

VARIANCE or APPEAL APPLICATION

WESTPORT ZONING BOARD OF APPEALS · Tel: 203-341-1030 Fax: 203-454-6145

INSTRUCTIONS for APPLICANT: For Questions visit P&Z office Daily 9:00-11:30.

Applicant must complete pgs 1 & 2, then REVIEW & COLLECT ALL materials listed on pgs 3&4.

When all is collected DROP OFF to P&Z OFFICE DAILY between 8:30 & 3:00 ONLY.

After the STAFF REVIEW is complete you will be notified with a Hearing Date. Please read pgs 5&7.

Note: Commercial projects may require Architectural Review Board approval, if needed.

You MUST submit the ARB application BEFORE going to ZBA Hearing.

OFFICE USE ONLY

Application#: 7525

Date: 12-12-16

Fee Paid: 660.00 Paid

1. Property Address: 1580 POST ROAD EAST Zone: GBD
Commercial Property: [] or Residential: []

2. Applicant's Name: HOWARD LATHROP E-Mail: howard@sellarslathrop.com

Applicant's Address: 1 KINGS HIGHWAY NORTH Daytime Tel: 203 820 6265

3. Owner's Name: MACKNO POST RD PROPERTIES LTD E-Mail:

Owner's Address: 12400 HWY 71 ST 350-371 AUSTIN, TX 78738 Daytime Tel:

4. Is this property on: a Septic System: [] or Sewer: [X]

5. Is this property within 500 feet of any adjoining municipality? Yes [] No [X]

6. Does this project involve the demolition of any structures that are 50 years old or more? Yes [] No [X]

7. Briefly Describe your Proposed Project: RENOVATION OF EXISTING MASONRY AND WOOD INDUSTRIAL BUILDING, CURRENTLY A RETAIL USE INTO A DENTIST OFFICE AND 5'x40' ADDITION. REMOVAL OF A PORTION OF EXISTING

8. Will any part of any structures be demolished? No [] Yes [X] - If Yes Attach a Demolition Plan:

9. List each "Regulation Section Number" you are requesting a variance for: i.e. (Sec 6-2 = Set back)

SECTION 6-2 - SET BACK 34-10 loading space
SECTION 24-6 COVERAGE 3-3-3.3 (SISA above (and) pt
24-4 (setbacks) 6-2.2, 6-2.1.7 of roof 7m 6-2.1.6

10. List any other variances that are requested to legalize any previous issues: i.e. (Sec 11-5 Coverage for existing shed)

LEGALIZE SECTION 24-8.2 FAR

11. List the PROPERTY HARDSHIP(s) or REASON(s) why this Variance or Appeal should be granted, stating clearly the exceptional difficulty REGARDING YOUR PROPERTY. Note: Financial Hardship will NOT warrant a variance approval see pg 6.

EXISTING NON-CONFORMING AS TO SIDEYARD SETBACK AND EXISTING OVER COVERAGE

I hereby certify that the above information is correct and that the accompanying exhibits attached are true.

Howard Lathrop
Applicant's Signature (If different than owner)

See letter
Owner's Signature (Must be signed)

If the applicant is unable to obtain the signature of the property owner, a letter of authorization by the property owner must be submitted.

9-3:00

TO BE COMPLETED BY OWNER/ APPLICANT

After all required materials are collected, DROP OFF to P&Z OFFICE DAILY between 8:30 & 3:00 ONLY.

