 NEW EGRESS RAMP UP FROM DAYCARE "NAP-ROOM"
 RELOCATED EGRESS RAMP AT FELLOWSHIP SPACE
 ELIMINATED FELLOWSHIP BAL STAIRS & LANDING FROM BALCONY
 RELOCATED KITCHEN & BATHROOMS
 RELOCATED GAS FIREPLACE
 ADDED POWDER ROOM FOR SCHOOL ADMINISTRATION & VISITORS
 REPLACED LU/LA ELEVATOR WITH ADDITIONAL EGRESS STAIRS
 MODIFIED CHANCEL STEPS & ACHITRAVE
 ADDED MOVABLE ORGAN-PIT W/LOW WALL PROVIDED ACCESS DOORS TO LED LIGHTING BEHIND STAINED GLASS WINDOW
 PROVIDED AREA OF REFUGE AT LANDING OF NEW CHANCEL STAIRWELL
 ADDED A/V EQUIPMENT CLOSET AT MEETING HOUSE

REVISION-1/22/20
 "NARTHES ADDITION & ENTRY PORTICO"
 "FELLOWSHIP ENTRANCE"
 "ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES"

REVISION-12/10/19
 FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
 ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

REVISION #1 (10/19/19)
 Nursery school- shift play space to lower floor & relocate 3's & 4's to proposed new second floor

Job Title Alterations, Additions and Renovations to the
GREEN'S FARMS CHURCH
 71 HILLDALE ROAD
 WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
 5 CALF PASTURE BEACH ROAD
 NORWALK, CT. 06855
 203-454-2444

Drawing Name
PROPOSED FIRST FLOOR PLAN

Drawing Status
 R.C.S. **ISSUED 11/19/2019**

Date
FOR: ZBA APPLICATION

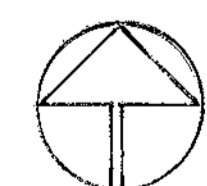
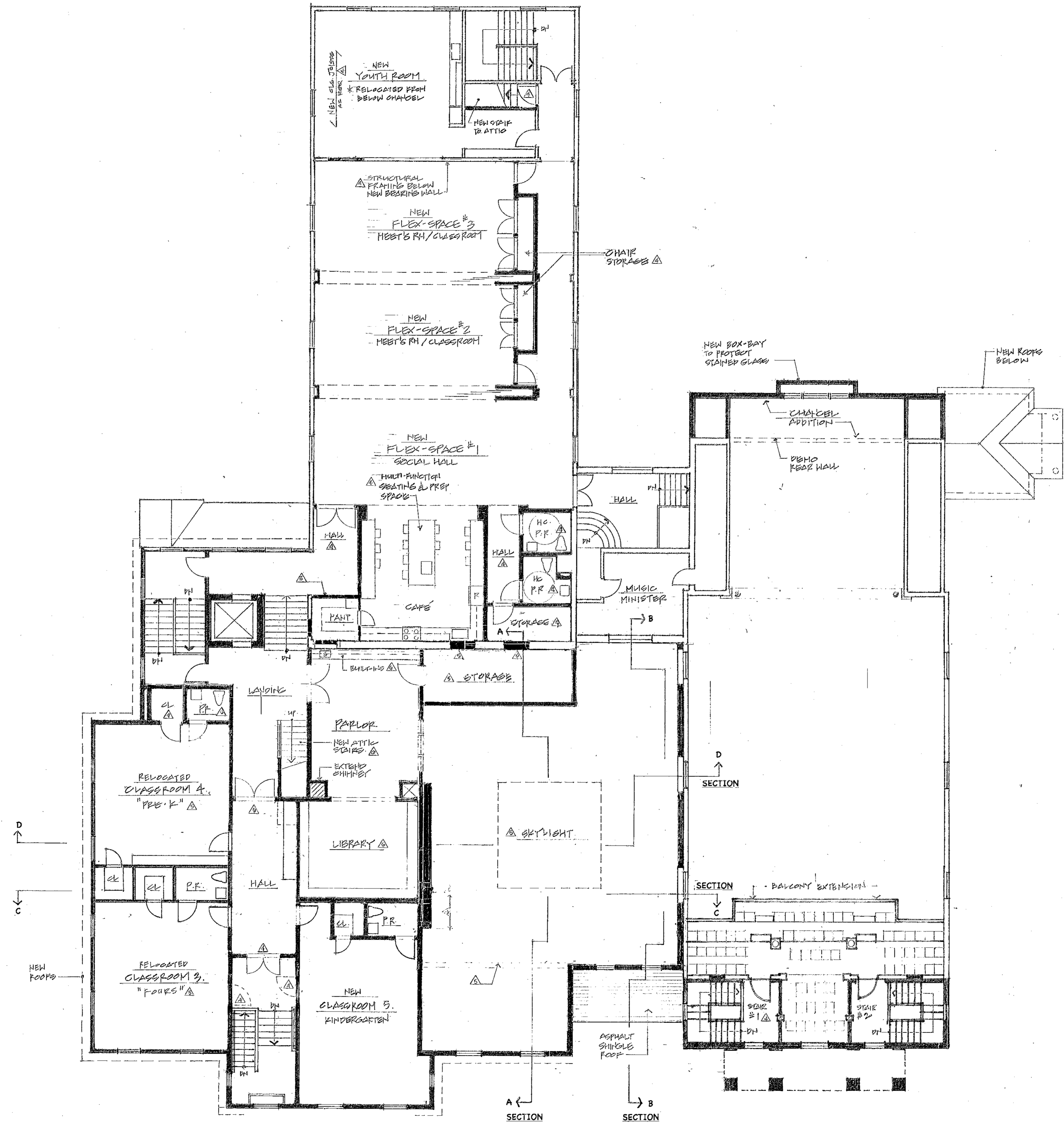
Drawing Scale
AS NOTED

Layout ID Status Revision
A1.1

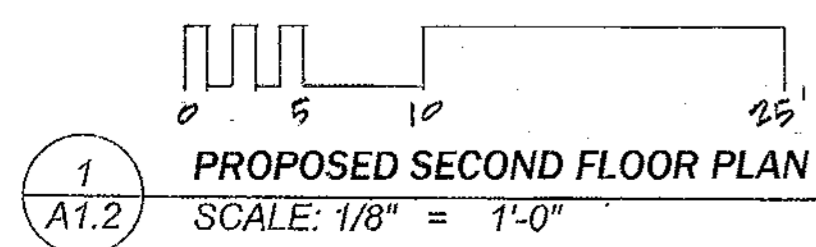
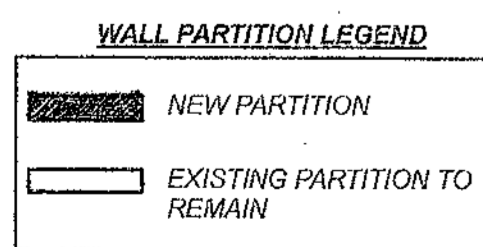
PRELIMINARY
 NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING

1 A1.1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



NORTH



PRELIMINARY
NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING

REVISION #6 5/4/2020
SEPARATED PARLOR & LIBRARY
ADDED BUILT-INS @ PARLOR, LIBRARY & SCHOOL HALLWAY
RELOCATED ATTIC STAIRS TO ELEVATOR LANDING
MOVED SCHOOL SECURITY DOORS
REVISED POWDER RM. @ "PRE-K"
EXTENDED FELLOWSHIP WALL BUILD-OUT TOWARD CHAIR STORAGE ROOM TO INCREASE SPACE FOR 1ST FL. FIREPLACE

REVISION #5 4/21/2020
ADDED TABLE STORAGE IN REAR OF FELLOWSHIP SPACE
ELIMINATED DROPPED HEADER & COLUMNS AT FELLOWSHIP ALCOVE
ORGANIZED FIREPLACE & SKYLIGHT IN CENTRAL PORTION OF FELLOWSHIP SPACE
INFILL 2ND FLOOR WINDOWS @ CAFÉ & STORAGE ROOM
RAISED PARLOR/LIBRARY FLOOR LEVEL FOR BETTER ACCESS FROM ELEVATOR
ADDED STORAGE ROOM FROM PARLOR/LIBRARY SPACE
REMOVED STAIRS & INCREASED PANTRY STORAGE @ CAFÉ
MODIFIED CLASSROOM DESIGNATIONS

REVISION #4 3/23/2020
REPLACED LU/LA ELEVATOR WITH ADDITIONAL EGRESS STAIRS
ADDED STAIR IN SECOND FLOOR STORAGE ROOM FOR HV/AC & SKYLIGHT ACCESS
MODIFIED EGRESS DOORS FROM NEW CLASSROOMS
MODIFIED ATTIC STAIR DOOR ADJACENT TO REAR FIRE STAIRS
REVISED SOCIAL HALL "FLEX-SPACES" TO PROVIDE ACCESSABLE WASHROOMS, CHAIR STORAGE AND REPROGRAMMED THE CAFÉ FOR BETTER YOUTH GROUP CULINARY TEACHING

REVISION-1/22/20
"NARTHES ADDITION & ENTRY PORTICO"
"FELLOWSHIP ENTRANCE"
"ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES"

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

REVISION #1 (10/19/19)
Nursery school- shift playspace to lower floor & relocate 3's & 4's to proposed new second floor

Job Title Alterations, Additions and Renovations to the
GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT, 06855
203-454-2444

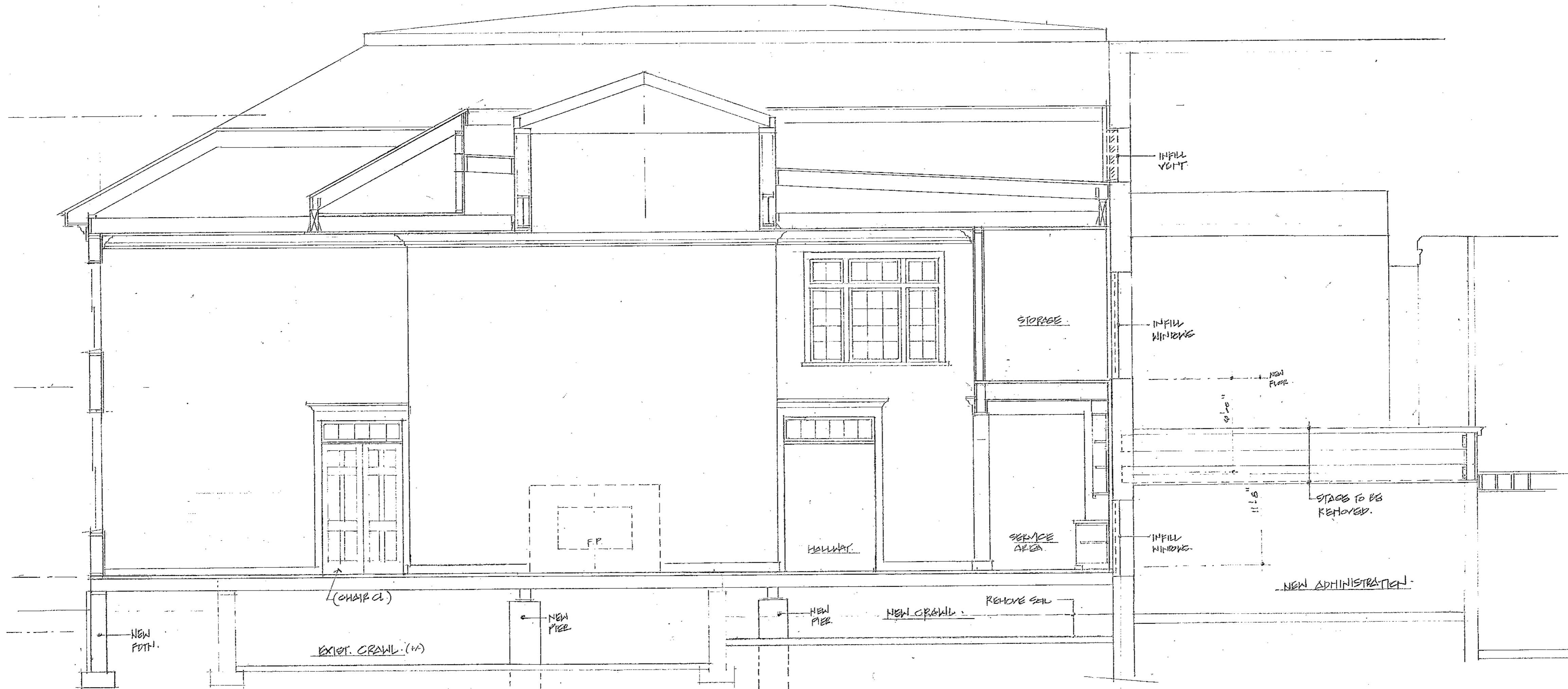
Drawing Name
PROPOSED SECOND FLOOR PLAN

Drawing Status

Drawn by
R.C.S. ISSUED 11/19/2019
FOR:
ZBA APPLICATION

Drawing Scale
AS NOTED

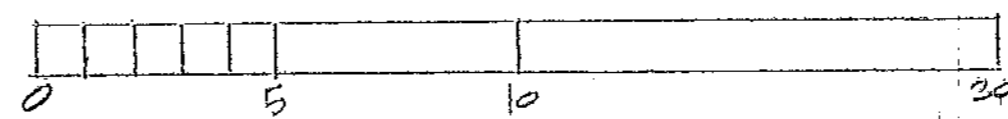
Layout ID
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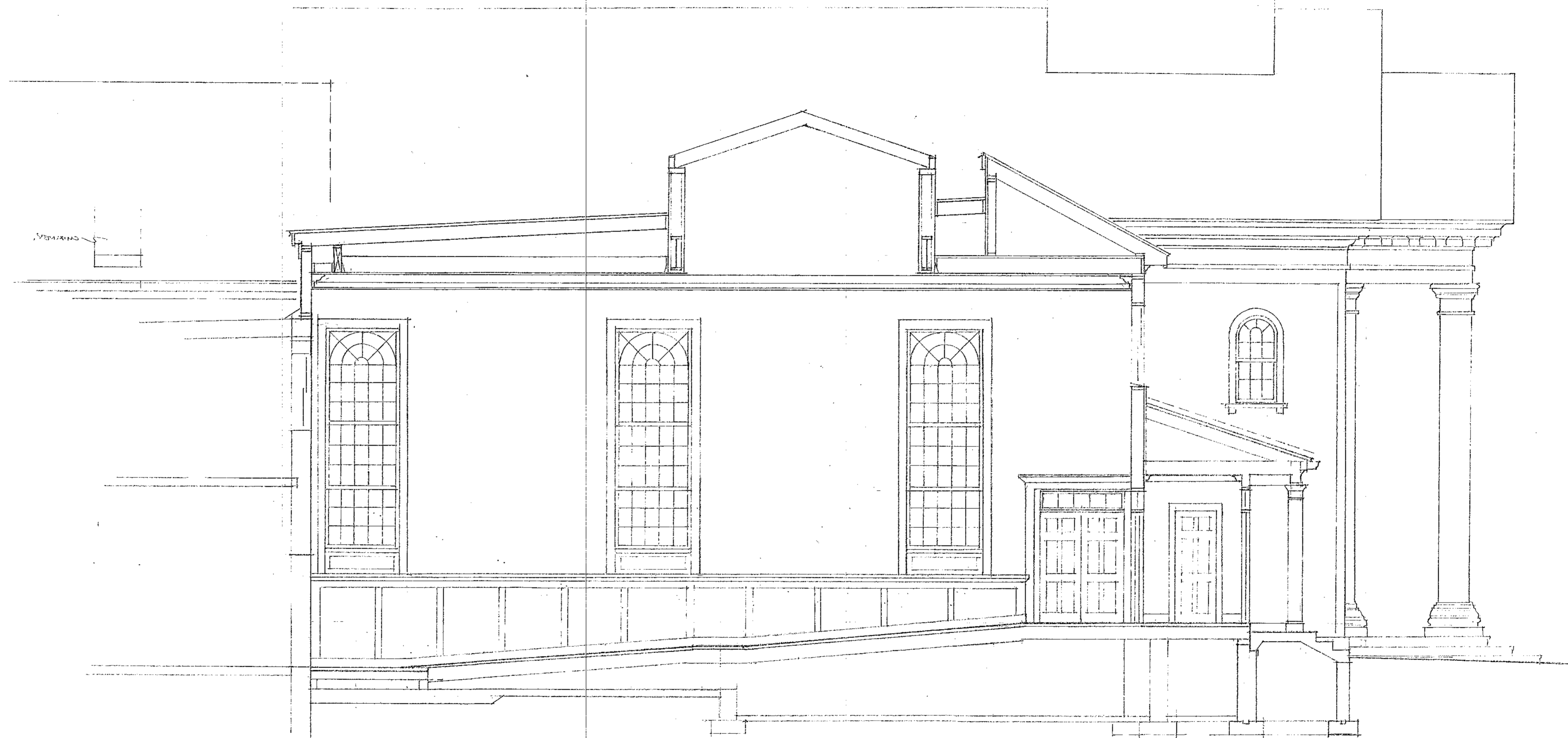


PRELIMINARY
NOT FOR CONSTRUCTION

4/21/2020

SECTION A
SCALE: 1/4" = 1'-0"



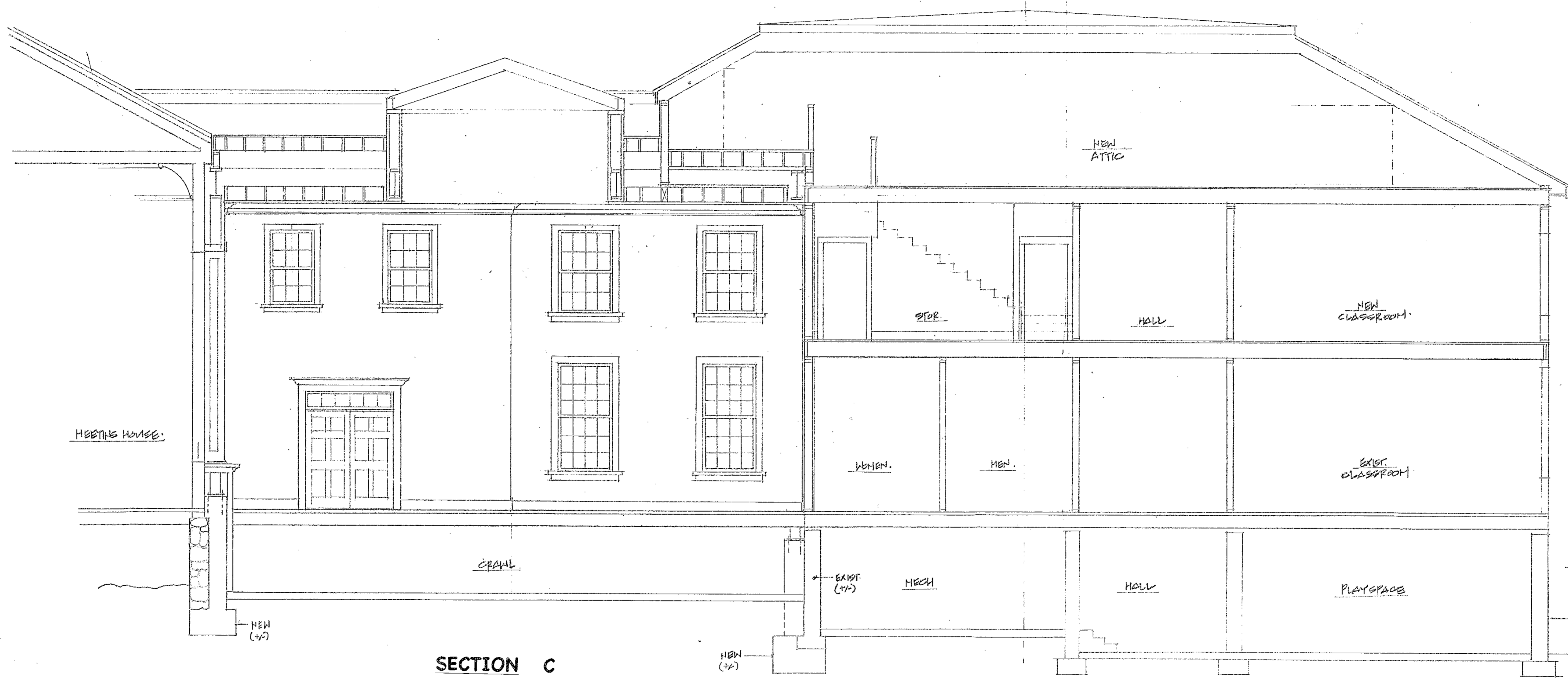


REMARKS

PRELIMINARY
NOT FOR CONSTRUCTION

4/21/2020

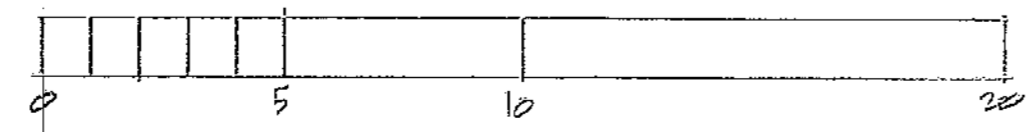
SECTION B
SCALE: 1/4" = 1'-0"

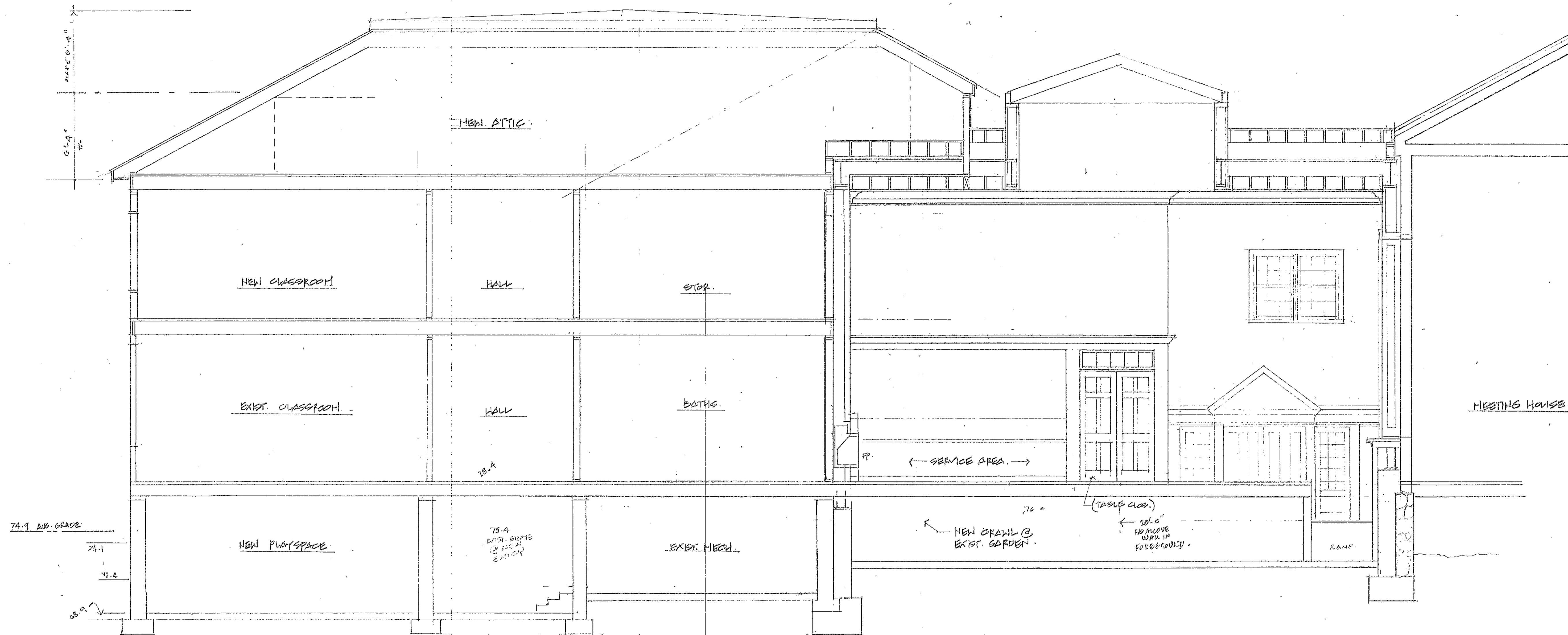


HEBENS HOUSE.

SECTION C
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION 4/21/2020





PRELIMINARY
NOT FOR CONSTRUCTION

4/21/2020

SECTION D

SCALE: 1/4" = 1'-0"





7'-8"
PORTICO
10'-8"
NARTHES
ADDITION
REV: 1/22/20

EXISTING NEW

CHANCEL ADDITION &
STAIRWELL
NEW BOX-BAY
FOR EXCHANGED GLASS
WINDOW



1
A2.2
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #4
3/23/2020
NO MODIFICATIONS

REVISION-1/22/20
*NARTHES ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT
PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE,
STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO
REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:

GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED EAST ELEVATION

Drawing Status

Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

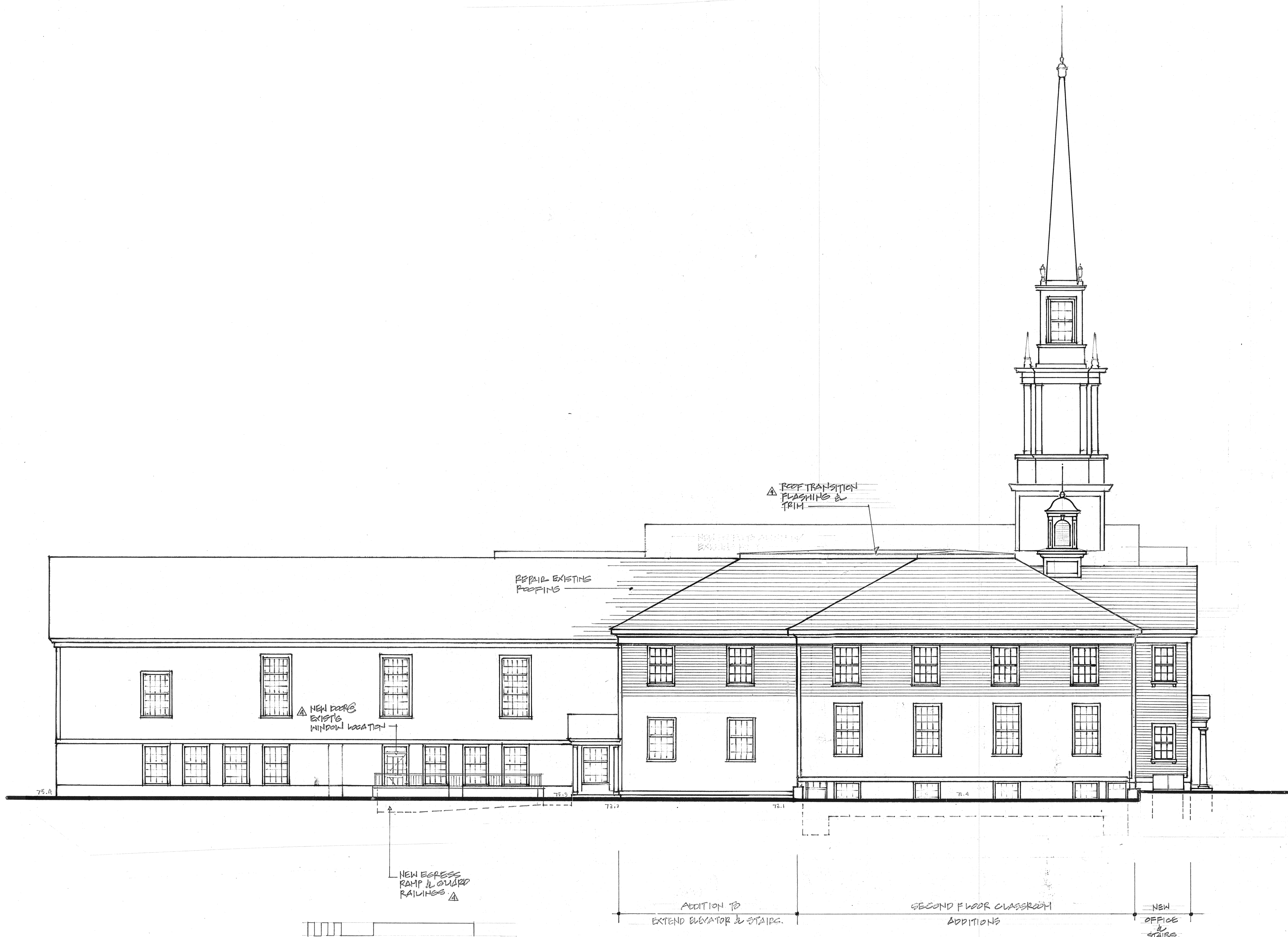
Drawing Scale AS NOTED

Layout ID Status Revision

A2.2

PRELIMINARY
NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING



1
A2.3
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #4
3/23/2020
MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM
SHOWING NEW EGRESS RAMP UP FROM DAY CARE "NAP-ROOM"

REVISION-1/22/20
"NARTHEX ADDITION & ENTRY PORTICO"
"FELLOWSHIP ENTRANCE"
"ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES"

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:
GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED WEST ELEVATION

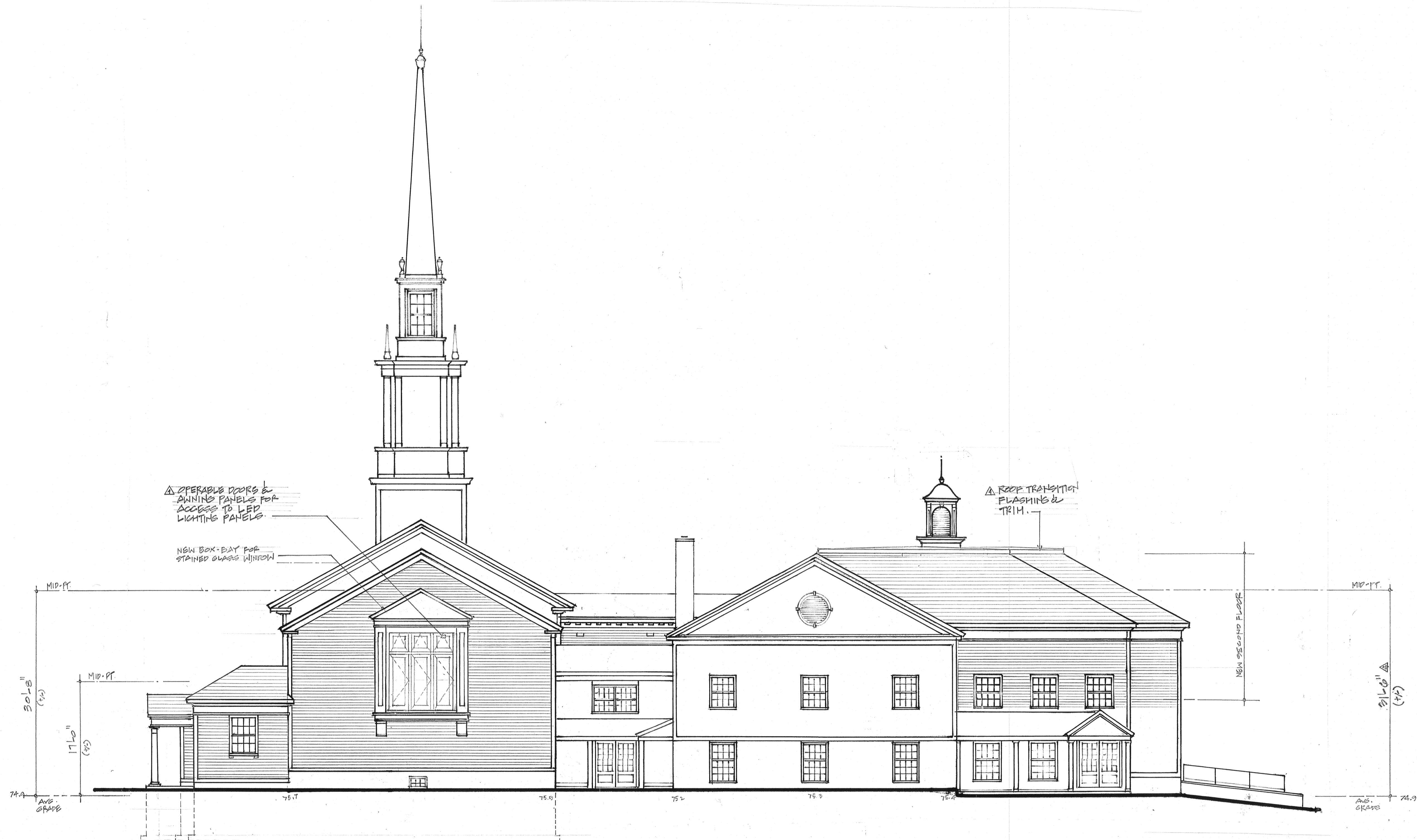
Drawing Status
Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

Drawing Scale AS NOTED

Layout ID A2.3 Status Revision

PRELIMINARY
NOT FOR CONSTRUCTION

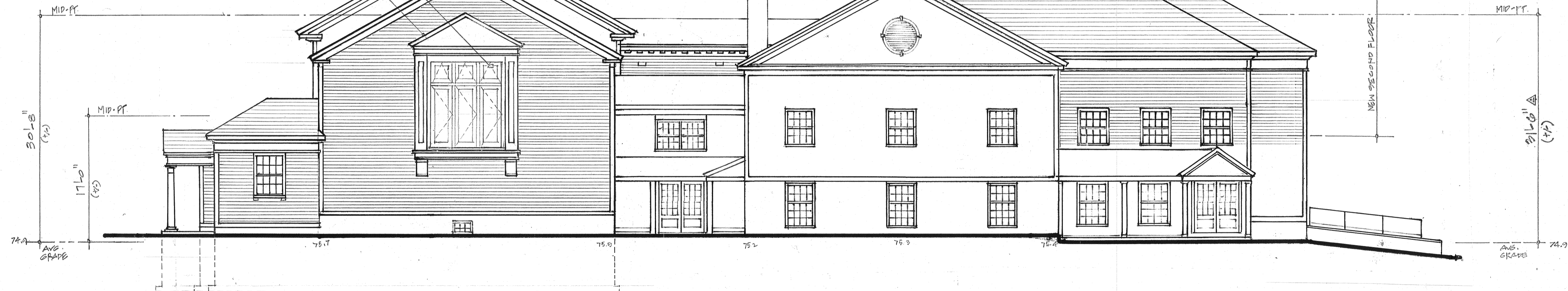
NOTE: DO NOT SCALE DRAWING



OPERABLE DOORS & AWNING PANELS FOR ACCESS TO LED LIGHTING PANELS

NEW BOX-BAY FOR STAINED GLASS WINDOW

ROOF TRANSITION FLASHING & TRIM



ENTRY STAIRWELL CHANCEL & BAY WINDOW EXPANSION

1
A2.4
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION #4
3/23/2020
MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM
PROVIDED ACCESS DOORS & AWNING PANELS AT CANTILEVERED BOX-BAY

REVISION-1/22/20
*NARTHES ADDITION & ENTRY PORTICO
*FELLOWSHIP ENTRANCE
*ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:

GREEN'S FARMS CHURCH
71 HILLDALE ROAD
WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
5 CALF PASTURE BEACH ROAD
NORWALK, CT. 06855
203-454-2444