BUILDING PLANS (TITLE) CHILDREN'S DENTISTRY & ORTHODONTICS
BY: SELLARS LATHROP ARCHITECTS DATE 12/09/2016 NUMBER of PGS. 5

REVISED DATE _____ NUMBER of PGS. _____

SURVEY OR SITE PLAN (TITLE) COMMERCE PARK CHILDRENS DENTISTRY & ORTHODONTICS
EXISTING CONDITIONS, PROPOSED CONDITIONS

BY: RICHARD PLAIN DATE _____ NUMBER of PGS. 2

REVISED DATE _____ NUMBER of PGS. _____

GROSS LOT AREA: 18,170 SF NET LOT AREA: (less 80% wetlands or steep slopes): 18,170 SF

SETBACKS: Front / Side / Rear (From Survey)

Existing: 20, 21.5, 24.5
Required: 30, 15, 25
Proposed: 20, 21.5, 24.5

FLOOR AREA / FAR:

Existing: 5,942 SF
Allowed: 4,543 SF
Proposed: 4,380 SF 4290 SF

COVERAGE: Building / Total (From Survey)

Existing: 6,103 SF / 6,103 SF
Required: 4,542 SF / 4,542 SF
Proposed: 4,380 SF / 4,380 SF

B
33.59%
2590
26.4
25.47%

PARKING:

Existing: 19 *UNMARKED
Required: 24 26
Proposed: 26

SIGNS: $4290/1165 = 24 \checkmark$ OK

Existing: 0
Required: 1
Proposed: 1

HEIGHT: In Feet / # of Stories

Existing: 21.5 FT / 1
Required: 1 2
Proposed: 21.5 FT / 1

ATTIC / HALF STORY:

Existing: -0- / Proposed: -0-

CRAWLSPACE - CELLAR - BASEMENT:

Existing: -0- / Proposed: -0-

LANDSCAPING:

Existing: 0
Required: 2 STREET TREES, 2 PARKING TREES
Proposed: 2 STREET TREES, 2 PARKING TREES

Red handwritten note: 26.4

NOTE: If you submit Revised Plans - You MUST SUBMIT A COVER LETTER listing EACH CHANGE & 9 COPIES.

REVISIONS FEE: Revised Plans which require additional staff review **ADDITIONAL FEE** of HALF of original Appl. fee is **REQUIRED**.

Handwritten initials: JM 12/19/16
JM 1/7/17

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ZBA APPLICATION STAFF REVIEW

Property Address: 1580 Post Rd E

PID #: H09182000 Zone: GPD

ex 55 x 106 = 5830 Addn = 200 SF = 390 increase

Does this work constitute New Construction Definitions per § 5? Yes No

Excavation & Fill Appl. Required? Yes No

P&Z Site Plan/ Special Permit Appl. Required? Yes No

Is this Application eligible for a Site Plan Waiver per § 43-5.2? Yes No (2005F Addn)

CAM? Yes No Is CAM Site Plan Required? Yes No List Sections: _____

Is ARB review required? Yes No 11/22/16 REC. APPROVAL

For Properties in Flood Zone:

Flood Zone/ Elevation (BFE): _____ Proposed First Floor Elevation: _____

Existing Average Grade: _____ Additional Height earned per §6-3.3: _____

Additional square feet of coverage for entry stairs/ platforms ALLOWED: _____ REQUESTED: _____
(15 sf per entrance per foot that building is to be elevated above average grade to at least BFE, max 225 sf)

List P&Z Regulations Section Numbers required for this project:

§ 24-6 (coverage > 25% bldg)

§ 24-4 (setbacks for Addn + A/C units)