Drawing Name
PROPOSED NORTH ELEVATION

Drawing Status

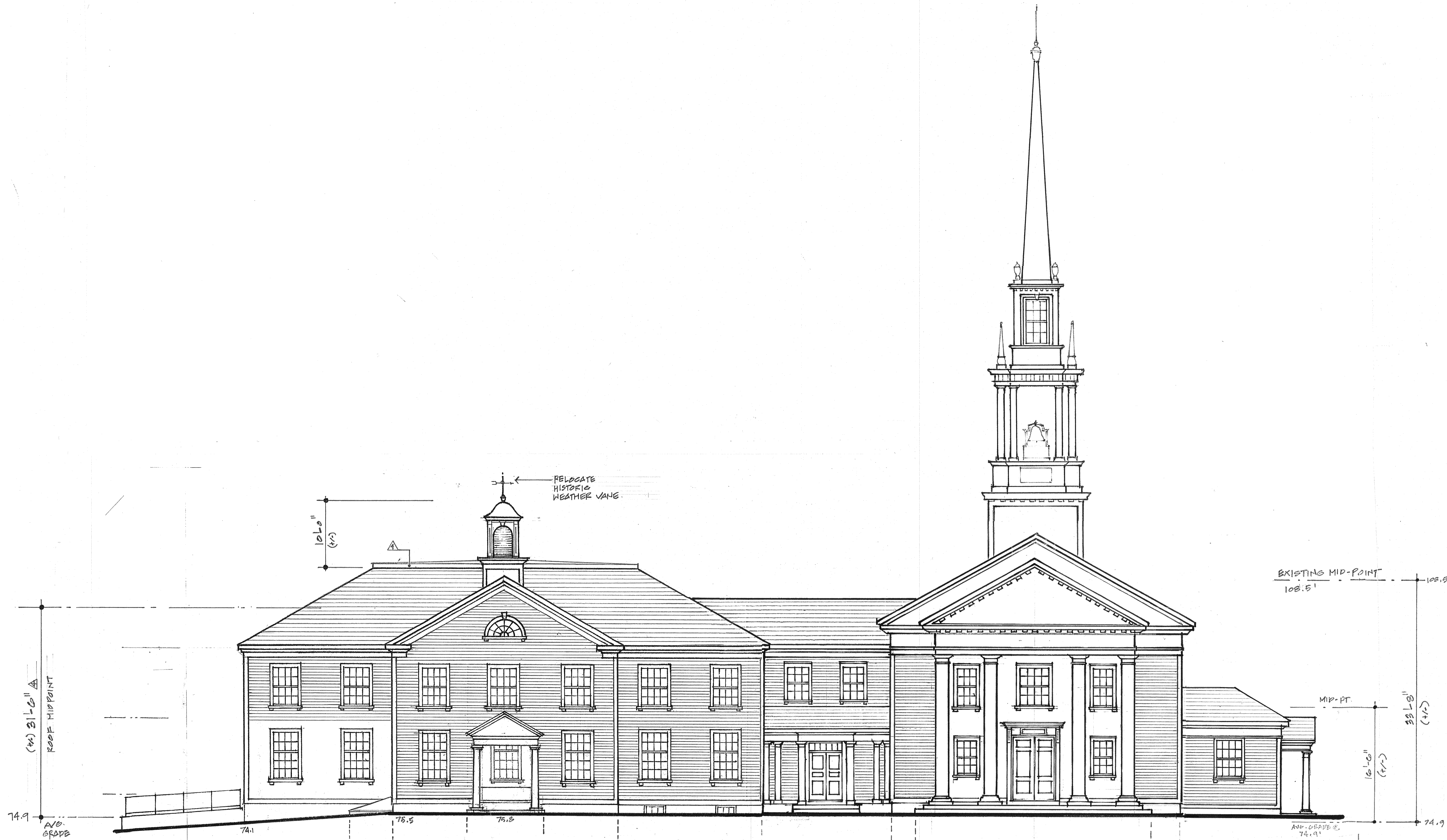
Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

Drawing Scale AS NOTED

Layout ID A2.4 Status Revision

PRELIMINARY
NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING



SECOND FLOOR ADDITION FOR NEW CLASSROOMS
 TWO STORY ADDITION NEW STAIRS · SCHOOL OFFICE · CLASSROOM
 ADDITION & ALTERATION NEW 2 STORY FELLOWSHIP RT.
 FELLOWSHIP ENTRY REV: 1/22/20
 NARTHES ADDITION & ENTRY PORTICO REV: 1/22/20
 NEW STAIRWELL & ENTRY PORTICO

1
 A2.1
 PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

REVISION #4
 3/23/2020
 MODIFIED NEW SCHOOL ROOF MIDPOINT TO ACCOMMODATE HIP-EDGE TRANSITION FLASHING & TRIM

REVISION-1/22/20
 *NARTHES ADDITION & ENTRY PORTICO
 *FELLOWSHIP ENTRANCE
 *ELEVATIONS SOUTH & EAST REFLECT PLAN CHANGES

REVISION-12/10/19
 FLOOR PLANS - FELLOWSHIP, SCHOOL OFFICE, STAIRWAY & ENTRY VESTIBULE
 ELEVATIONS - SOUTH, WEST & NORTH TO REFLECT PLAN CHANGES

Job Title Alterations, Additions and Renovations to the:
GREEN'S FARMS CHURCH
 71 HILLDALE ROAD
 WESTPORT, CT 06880

STEVE ORBAN, ARCHITECT
 5 CALF PASTURE BEACH ROAD
 NORWALK, CT. 06855
 203-454-2444

Drawing Name
PROPOSED SOUTH ELEVATION

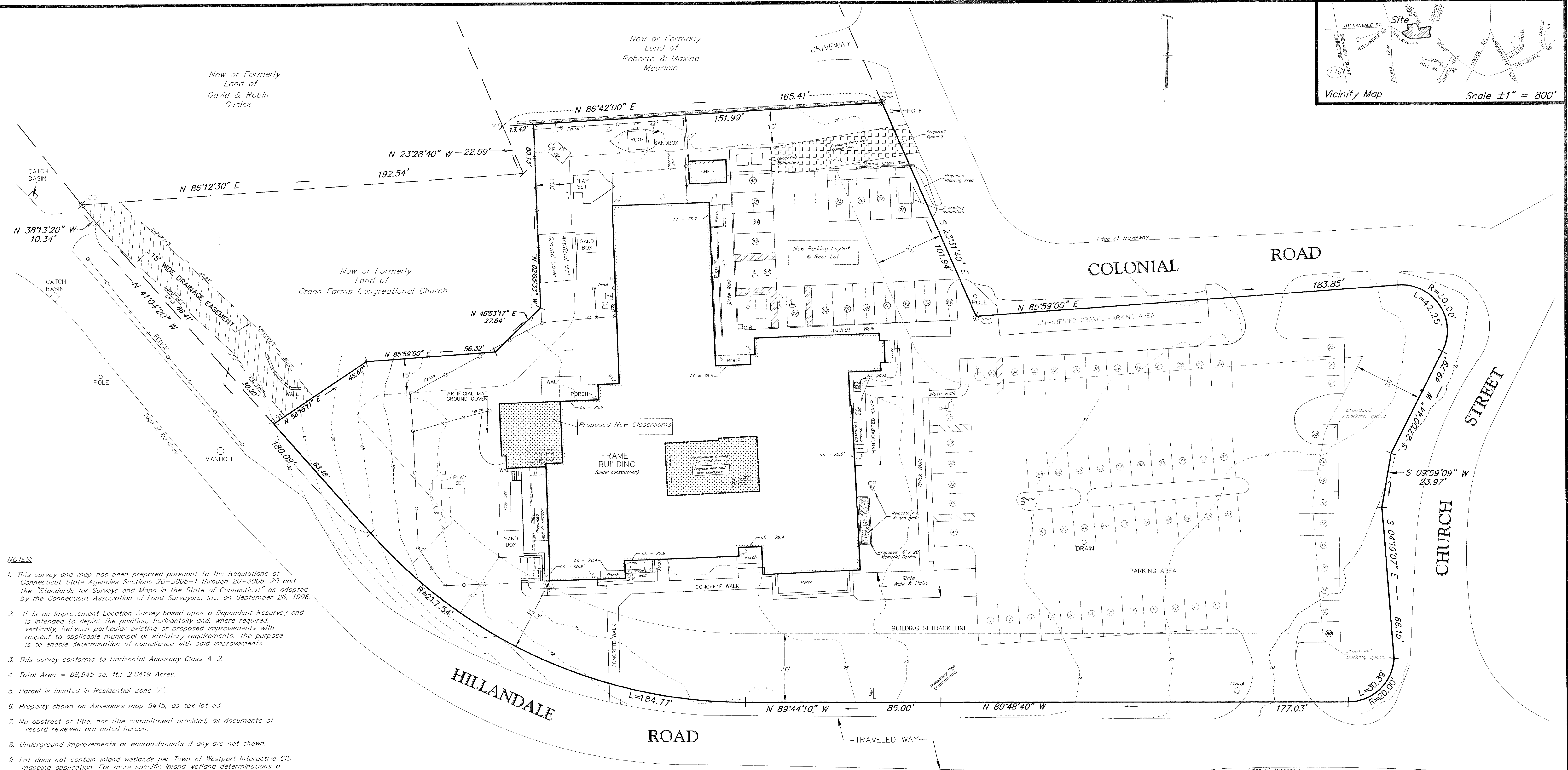
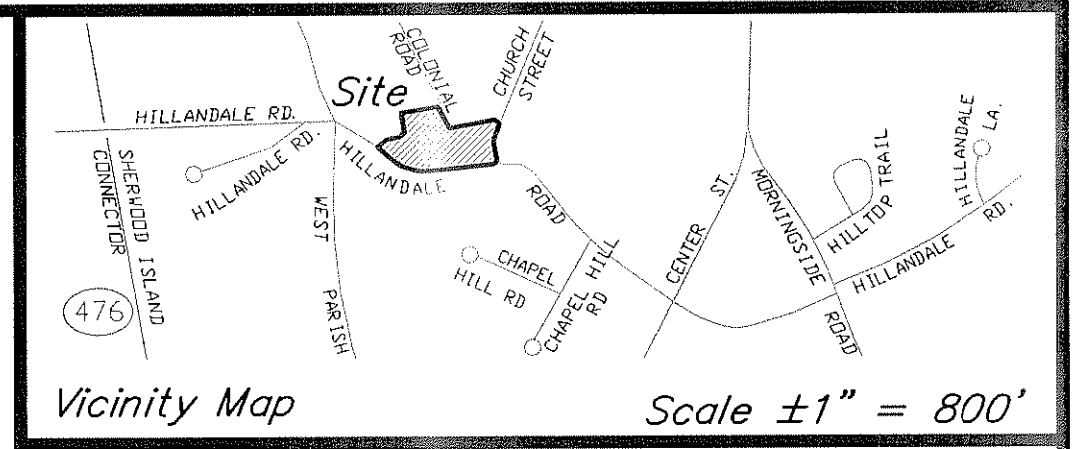
Drawing Status
 Drawn by R.C.S. Date ISSUED 11/19/2019 FOR: ZBA APPLICATION

Drawing Scale
AS NOTED

Layout ID Status Revision
A2.1

PRELIMINARY
 NOT FOR CONSTRUCTION

NOTE: DO NOT SCALE DRAWING



- NOTES:**
- This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
 - This survey conforms to Horizontal Accuracy Class A-2.
 - Total Area = 88,945 sq. ft.; 2.0419 Acres.
 - Parcel is located in Residential Zone 'A'.
 - Property shown on Assessors map 5445, as tax lot 63.
 - No abstract of title, nor title commitment provided, all documents of record reviewed are noted hereon.
 - Underground improvements or encroachments if any are not shown.
 - Lot does not contain inland wetlands per Town of Westport Interactive GIS mapping application. For more specific inland wetland determinations a licensed Soil Scientist should be consulted.
 - Property located in flood zone 'X' as per National Flood Insurance Program, Flood Insurance Rate Map, for the Town of Westport CT, Community No. 09001C Panel No. 414, suffix G, Map effective date 8 July 2019.
 - Property is located within the C.A.M. Boundary as per Town of Westport Planning and Zoning Map.
 - Contour interval is 2 ft., Datum is approximate NAVD 1988.
 - The word 'certify' is understood to be an expression of professional opinion by the Land Surveyor which is based on his or her best knowledge, information and belief and as such it constitutes neither a guarantee or warranty.
 - Building dimensions shown are for coverage purposes only and are not to be used for construction.
 - Proposed Improvements per site and floor plans provided by Steve Urban Architect.
 - Map References:
 - Property shown on a certain map entitled, "Map Showing Existing Conditions Prepared For Green Farms Congregational Church" Westport Land Records Map No. 9815 Scale 1" = 20', 21 Aug. 2006 By Charles L. Leonard L.S.
 - Survey Prepared for Congregational Society of Green Farms" Westport Land Records Map No. 4439 Scale 1" = 40' June 1957 By Charles Lyman L.S.
 - "Drainage Easement Map Prepared for the Green Farms Congregational Church" On file in the Office of the Westport Town Clerk Scale 1" = 20' 12 March 2001

Coverage Calculation
(As described in the Westport Planning & Zoning Regulations)

Lot: 71 Hillandale Road
Westport, CT

Ag (Total Site Area) = 88,945 sq. ft.
 Exclusive Surface Easement Area = 0 sq. ft.
 At (Ag - Easement) = 88,945 sq. ft.
 W (Wetlands) = 0 sq. ft.
 S (Slopes > 25%) = 0 sq. ft.
 An (At - (W + S)) = 88,945 sq. ft.
 Abc (An + 0.2(W + S)) = 88,945 sq. ft.

The base lot area to be used for the computation of the Maximum allowable coverage = 88,945 sq. ft.

Maximum Allowable Lot Coverage = 88,945 sq. ft. x 25% = 22,236 sq. ft.
 Maximum Allowable Lot Coverage = 22,236 sq. ft.

Maximum Allowable Building Coverage = 88,945 sq. ft. x 15% = 13,341 sq. ft.
 Maximum Allowable Building Coverage = 13,341 sq. ft.

Existing Parking & Driveway Area = 28,499 sq. ft.
 Existing Building Area = 14,604 sq. ft. = 16.42%
 Existing Lot Coverage = 43,103 sq. ft. = 48.46%

Proposed Parking & Driveway Area = 30,058 sq. ft.
 Proposed Building Area = 17,095 sq. ft. = 19.22%
 Proposed Lot Coverage = 47,153 sq. ft. = 53.01%

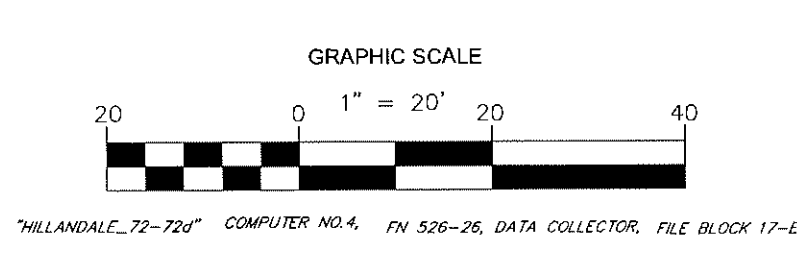
Average Grade Calculation:

1) 74.1
2) 69.1
3) 71.4
4) 73.4
5) 73.7
6) 73.3
7) 75.5
8) 74.6
9) 75.1
10) 75.4
11) 75.3
12) 75.5
13) 75.7
14) 75.5
15) 75.7
16) 76.4
17) 76.7
18) 76.9
19) 76.6
20) 76.3
21) 75.8
22) 75.5

Total = 1647.5'
 Number of Spots = 22
 Average Grade = 74.9'

Roof Heights:

- Average Grade = 74.9' A.M.S.L.
- Elevation Of Peak = 114.4' A.M.S.L.
- Elevation Of Eave = 102.6' A.M.S.L.
- Elevation Of Midpoint = 108.5' A.M.S.L.
- Height of Midpoint = 33.6'