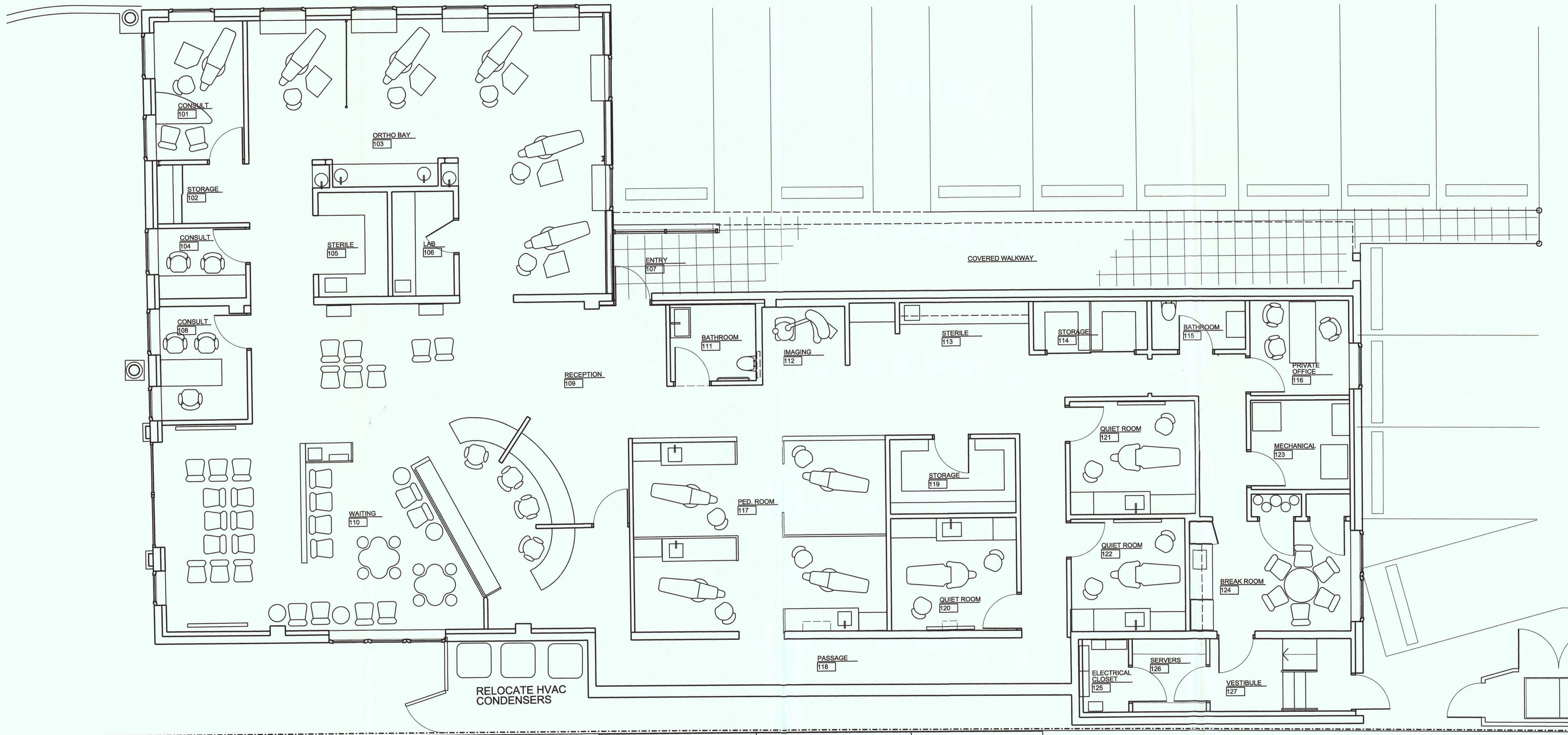
§ 34-10 (loading space) 6-2.2 (N/C COV)

§ ~~33-3.3 (for sign above lowest point of roof)~~ fm

§ 6-2.1.7 (N/C Bldg) 6-2.1.6 (for new cov)

Misc. Notes: FAR OK, parking spaces for med @ 1:165 is OK, dumpster screened, back around - pre-existing,

Zoning Official's Endorsement: [Signature] Date: 1/7/17



1 FIRST FLOOR PLAN
A-100 SCALE: 1/4" = 1'-0"

*Staff
JM
1/10/17
proposed
floor plan*

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comerce park
children's dentistry & orthodontics
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STAMP

REVISIONS	
12/20/2016	FOLLOWING ZONING OFFICER REVIEW

DRAWING INFORMATION

ISSUE: ZONING PERMIT
DATE: 12/09/2016
REVISED: 12/28/2016
SCALE: 1/4"=1'-0"