LEONARD SURVEYORS LLC
 830 POST ROAD EAST
 WESTPORT, CONNECTICUT 06880
 PHONE: (203) 226-7861
 FAX: (203) 454-1832

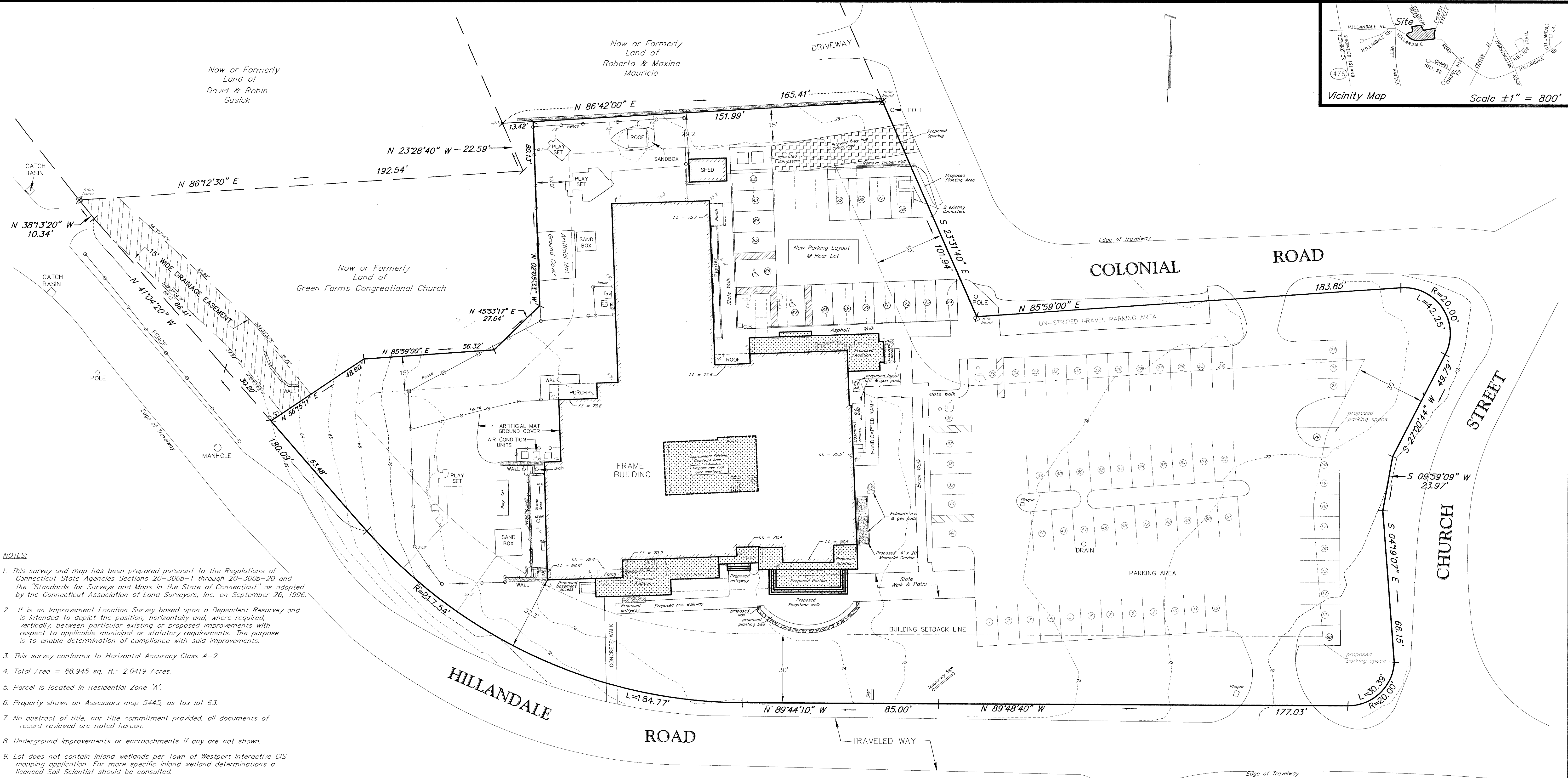
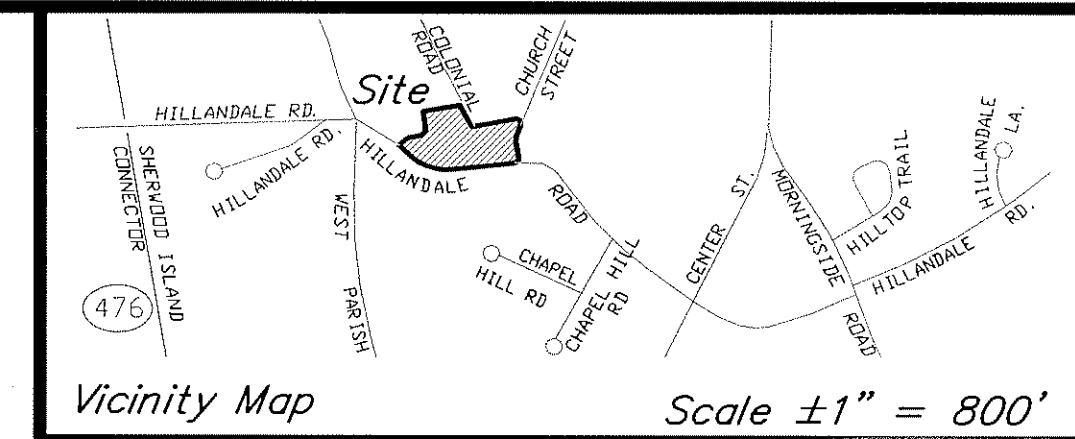
REVISION TABLE	
DATE	DESCRIPTION
12-21-19	architect revisions
12-22-19	revised notation
12-22-19	revise proposed addition
3-12-21	revise proposed addition
4-8-21	revise proposed addition



PROPOSED IMPROVEMENT PLAN
 PREPARED FOR
CONGREGATIONAL CHURCH OF GREENS FARMS
 71 HILLANDALE ROAD
 WESTPORT ~ CONNECTICUT
 SCALE 1" = 20' ~ 28 NOVEMBER 2019

LEONARD SURVEYORS LLC
 "CERTIFIED SUBSTANTIALLY CORRECT"
 CLASS A-2 ACCURACY

Charles Leonard
 CHARLES L. LEONARD IV, P.E. & L.S., CONN. REG. No. 20866



- NOTES:**
- This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
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 - Underground improvements or encroachments if any are not shown.
 - Lot does not contain inland wetlands per Town of Westport Interactive GIS mapping application. For more specific inland wetland determinations a licensed Soil Scientist should be consulted.
 - Property located in flood zone 'X' as per National Flood Insurance Program, Flood Insurance Rate Map, for the Town of Westport CT, Community No. 09001C Panel No. 414, suffix G. Map effective date 8 July 2019.
 - Property is located within the C.A.M. Boundary as per Town of Westport Planning and Zoning Map.
 - Contour interval is 2 ft., Datum is approximate NAVD 1988.
 - The word 'certify' is understood to be an expression of professional opinion by the Land Surveyor which is based on his or her best knowledge, information and belief and as such it constitutes neither a guarantee or warranty.
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 - Proposed Improvements per site and floor plans provided by Steve Orban Architect.
 - Map References:
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(As described in the Westport Planning & Zoning Regulations)

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 Abc (An + 0.2(W + S)) = 88,945 sq. ft.

The base lot area to be used for the computation of the Maximum allowable coverage = 88,945 sq. ft.

Maximum Allowable Lot Coverage = 88,945 sq. ft. x 25% = 22,236 sq. ft.
 Maximum Allowable Building Coverage = 88,945 sq. ft. x 15% = 13,341 sq. ft.

Existing Parking & Driveway Area = 28,499 sq. ft.
 Existing Building Area = 14,604 sq. ft. = 16.42%
 Existing Lot Coverage = 43,103 sq. ft. = 48.46%

Proposed Parking & Driveway Area = 29,950 sq. ft.
 Proposed Building Area = 17,203 sq. ft. = 19.22%
 Proposed Lot Coverage = 47,153 sq. ft. = 53.01%

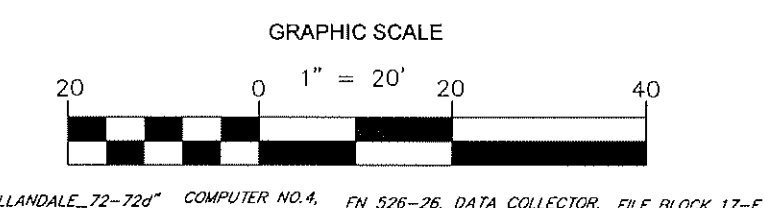
Average Grade Calculation:

1) 74.1
2) 69.1
3) 71.4
4) 73.4
5) 73.7
6) 73.3
7) 75.5
8) 74.6
9) 75.1
10) 75.4
11) 75.3
12) 75.5
13) 75.7
14) 75.5
15) 75.7
16) 76.4
17) 76.7
18) 76.9
19) 76.6
20) 76.3
21) 75.8
22) 75.5

Total = 1647.5'
 Number of Spots = 22
 Average Grade = 74.9'

Roof Heights:

- Average Grade = 74.9' A.M.S.L.
- Elevation Of Peak = 114.4' A.M.S.L.
- Elevation Of Eave = 102.6' A.M.S.L.
- Elevation of Midpoint = 108.5' A.M.S.L.
- Height of Midpoint = 33.6'



LEONARD SURVEYORS LLC
 830 POST ROAD EAST
 WESTPORT, CONNECTICUT 06880
 PHONE: (203) 226-7861
 FAX: (203) 454-1832

REVISION TABLE	
DATE	DESCRIPTION
12-21-19	architect revisions
12-22-19	revised notation
1-22-2020	architect revisions

PROPOSED IMPROVEMENT PLAN
 PREPARED FOR
CONGREGATIONAL CHURCH OF GREENS FARMS
 71 HILLANDALE ROAD
 WESTPORT ~ CONNECTICUT
 SCALE 1" = 20' ~ 28 NOVEMBER 2019

LEONARD SURVEYORS LLC
 "CERTIFIED SUBSTANTIALLY CORRECT"
 CLASS A-2 ACCURACY

Charles Leonard
 CHARLES L. LEONARD IV, P.E. & L.S., CONN. REG. No. 20866

ARCHITECTURAL REVIEW BOARD APPLICATION REVIEW AND RECOMMENDATION

ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

- COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS**
- SPECIAL PERMIT USE**
- SIGNAGE**

Submission Date: 04-08-2021

1. Property Address 1076 Post Road East
(As listed in the Assessor's records)
2. Property PID# F09/ / 050/000 / Zoning District: HSD
3. Owner's Name: Post Plaza LLC Daytime Tel #: 1 (917) 208-1111
Owner's Address: 2009 Summer St, Stamford CT 06903 E-mail: alixfield@yahoo.com
4. Agent's Name *(if different)*: Frederick William Hoag Architect LLC Daytime Tel #: 203-557-0803
Agent's Address: 57 Wilton Road Westport CT 06880 E-mail: christina@fwharch.com
5. Zoning Board of Appeals Case # *(if any)* NA
6. Existing Uses of property: Retail & Restaurant
7. Reason for this Request: Owner is updating building facade in preparation for new tenant

RICK HOAG
Applicant's Signature *(If different than owner)*

[Handwritten Signature]
Owner's Signature *(If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.)*

Architectural Review Board Recommendation:

Chair's Signature: _____ Date: _____

1076 POST ROAD E

WESTPORT CT 06880
RENOVATION

PROJECT DATA

PARCEL ID: F09/050/000 ZONE: HSD LOT AREA: 4.7820 ACRES AYB: 1973



VICINITY MAP



PROJECT TEAM

ARCHITECT:
FREDERICK WILLIAM HOAG ARCHITECT
57 WILTON ROAD, 2ND FLOOR
WESTPORT CT 06880
OFFICE PHONE: 203.557.0803
CONTACT: FREDERICK HOAG
RICK@FWHARCH.COM

OWNER:
POST PLAZA LLC
2009 SUMMER STREET
STAMFORD, CT 06903
CONTACT: ALIX FIELD, THE FIELD GROUP
PH: 203-359-0000
ALIXFIELD@YAHOO.COM

CIVIL:

STRUCTURAL:

MECHANICAL:

FOOD SERVICE:

SHEET INDEX

SCHEMATIC DESIGN

COVER SHEET, GENERAL NOTES & REGULATIONS

001 COVER SHEET

CIVIL

C01 SITE SURVEY

EXISTING CONDITIONS & DEMO

SD100 EXISTING | FIRST FLOOR / ROOF PLAN
SD101 DEMO | FIRST FLOOR / ROOF PLAN
SD102 WEST ELEVATION | EXISTING & DEMO
SD103 SOUTH ELEVATION | EXISTING & DEMO
SD104 NORTH ELEVATION | EXISTING & DEMO
SD105 EAST ELEVATION | EXISTING & DEMO
SD106 3D VIEWS | EXISTING
SD107 3D VIEWS | EXISTING
SD108 3D VIEWS | EXISTING

PLANS

SD201 FIRST FLOOR PLAN

ELEVATIONS

SD401 WEST ELEVATION | PROPOSED
SD401-1 WEST ELEVATION | PROPOSED
SD402 SOUTH ELEVATION | PROPOSED
SD403 NORTH ELEVATION | PROPOSED
SD404 EAST ELEVATION | PROPOSED
SD405 3D VIEWS | PROPOSED
SD406 3D VIEWS | PROPOSED
SD407 3D VIEWS | PROPOSED
SD408 3D VIEWS | PROPOSED
SD409 3D VIEWS | PROPOSED

ARCHITECTURAL DETAILS

SD900 CANOPY DETAILS

———— LIST OF REVISIONS / ISSUES ————



———— N.T.S. ————

#	DESCRIPTION	DATE

Project # 200428
Project Name:
**1076 POST ROAD E
WESTPORT, CT 06880**

SHEET TITLE:
COVER SHEET

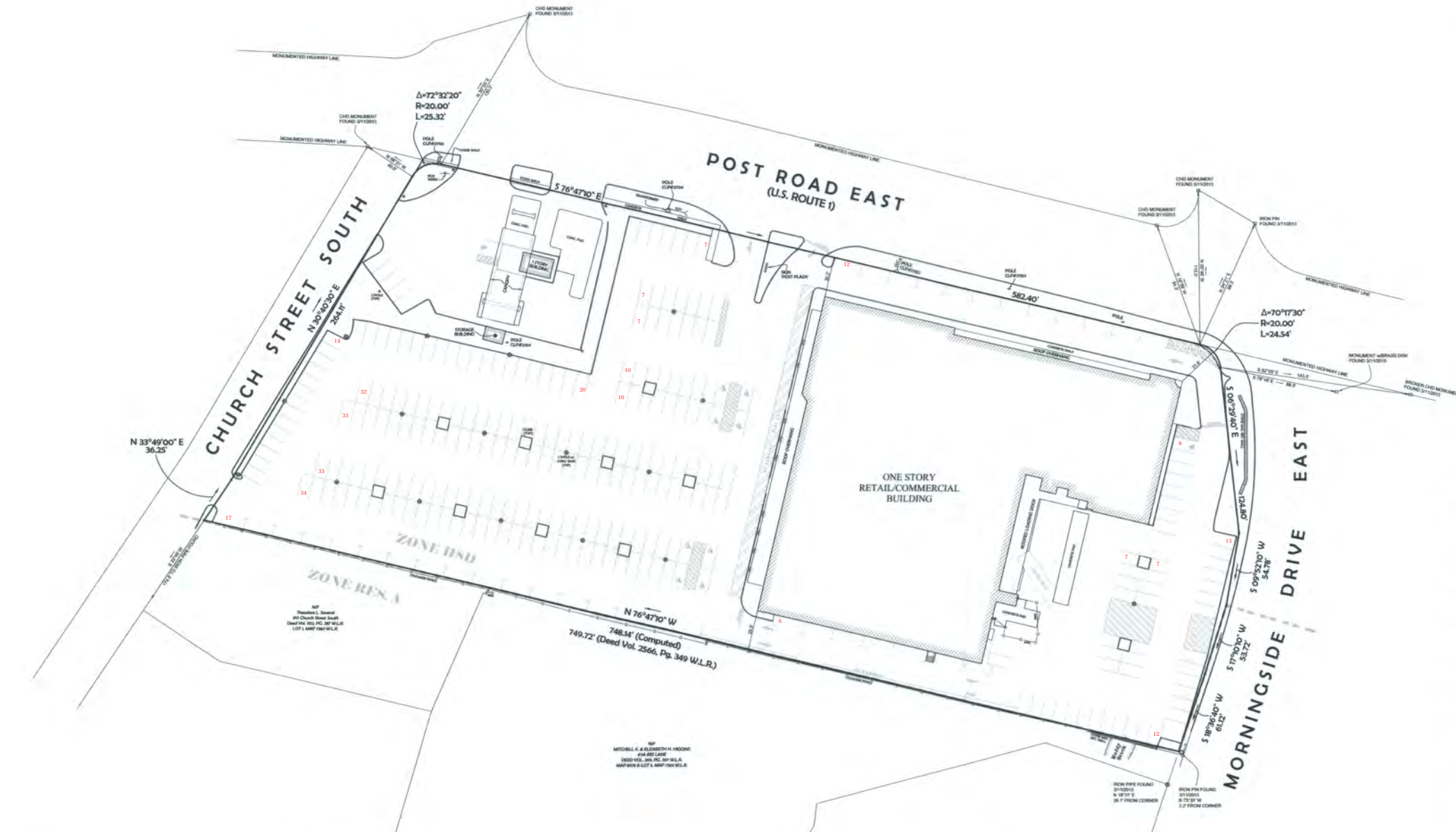
001

FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA--BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**

PARCEL ID F09 050 000
 ZONING DATA (ZONE: HSD)
 LOT AREA = 4.7820 ACRES



- NOTES:**
- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2. The intent of this map is to depict improvements and demonstrate lot area.
 - Reference is made deed of record found in Vol. 2566, Pg. 349 of the Westport Land Records.
 - Reference is made to the following Maps on file with the Westport Land Records: 718, 8378, 7347, 5827, 4961, 3994, 3379, 2306, & 1805.
 - Reference is made to Map titled "Connecticut State Highway Department Right of Way Map, Town of Westport - Boston Post Road From the Fairfield Town Line Westerly About 9,200 Feet, Route U.S. 1", Dated Sept. 30, 1929 (Revised Oct. 30, 1970), Scale 1"=40', Number 527, Sheet No. 4 of 4.
 - Reference is made to FEMA Flood Insurance Rate Map Panel No. 414 of 626, Map No. 09000C0494F, Effective Date of June 18, 2010. A portion of the subject parcel lies within a Special Flood Hazard Area Zone AE (BFE 27) and Floodway Area within Zone AE (BFE 27).
 - Subject Parcel lies within Zone Districts HSD & A.
 - Reference is made to map titled "Property Survey Depicting Post Plaza 1076 Post Road East Westport, Connecticut Prepared for Post Plaza LLC, dated 03/28/2013, prepared by Redniss & Mead.
 - Surface utilities not depicted hereon.

ZONING DATA (ZONE: HSD)		
MIN. LOT REQUIREMENTS		EXISTING
AREA	1/2 ACRE	4.7820 ACRES
LOT SHAPE	100' SQUARE	>100' SQUARE
SETBACK REQUIREMENTS		
FRONT YARD	30'	29.7'
SIDE YARD	15'	n/a
REAR YARD	25'	29.5'
MAX. BUILDING REQUIREMENTS		
BUILDING COVERAGE	25%	27.7%
BLDG. HEIGHT	2 STORIES / 25-30'	1 STORY
BUILDING SIZE	10,000 SQ. FT.	>10,000 SQ. FT.
F.A.R.	0.25	0.24

THIS IS AN ORIGINAL MYLAR PRODUCED FOR FILING ON THE LAND RECORDS Redniss & Mead

This plan is neither a subdivision nor a resubdivision, as defined by the General Statutes of Connecticut and the Town of Westport and may be recorded without prior approval of the Westport Planning and Zoning Commission.

This stamp allows this map to be filed in the Westport Land Records. The presence of this stamp is not an endorsement of the accuracy of the map by the Town of Westport, or any Board, Commission, Agency, or any official agent, or employee of the Town.