DRAWING NUMBER
A-100

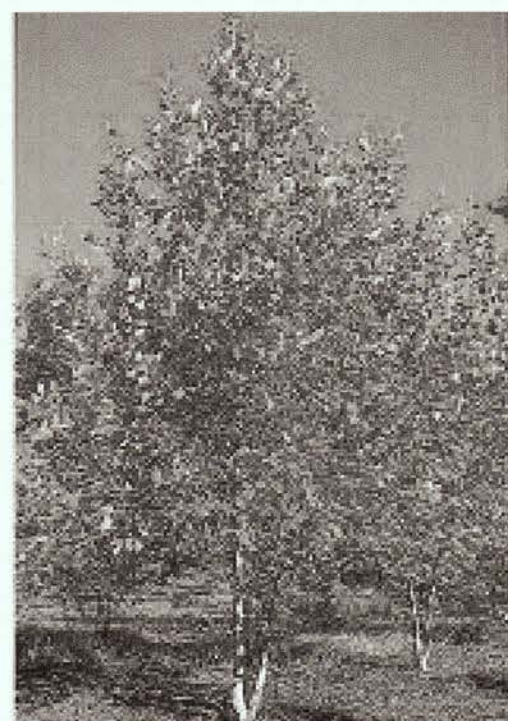


HONEY LOCUST



NELLIE STEVENS HOLLY

KOREAN BOXWOOD



RIVER BIRCHES

HONEY LOCUST
PARKING LOT TREE

REQUIRED: 24 SPACES
PROVIDED: 25 SPACES + 1 ACCESSIBLE SPACE

(1) N. STEVENS HOLLY

(3) CHERRY LAURELS

HONEY LOCUST
STREET TREE

(12) KOREAN
BOXWOOD

ASSORTED
HYDRANGIA
FOR SEASONAL
COLOR

HONEY LOCUST
STREET TREE

(2) RIVER BIRCHES

HONEY LOCUST
PARKING LOT TREE

these details

1 LANDSCAPE PLAN
LA-100 SCALE: 1" = 6'

2 NEW PARKING TREE SECTION
A-001 NOT TO SCALE

3 TRASH ENCLOSURE SECTION
A-001 NOT TO SCALE

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REVISIONS

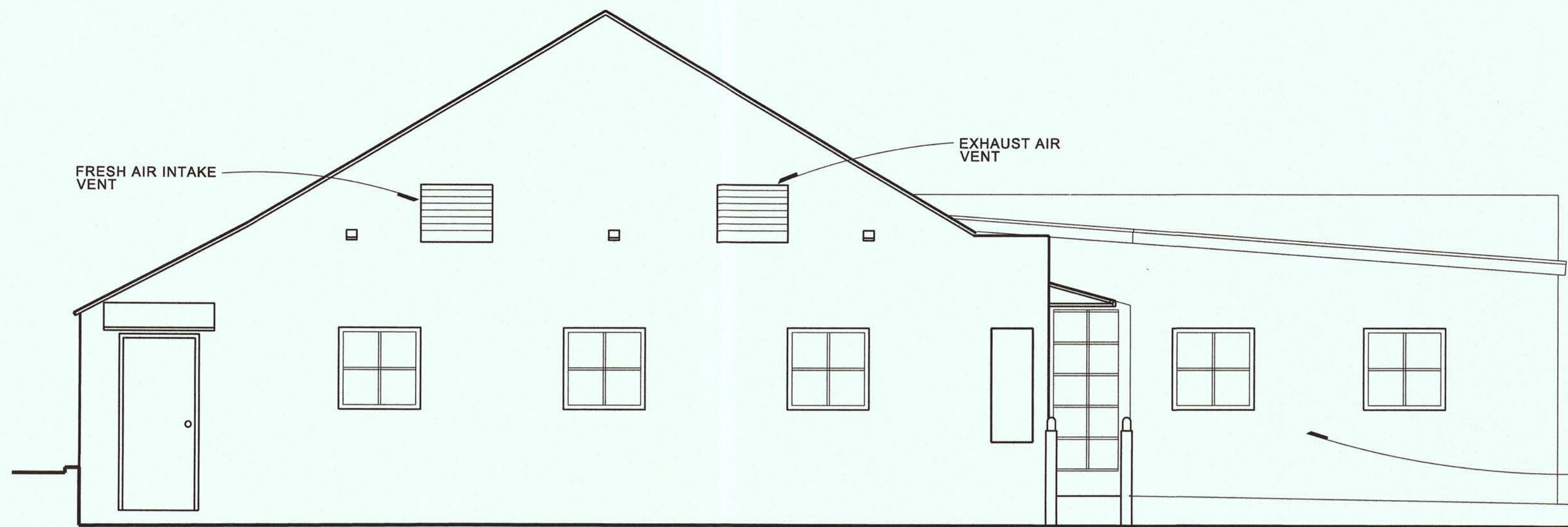
NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE: ZONING PERMIT
DATE: 12/09/2016
SCALE: 1" = 6'

DRAWING NUMBER
AL-01

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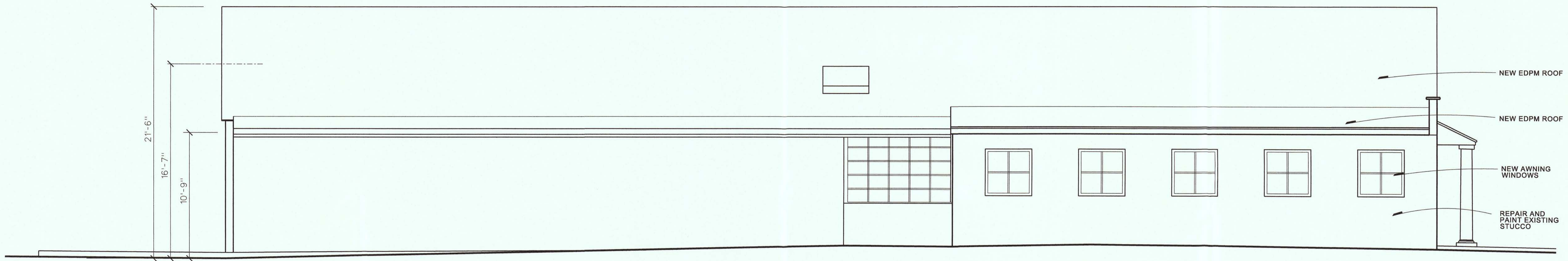


2 SOUTH ELEVATION
A-200 SCALE: 1/4" = 1'-0"

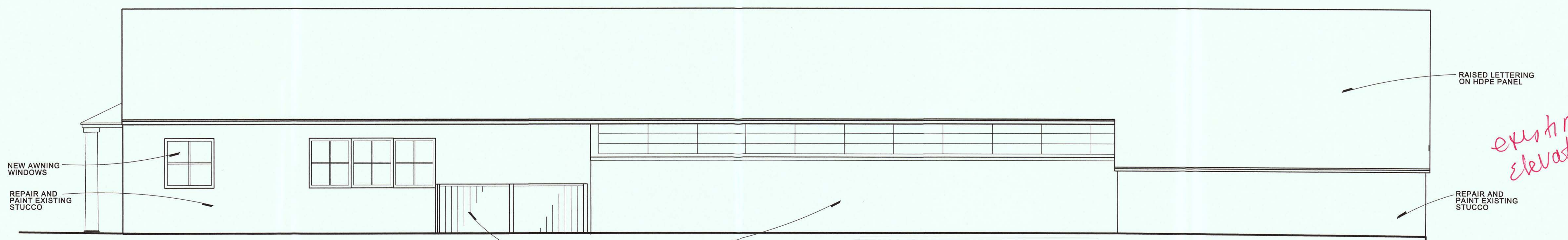
CONCRETE FILLED STEEL COLUMNS WITH LIGHT FIXED TO TOP



2 NORTH ELEVATION
A-200 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A-200 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A-200 SCALE: 1/4" = 1'-0"