M. J. Hoag
 Planning and Zoning Director
 Date: 6/1/17

PROPERTY SURVEY
 DEPICTING
~POST PLAZA~
#1076 POST ROAD EAST
 WESTPORT, CONNECTICUT
 PREPARED FOR
POST PLAZA LLC

REDNISS & MEAD
 LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

23 Pine Street | Stamford, CT 06905
 Tel: 203.327.0900 | Fax: 203.357.1118
 www.rednissandmead.com

Scale: 1"=100'

Drawn By: CJV | Checked By: LWP | Date: 04/28/2017

To my knowledge and belief the map is substantially correct as shown hereon.

Lawrence W. Posnick, Jr.
 LAWRENCE W. POSNICK, JR., CT. L.S. #18130
 4/28/2017
 DATE

This document and copies thereof are valid only if they bear the signature and professional seal of the designated licensed professional. Unlicensed alterations render any declaration herein null & void.

Sheet No: **PS**
 Curran No: 7714

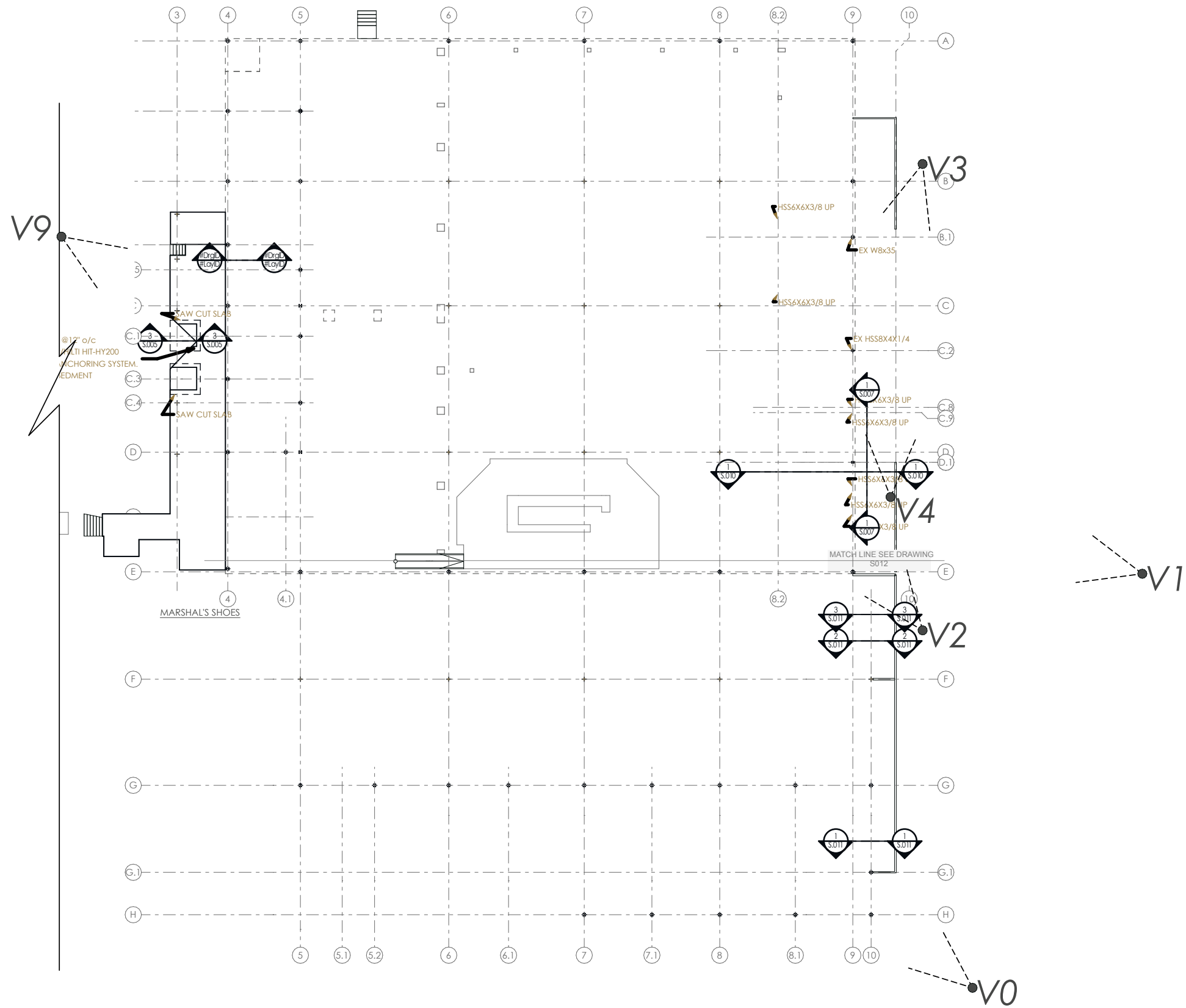
Filed Map No. 10334 Westport Land Records 2017-06-08

LEGEND	
APPROVALS	R XX/XX/201X
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DESCRIPTION	DATE
DATE OF ISSUE	4/14/21

Project # 200428
 Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

FREDERICK WILLIAM HOAG
 ARCHITECT

57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P.203.557.0803



1 ELEVATION KEY PLAN | PARTIAL FIRST FLOOR EXISTING
 SCALE: 1/32" = 1'-0"

LEGEND

	EXISTING
	NEW CONSTRUCTION

APPROVALS	R	XX/XX/201X
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DATE OF ISSUE		4/14/21

Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880

SHEET TITLE:

EXISTING | FIRST FLOOR/ ROOF PLAN

SD100

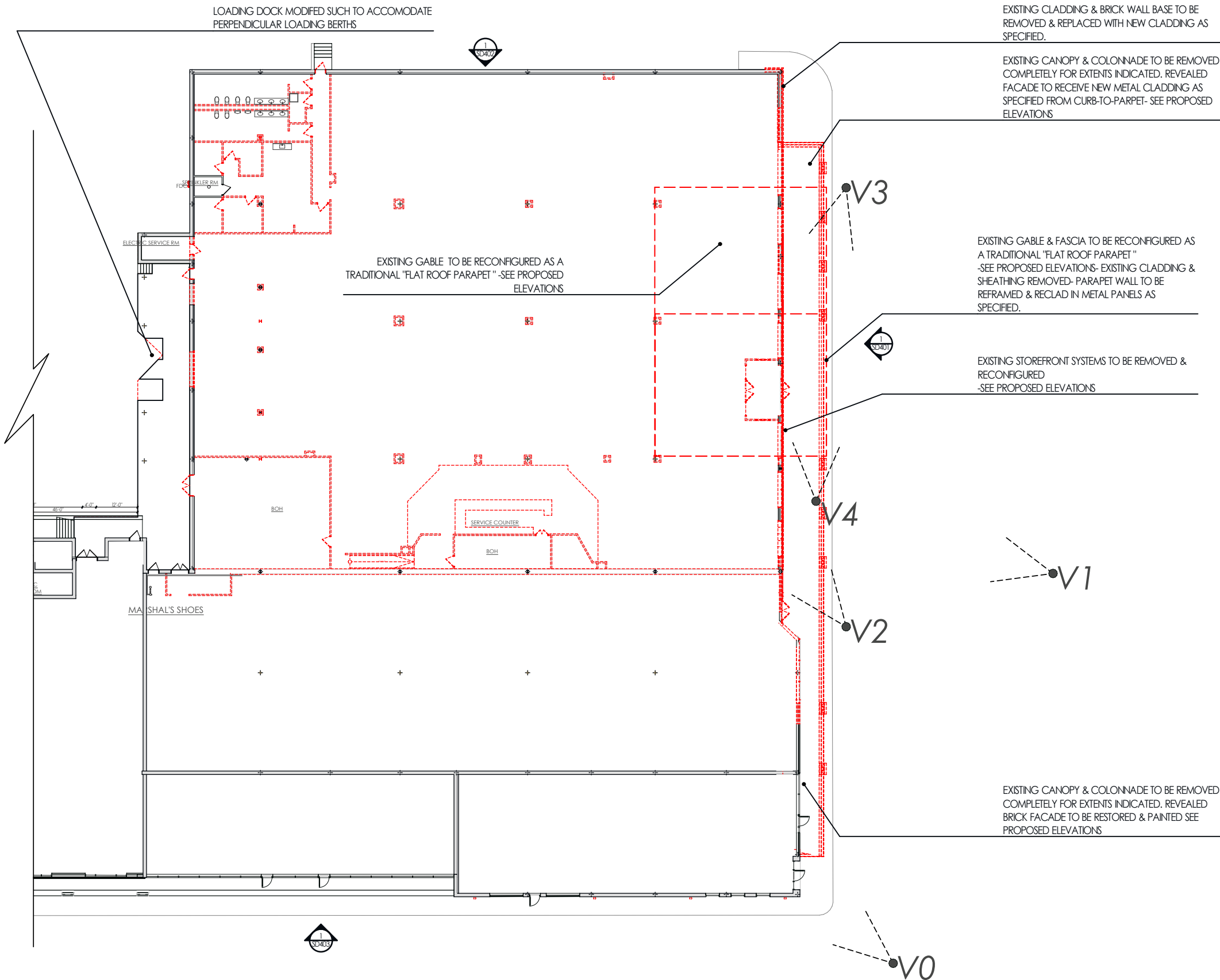


FREDERICK WILLIAM HOAG
 ARCHITECT

57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

drawing to-scale when printed as formatted to 11X17



LOADING DOCK MODIFIED SUCH TO ACCOMMODATE PERPENDICULAR LOADING BERTHS

EXISTING CLADDING & BRICK WALL BASE TO BE REMOVED & REPLACED WITH NEW CLADDING AS SPECIFIED.

EXISTING CANOPY & COLONNADE TO BE REMOVED COMPLETELY FOR EXTENTS INDICATED. REVEALED FACADE TO RECEIVE NEW METAL CLADDING AS SPECIFIED FROM CURB-TO-PARPET- SEE PROPOSED ELEVATIONS

EXISTING GABLE TO BE RECONFIGURED AS A TRADITIONAL "FLAT ROOF PARAPET" -SEE PROPOSED ELEVATIONS

EXISTING GABLE & FASCIA TO BE RECONFIGURED AS A TRADITIONAL "FLAT ROOF PARAPET" -SEE PROPOSED ELEVATIONS- EXISTING CLADDING & SHEATHING REMOVED- PARAPET WALL TO BE REFRAMED & RECLAD IN METAL PANELS AS SPECIFIED.

EXISTING STOREFRONT SYSTEMS TO BE REMOVED & RECONFIGURED -SEE PROPOSED ELEVATIONS

EXISTING CANOPY & COLONNADE TO BE REMOVED COMPLETELY FOR EXTENTS INDICATED. REVEALED BRICK FACADE TO BE RESTORED & PAINTED SEE PROPOSED ELEVATIONS

1 ELEVATION KEY PLAN | PARTIAL DEMOLITION FIRST FLOOR

SCALE: 1/32" = 1'-0"

LEGEND

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	NEW CONSTRUCTION

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DATE OF ISSUE		4/14/21

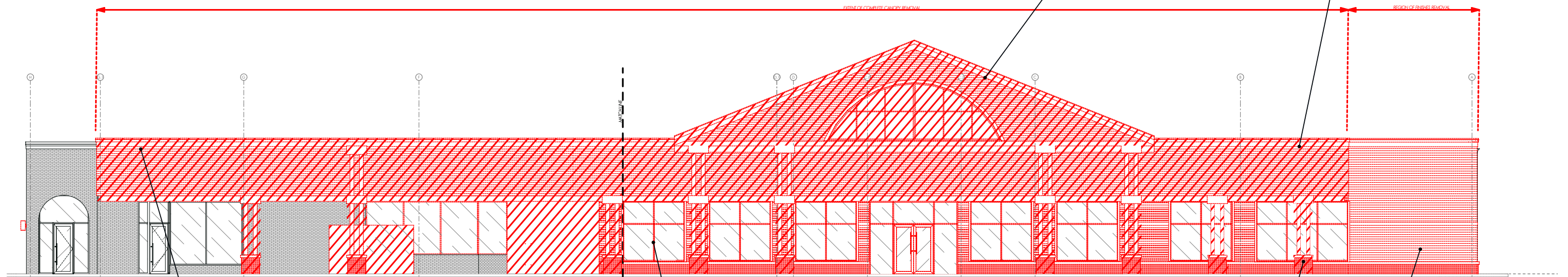
Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880



1 WEST ELEVATION | EXISTING
SCALE: 1/16" = 1'-0"

EXISTING GABLE & FASCIA TO BE RECONFIGURED AS A TRADITIONAL "FLAT ROOF PARAPET" CLAD IN NEW PANELS AS SPECIFIED -SEE PROPOSED ELEVATIONS

EXISTING CANOPY & COLONNADE TO BE REMOVED COMPLETELY FOR EXTENTS INDICATED. REVEALED FACADE TO RECEIVE NEW METAL CLADDING AS SPECIFIED FROM CURB TO PARPET- SEE PROPOSED ELEVATIONS



EXISTING CANOPY / COLONNADE TO BE REMOVED TO REVEAL EXISTING BRICK FACADE- FROM CURB TO PARAPET. SEE PROPOSED ELEVATIONS

EXISTING STOREFRONT SYSTEM TO BE REMOVED- ROUGH OPENINGS TO BE RECONFIGURED TO ACCOMMODATE NEW FENESTRATION LAYOUT & RELOCATED ENTRY. EXISTING CLADDING & BRICK BASE TO BE REMOVED. FACADE TO BE CLAD IN NEW PANELING AS SPECIFIED.

NON-STRUCTURAL COLUMNS TO BE REMOVED (TYP.)

EXISTING CLADDING & BRICK WALL BASE REMOVED IN PREPARATION FOR NEW EXTERIOR FINISH (TYP.)- SEE PROPOSED ELEVATIONS

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DATE OF ISSUE		4/14/21

2 WEST ELEVATION | DEMO
SCALE: 1/16" = 1'-0"

Project # 200428
Project Name:
**1076 POST ROAD E
WESTPORT, CT 06880**



FREDERICK WILLIAM HOAG
ARCHITECT

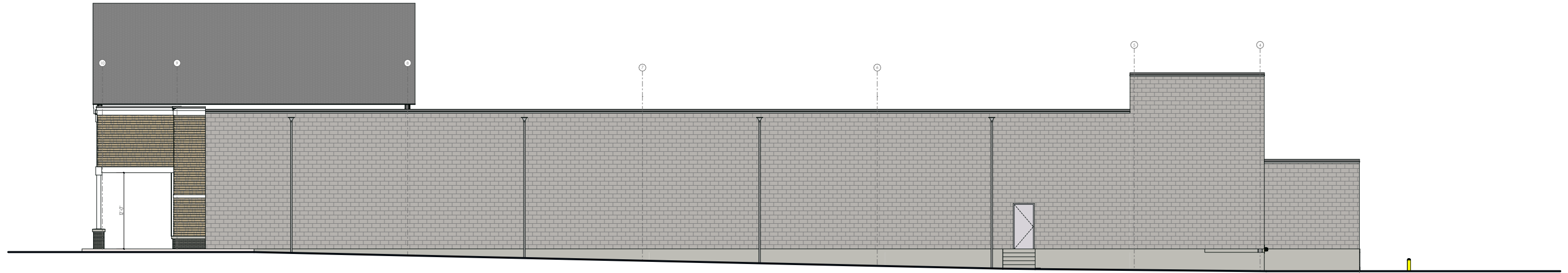
57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P 203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

drawing to-scale when printed as formatted to 11X17

WEST ELEVATION | EXISTING & DEMO

SD102

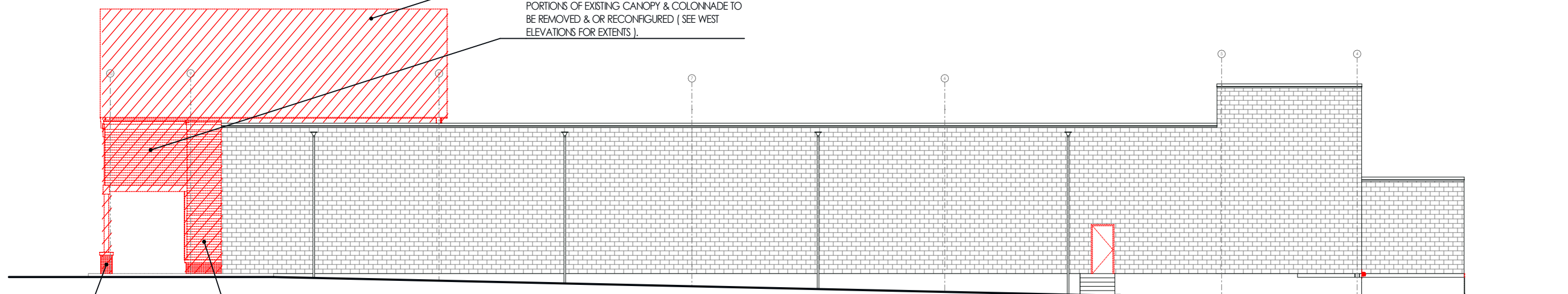


1 SOUTH ELEVATION | EXISTING

SCALE: 1/16" = 1'-0"

EXISTING GABLE & FASCIA TO BE RECONFIGURED AS A TRADITIONAL "FLAT ROOF PARAPET" CLAD IN NEW PANELS AS SPECIFIED -SEE PROPOSED ELEVATIONS

PORTIONS OF EXISTING CANOPY & COLONNADE TO BE REMOVED & OR RECONFIGURED (SEE WEST ELEVATIONS FOR EXTENTS).



EXISTING CLADDING & BRICK WALL BASE REMOVED IN PREPARATION FOR NEW EXTERIOR FINISH (TYP.) -SEE PROPOSED ELEVATIONS

NON-STRUCTURAL COLUMNS TO BE REMOVED (TYP.)

2 SOUTH ELEVATION | DEMO

SCALE: 1/16" = 1'-0"

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Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880

SHEET TITLE:



FREDERICKWILLIAMHOAG
 ARCHITECT

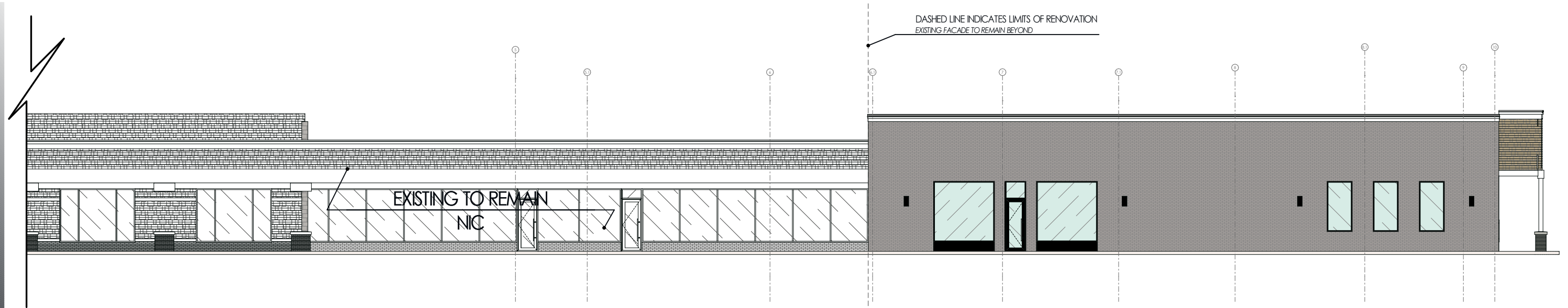
57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P.203.557.0803

BIMcloud: MPA--BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

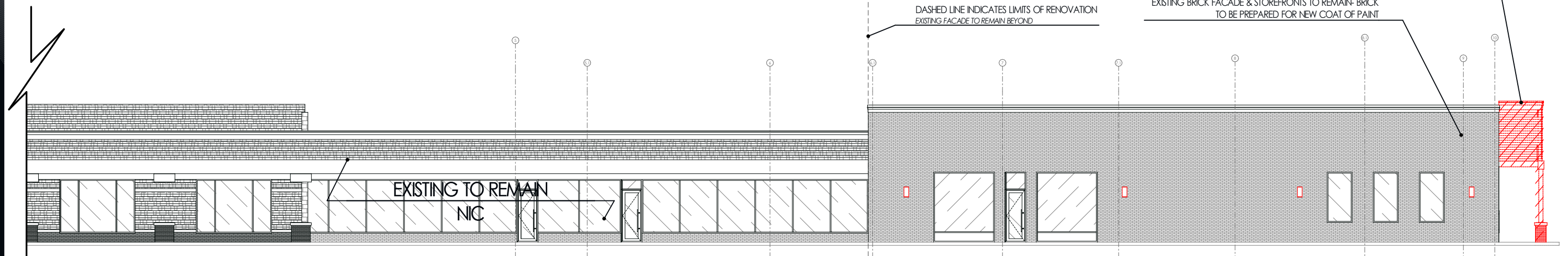
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SOUTH ELEVATION | EXISTING & DEMO

SD103



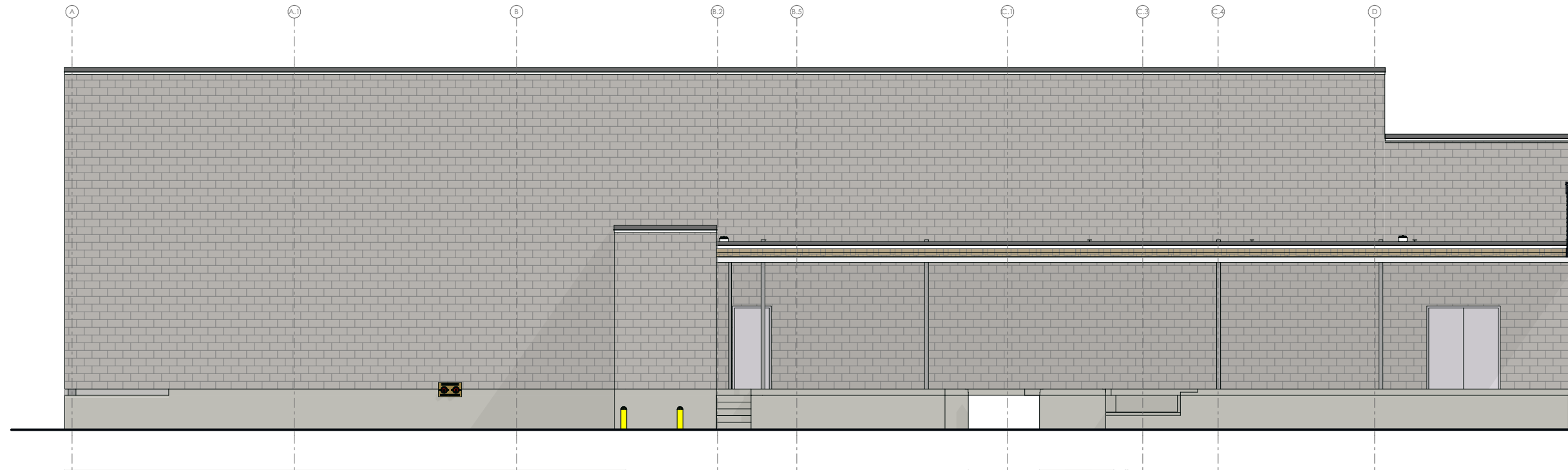
1 NORTH ELEVATION | PARTIAL EXISTING ELEVATION
SCALE: 1/16" = 1'-0"



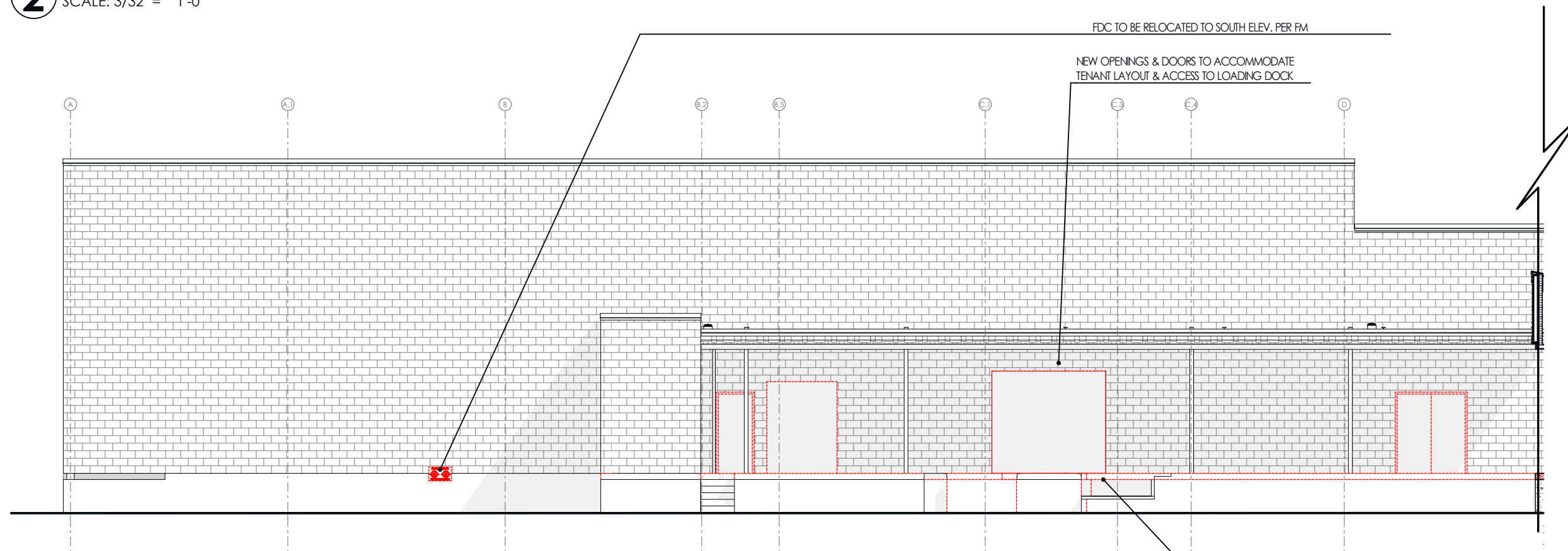
2 NORTH ELEVATION | PARTIAL DEMO ELEVATION
SCALE: 1/16" = 1'-0"

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Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880



2 EAST ELEVATION | EXISTING (PARTIAL ELEVATION)
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION | DEMO PARTIAL ELEVATION
SCALE: 3/32" = 1'-0"

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Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

EAST ELEVATION | EXISTING & DEMO

SD105



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P 203.557.0803

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1 EXISTING | EXTERIOR FACADE | V0
NOT TO SCALE

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	DATE OF ISSUE	4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | EXISTING

SD106



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**



2 EXISTING | EXTERIOR FACADE | V2
NOT TO SCALE



3 EXISTING | EXTERIOR FACADE | V3
NOT TO SCALE



1 EXISTING | EXTERIOR FACADE | V1
NOT TO SCALE

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DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | EXISTING

SD107

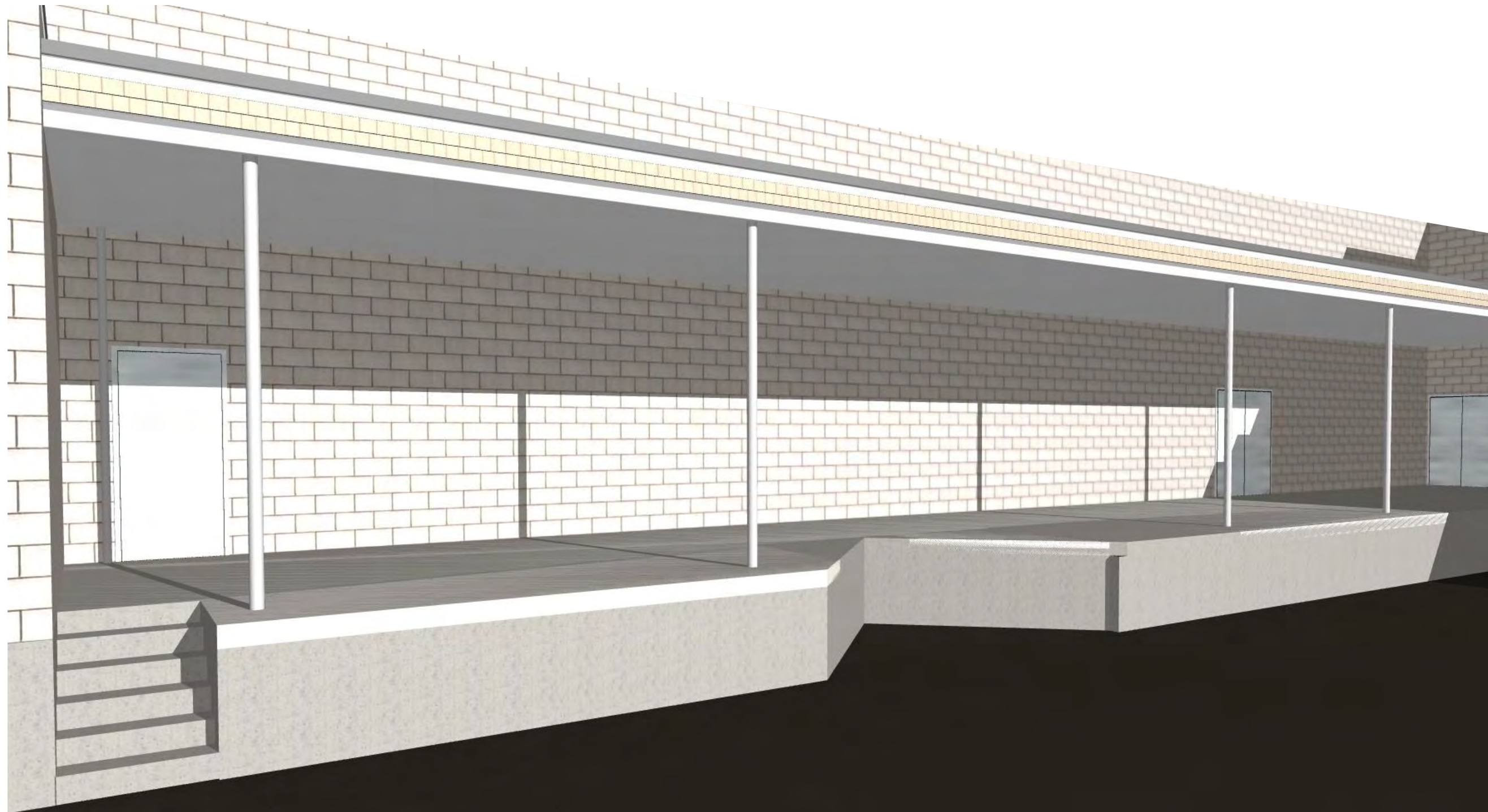


FREDERICKWILLIAMHOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

drawing to-scale when printed as formatted to 11X17



① EXISTING LOADING DOCK | V9

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DATE OF ISSUE		4/14/21

Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880



FREDERICK WILLIAM HOAG
 ARCHITECT

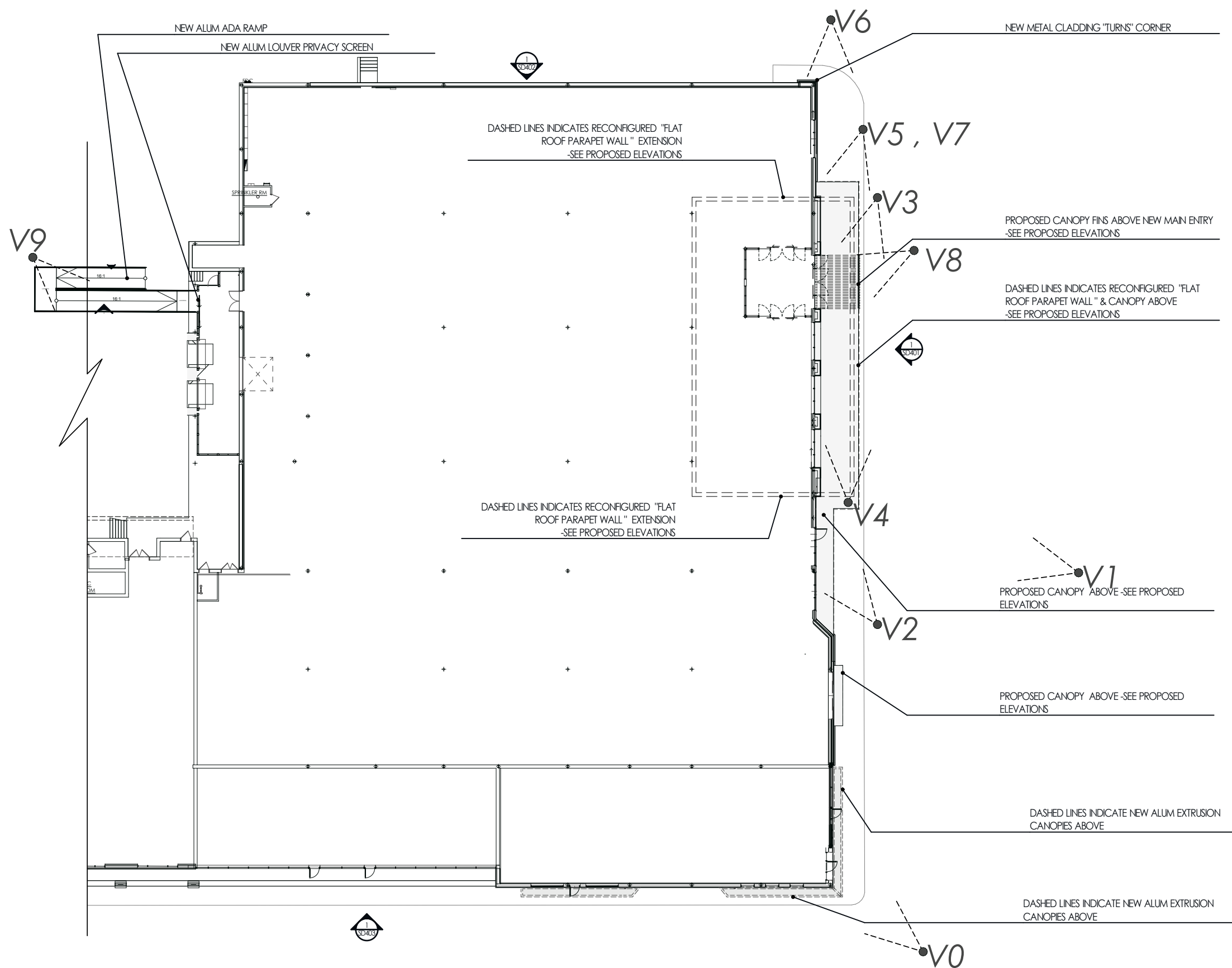
57 WILTON ROAD
 2ND FLOOR
 WESTPORT, CT 06880
 P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