existing elevations

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**commerce park
children's dentistry & orthodontics**
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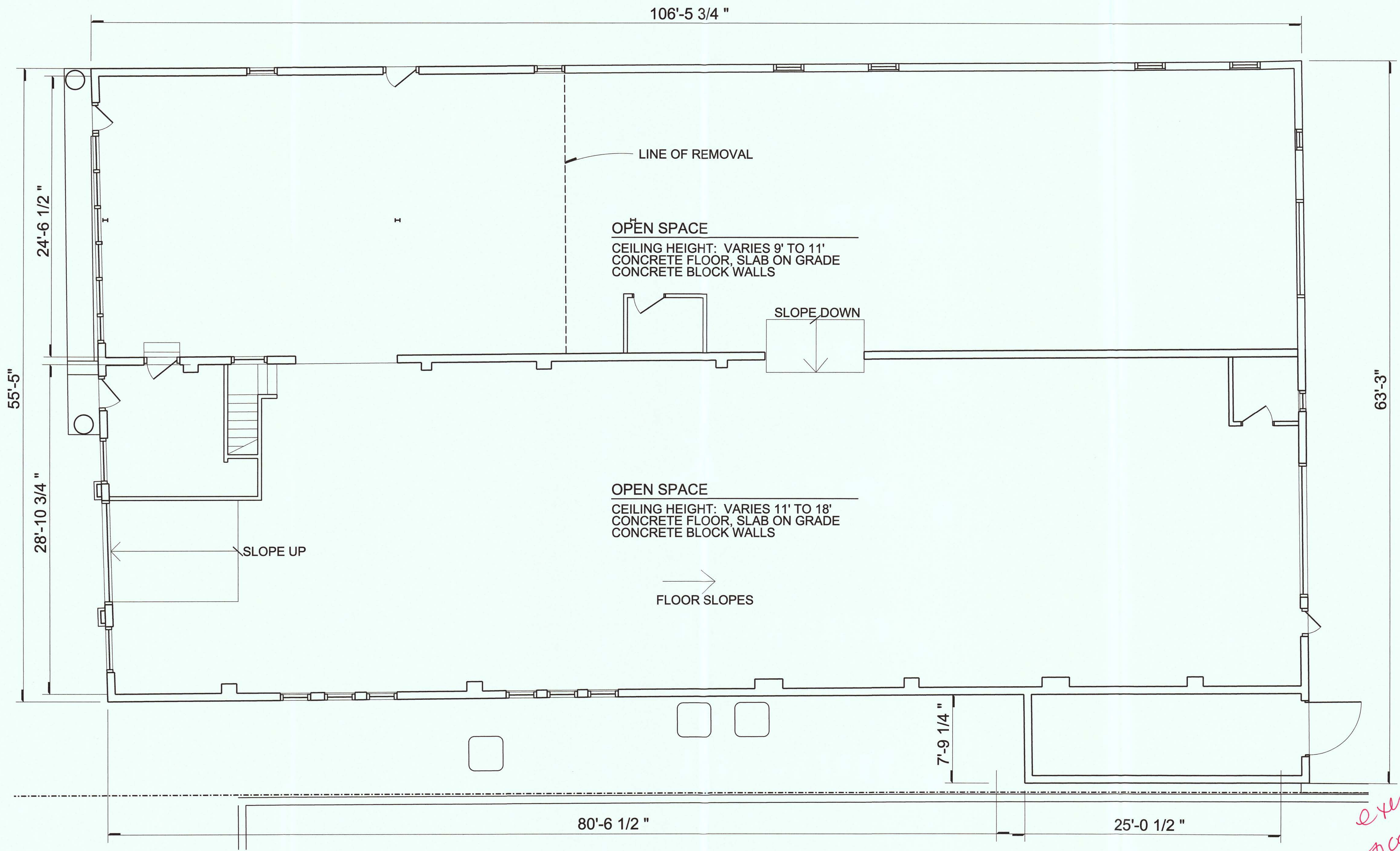
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REVISIONS	
12/20/2016	FOLLOWING ZONING OFFICER REVIEW