drawing to-scale when printed as formatted to 11X17

SHEET TITLE:
 3D VIEWS | EXISTING

SD108

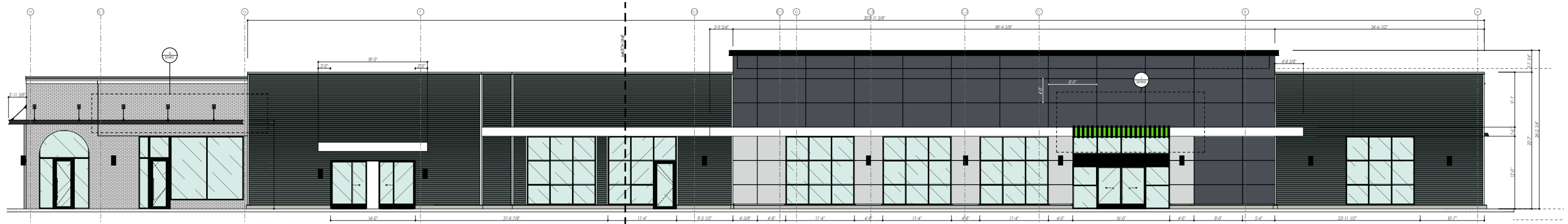


1 ELEVATION KEY PLAN | PARTIAL FIRST FLOOR
 SCALE: 1/32" = 1'-0"

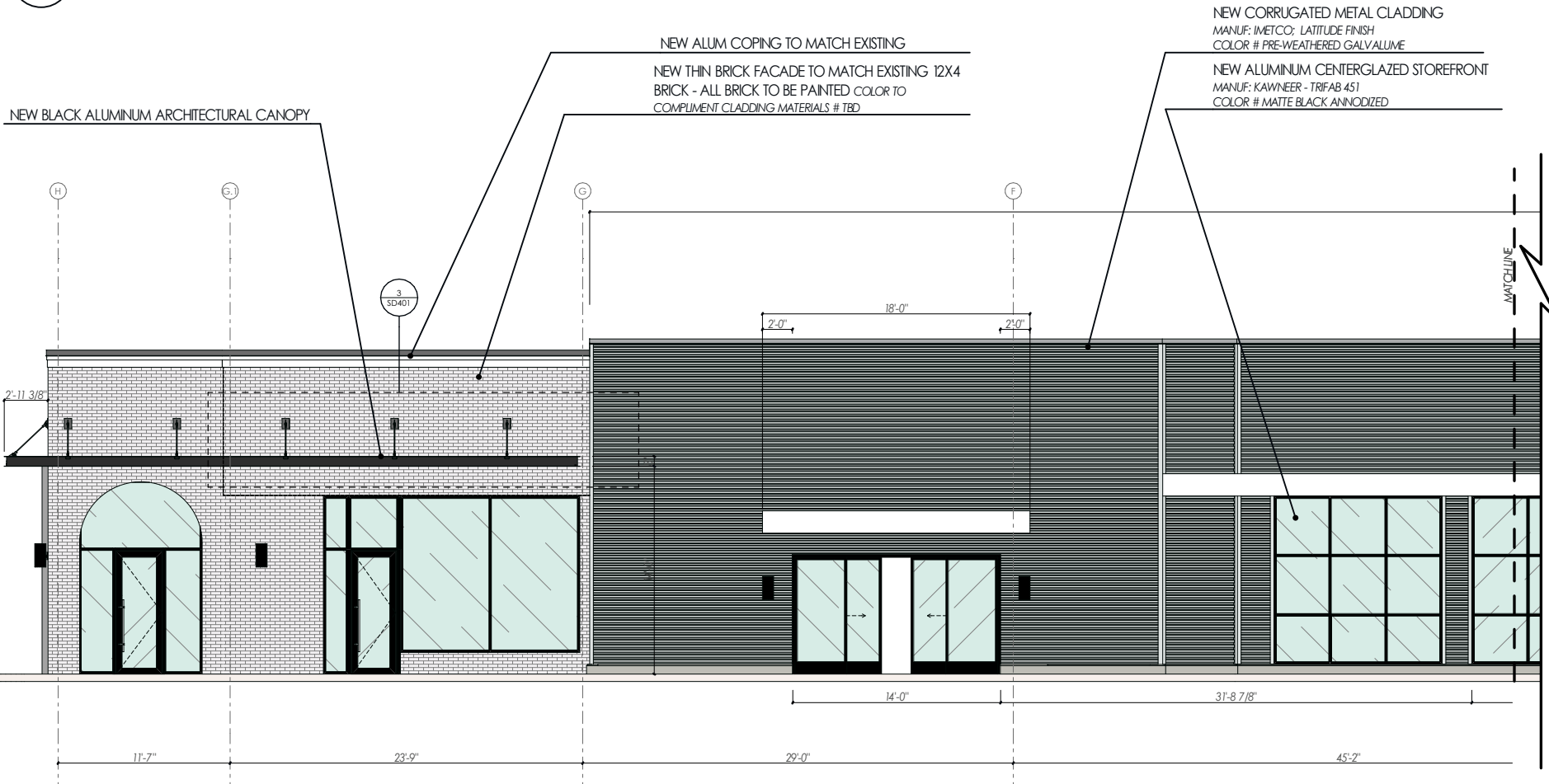
LEGEND	
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DATE OF ISSUE		4/14/21

Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880



2 WEST ELEVATION | FULL PROPOSED ELEVATION
SCALE: 1/16" = 1'-0"



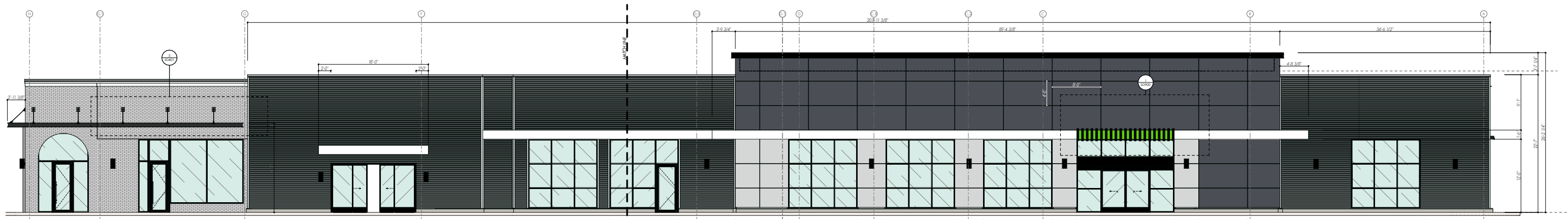
1 WEST ELEVATION | (PARTIAL PROPOSED ELEVATION)
SCALE: 3/32" = 1'-0"



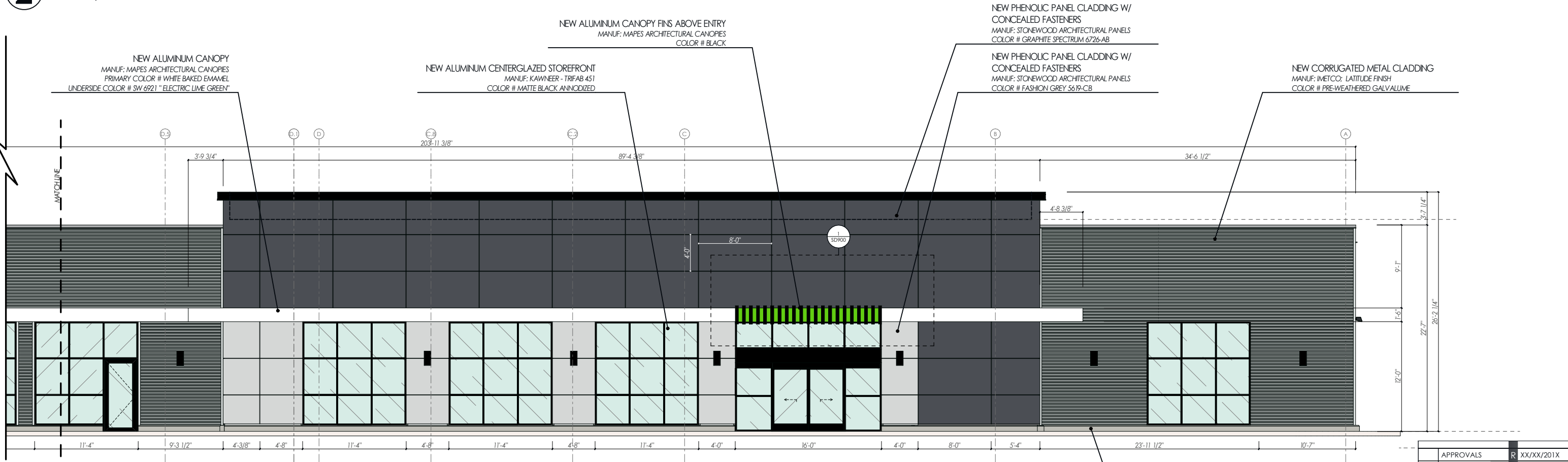
3 EXTERIOR FACADE | ALUM CANOPY DETAIL
NOT TO SCALE

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DESCRIPTION		DATE
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Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880



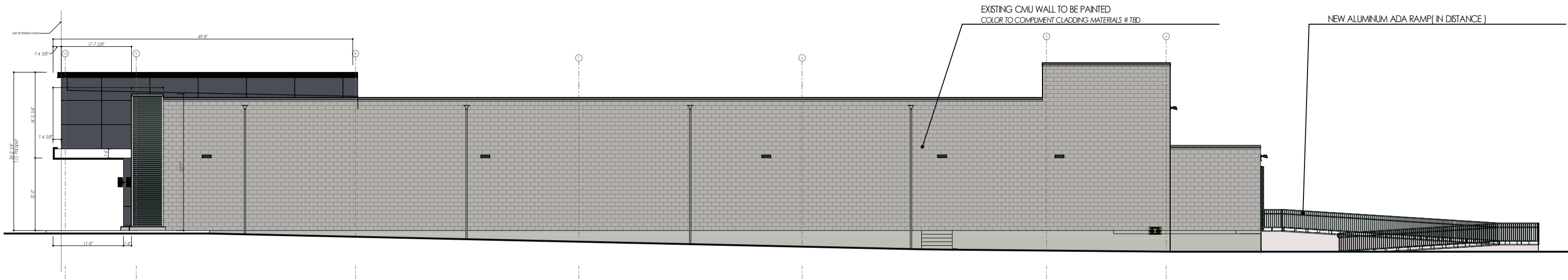
2 WEST ELEVATION | FULL PROPOSED ELEVATION
SCALE: 1/16" = 1'-0"



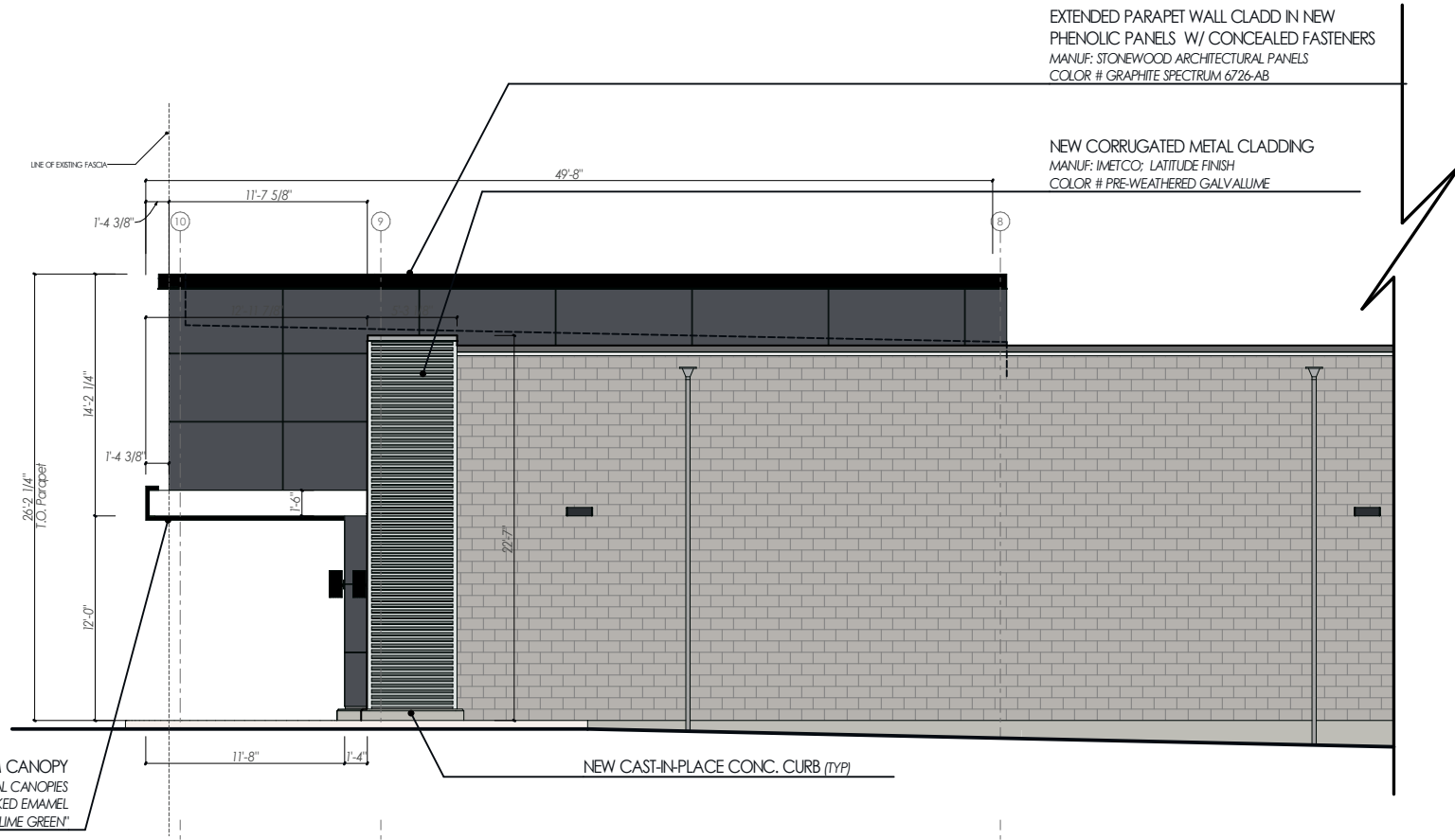
1 WEST ELEVATION | PARTIAL PROPOSED ELEVATION
SCALE: 3/32" = 1'-0"

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
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DESCRIPTION		DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880



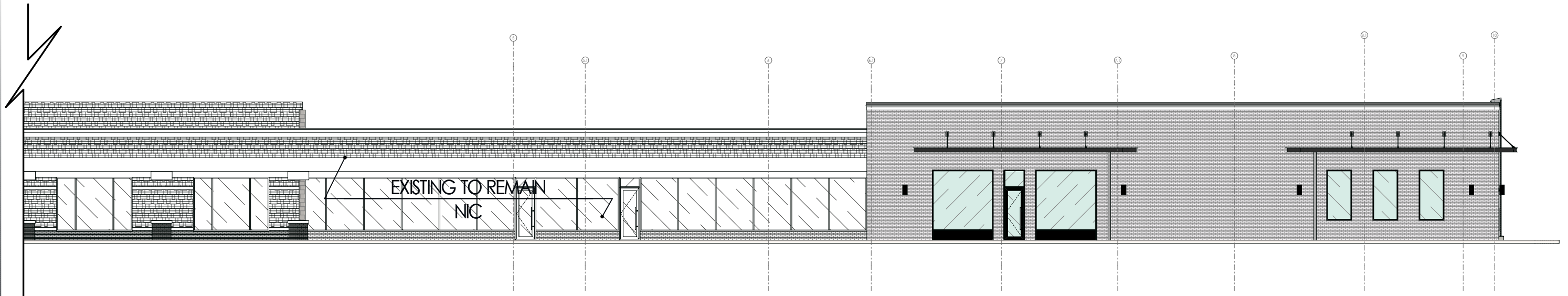
2 SOUTH ELEVATION | FULL PROPOSED ELEVATION
SCALE: 1/16" = 1'-0"



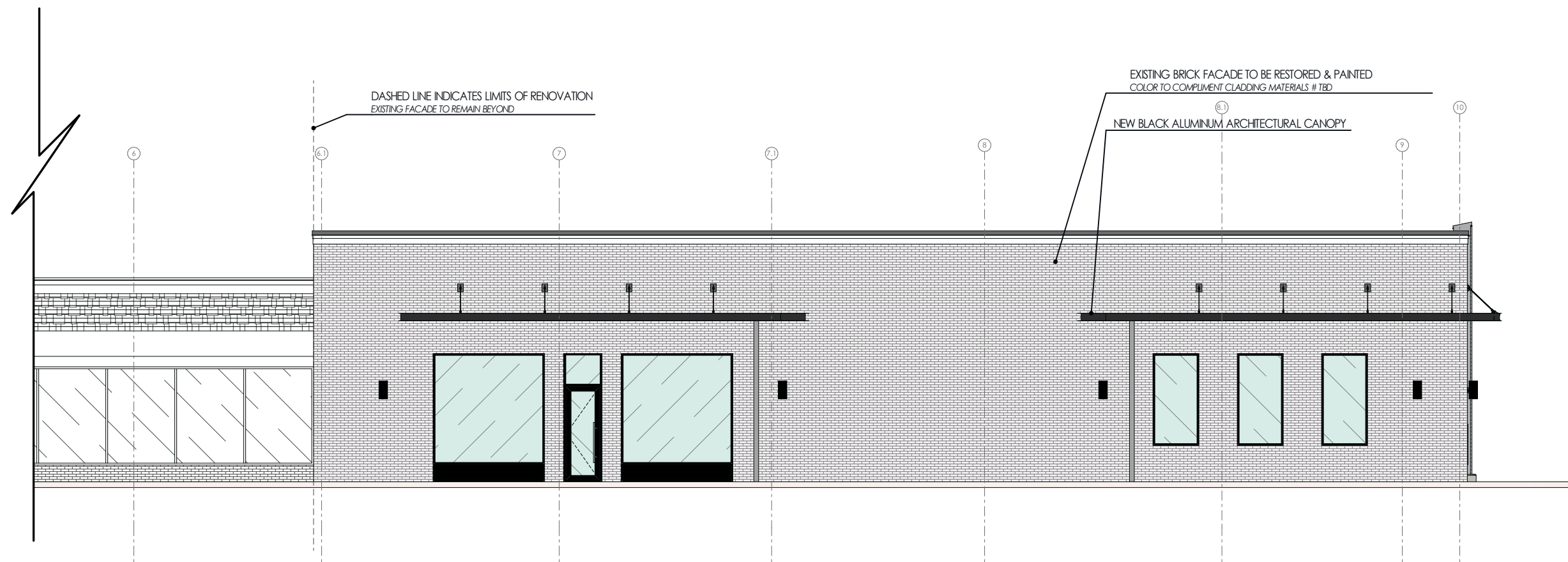
1 SOUTH ELEVATION | PARTIAL PROPOSED ELEVATION
SCALE: 3/32" = 1'-0"

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
	I	
	S	
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	N	
DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880



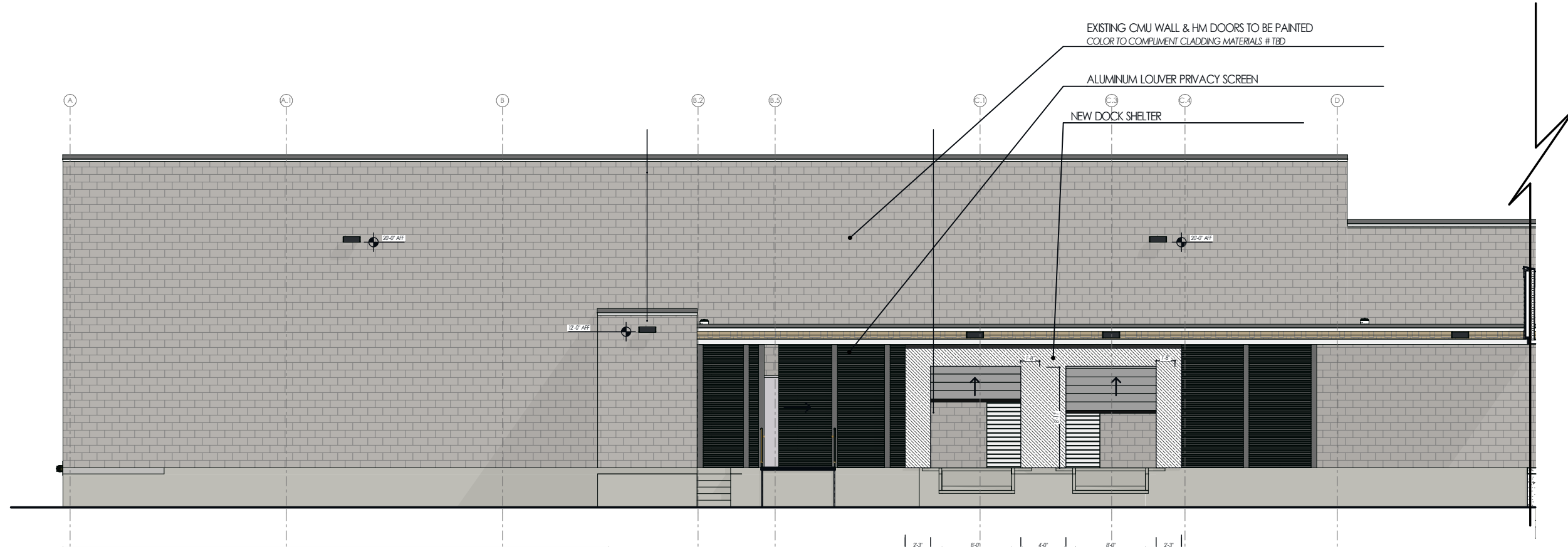
2 NORTH ELEVATION | PARTIAL PROPOSED ELEVATION
SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION | PARTIAL PROPOSED ELEVATION
SCALE: 3/32" = 1'-0"

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
	I	
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	N	
	S	
DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880



1 EAST ELEVATION PARTIAL PROPOSED ELEVATION
 SCALE: 3/32" = 1'-0"

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
	I	
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	S	
DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
 Project Name:
 1076 POST ROAD E
 WESTPORT, CT 06880



1 PROPOSED EXTERIOR FACADE | V0
NOT TO SCALE

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
	I	
	S	
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	O	
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	S	
#	DESCRIPTION	DATE
	DATE OF ISSUE	4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | PROPOSED

SD405

FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**



2 EXTERIOR FACADE | V2
NOT TO SCALE



3 EXTERIOR FACADE | V3
NOT TO SCALE



1 EXTERIOR FACADE | V1
NOT TO SCALE

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
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	O	
	N	
	S	
# DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | PROPOSED

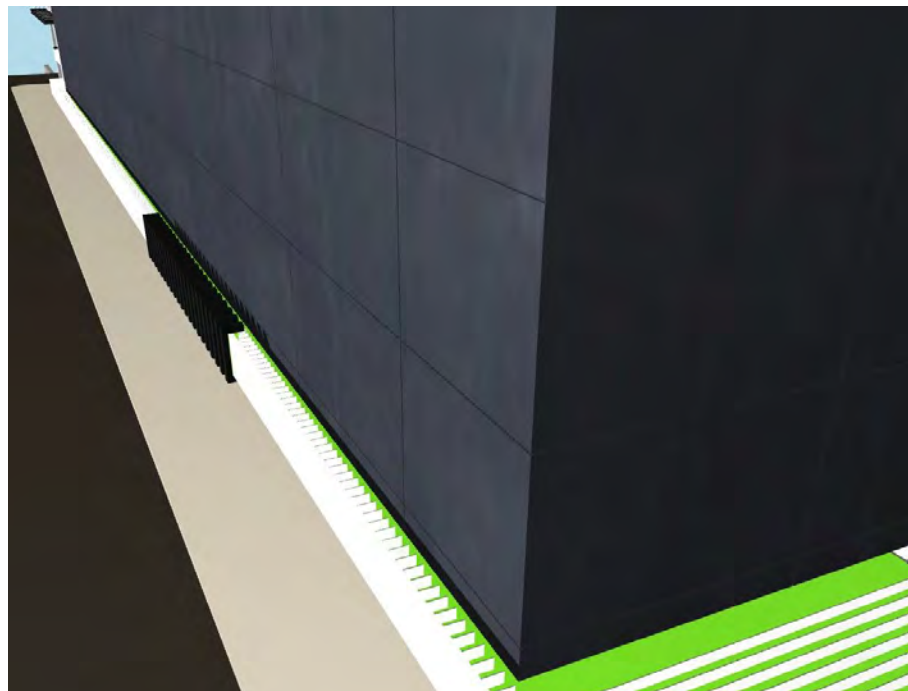
SD406



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**



2 EXTERIOR FACADE | V5
NOT TO SCALE



3 EXTERIOR FACADE | V6
NOT TO SCALE



4 EXTERIOR FACADE | V7
NOT TO SCALE



1 EXTERIOR FACADE | V4
NOT TO SCALE

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
	V	
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	N	
	S	
# DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | PROPOSED

SD407



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**



1 EXTERIOR FACADE | V8
NOT TO SCALE

LEGEND

	EXISTING
	DEMO
	DEMO FINISH / CLADDING

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
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	S	
DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | PROPOSED

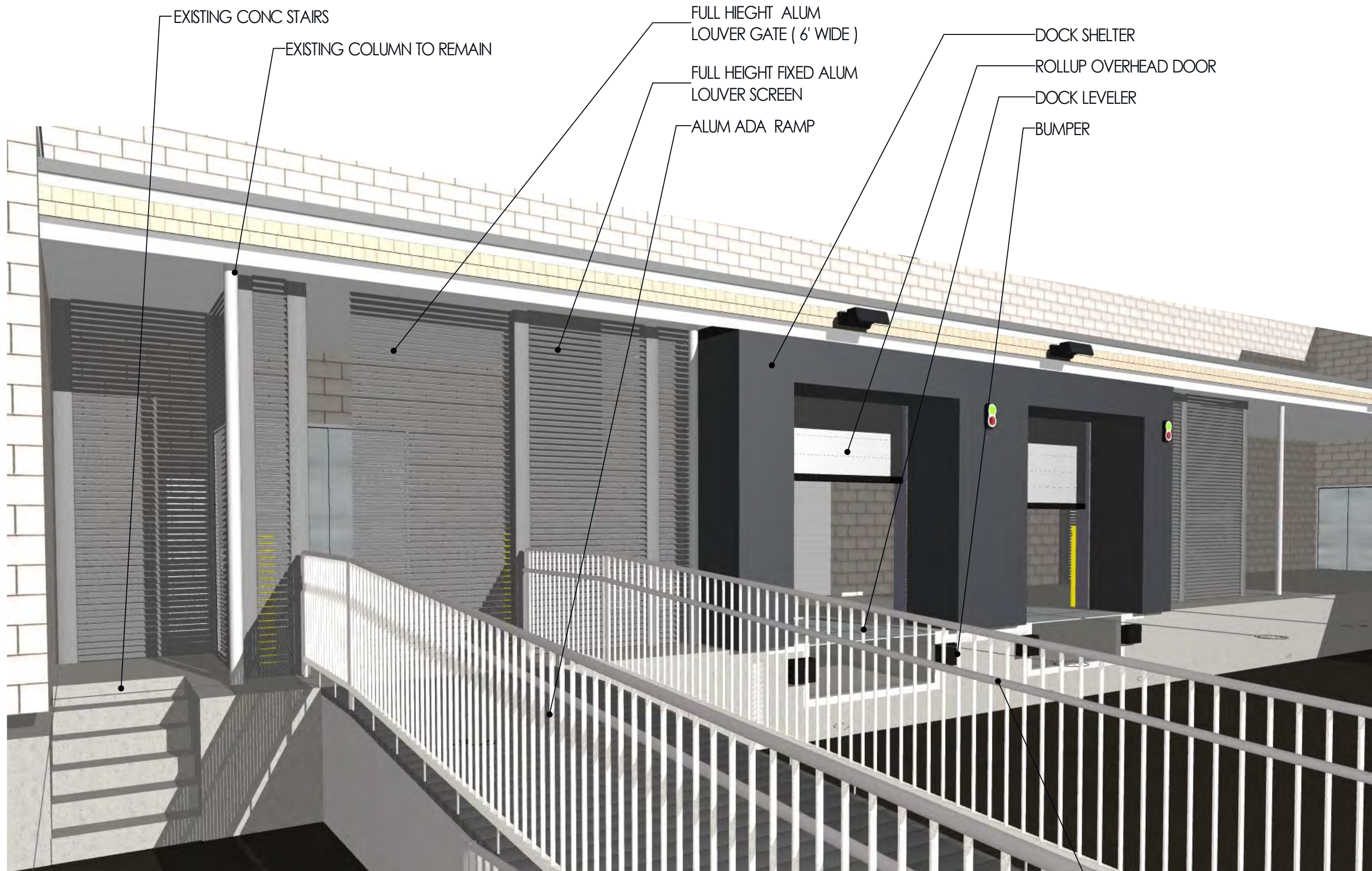
SD408



FREDERICK WILLIAM HOAG
ARCHITECT

57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P.203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24 **drawing to-scale when printed as formatted to 11X17**



EXISTING CONC STAIRS

EXISTING COLUMN TO REMAIN

FULL HIEGHT ALUM
LOUVER GATE (6' WIDE)

FULL HEIGHT FIXED ALUM
LOUVER SCREEN

ALUM ADA RAMP

DOCK SHELTER

ROLLUP OVERHEAD DOOR

DOCK LEVELER

BUMPER

1 PROPOSED LOADING DOCK | V9

EXISTING ANGLED RECESSED DOCK INFILLED

APPROVALS	R	XX/XX/201X
ISSUED FOR BID	E	XX/XX/201X
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# DESCRIPTION	S	DATE
DATE OF ISSUE		4/14/21

Project # 200428
Project Name:
1076 POST ROAD E
WESTPORT, CT 06880

SHEET TITLE:

3D VIEWS | PROPOSED

SD409



FREDERICKWILLIAMHOAG
ARCHITECT

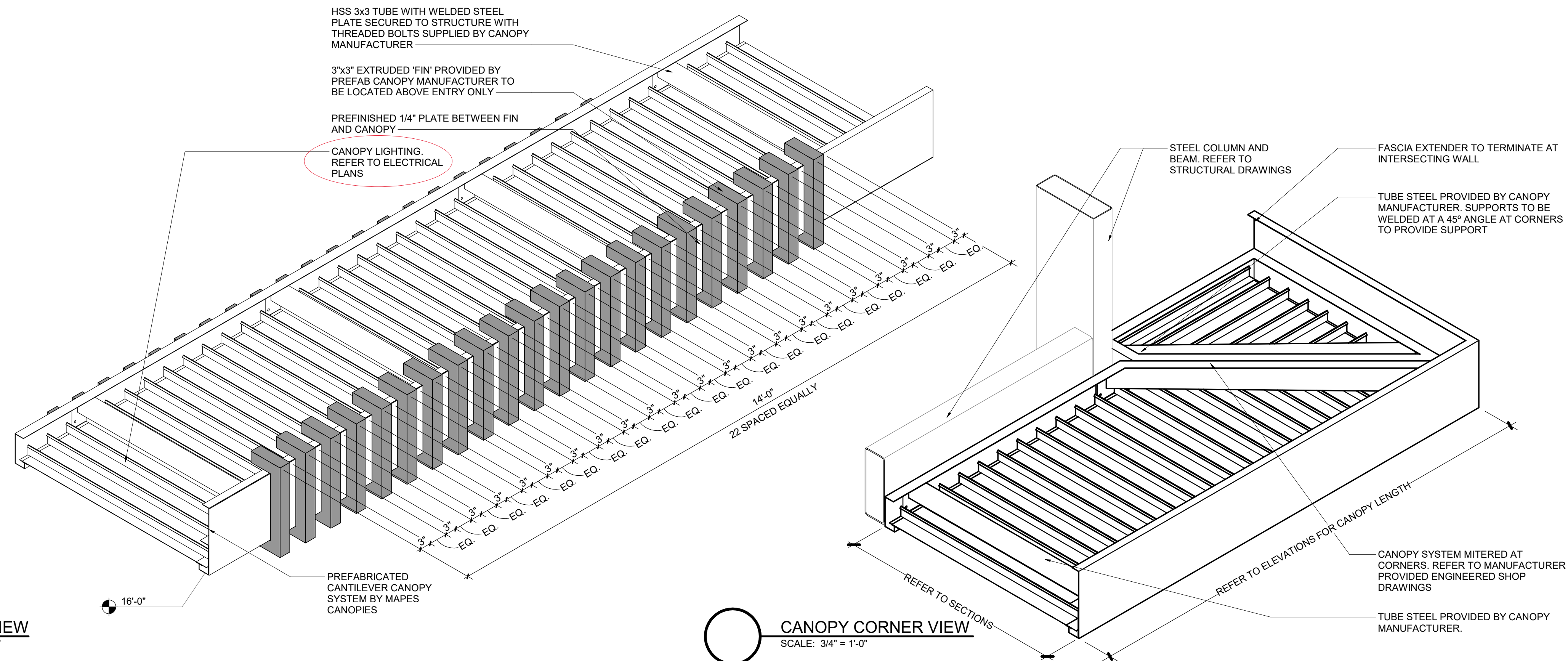
57 WILTON ROAD
2ND FLOOR
WESTPORT, CT 06880
P 203.557.0803

BIMcloud: MPA-BIM24 Ext - BIMcloud Basic for ARCHICAD 24/200428-1076 PRE DD01v24

drawing to-scale when printed as formatted to 11X17



① PROPOSED CANOPY FINIS



○ CANOPY VIEW
SCALE: 3/4" = 1'-0"

○ CANOPY CORNER VIEW
SCALE: 3/4" = 1'-0"

② CANOPY DETAILS

PROFESSIONAL OF RECORD	
DESIGN REVIEW	R XX/XX/201X
APPROVALS	XX/XX/201X
ISSUED FOR BID	XX/XX/201X
REVISIONS	
ISSUE DESCRIPTION	DATE
DATE OF CURRENT ISSUE	4/14/21

Project # 200428
1076 POST ROAD E
WESTPORT, CT 06880

ARCHITECTURAL REVIEW BOARD APPLICATION REVIEW AND RECOMMENDATION

ARB review and recommendation is required prior to Planning and Zoning Commission or Zoning Board of Appeals hearings. This review provides required design review for proposed projects prior to zoning or variance approval. Application should be submitted in accordance with deadline posted on meeting calendar (10 days prior to meeting) to the HDC Office, Room 108. Additional materials may be requested for presentation at the meeting.

**COMMERCIAL BUILDING CONSTRUCTION OR ALTERATIONS
SPECIAL PERMIT USE**

SIGNAGE

Submission Date: April 16, 2021

1. Property Address 60 Compo Rd. S. a.k.a. 21 Imperial Avenue, Westport, CT 06880
(As listed in the Assessor's records)

2. Property PID# D09/046/000 Zoning District: DSORD2

3. Owner's Name: Town of Westport Daytime Tel #: _____

Owner's Address: 110 Myrtle Avenue E-mail: _____

4. Agent's Name (if different): Susan Pfister Daytime Tel #: 203-341-5098

Agent's Address: _____ E-mail: spfister@westportct.gov

5. Zoning Board of Appeals Case # (if any) _____
Westport Center for Senior Activities

6. Existing Uses of property: _____

7. Reason for this Request: _____

To facilitate outdoor programming in an effort to re-open safely as we continue to cope with COVID-19.

The canopy will accommodate classes such as Tai Chi, Open Portrait, Support Groups, and exercise programs.

It will also provide for a comfortable dining area once it is recommended that we can once again begin serving meals.

Susan Pfister

Applicant's Signature (If different than owner)

Susan Pfister Town of Westport

Owner's Signature (If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead.)

Architectural Review Board Recommendation:

Chair's Signature: _____ Date: _____







New Haven Awning Co.
 178 CHAPEL ST
 NEW HAVEN, CT 06513 US
 (203) 562-7232
 bob@nhawning.com
 www.nhawning.com

Quote

ADDRESS

Sue Pfister
 Westport Center for Senior
 Activities
 21 Imperial Ave
 Westport, CT 06880

SHIP TO

Sue Pfister
 Westport Center for Senior
 Activities
 21 Imperial Ave
 Westport, CT 06880

QUOTE # 4188

DATE 04/15/2021

PROJECT NAME

Canopy

SALES REP

Dan

INSTALL LOCATION

Rear Patio

ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
Comm New	Scope of work: - Design, fabricate & install a four season shed style canopy - Dimensions: 20' wide x 3' drop x 20' proj. - Welded galvanized steel frame - Meets or exceeds the IBC (2015) for: Wind Load: 135MPH for 3 seconds Snow Load: 30PSF - Fabric: Ferarri Vivo (flame retradant) Color: Spruce - Includes all install labor & hardware - Includes stamped engineered drawings - No footings required - No CT tax applied - Does not include permitting	1	15,200.00	15,200.00

Thank you for the opportunity to quote your work.

TOTAL

\$15,200.00

Accepted By

Accepted Date