DRAWING INFORMATION

ISSUE: ZONING PERMIT
DATE: 12/09/2016
REVISED: 12/28/2016
SCALE: 1/4" = 1'-0"

DRAWING NUMBER
A-200



1 EXISTING GROUND FLOOR PLAN
EX-100 SCALE: 3/16" = 1'-0"

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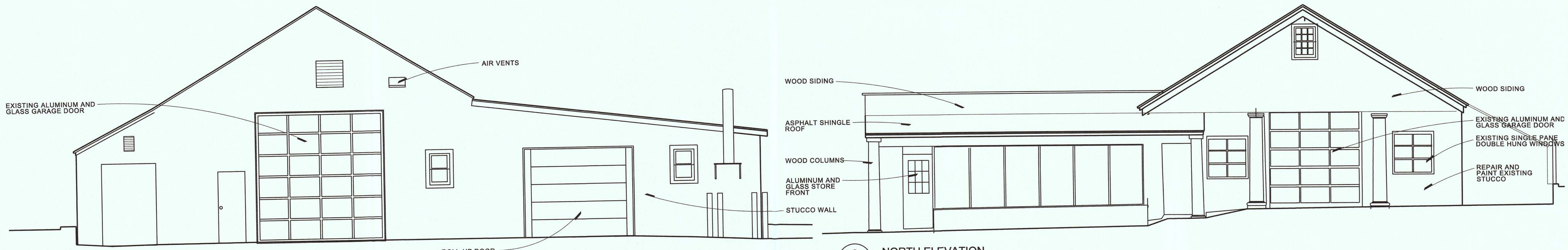
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REVISIONS	
12/20/2016	FOLLOWING ZONING OFFICER REVIEW

DRAWING INFORMATION

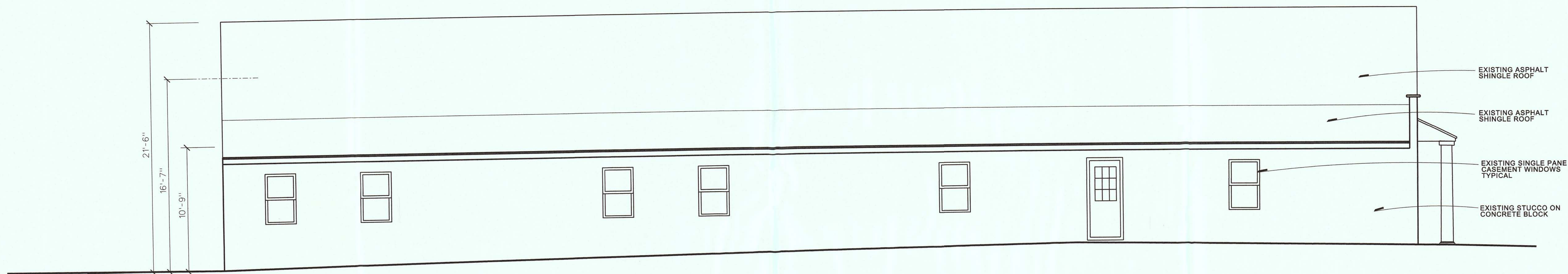
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REVISED: 12/28/2016
SCALE: 1/4"=1'-0"

DRAWING NUMBER
EX-100

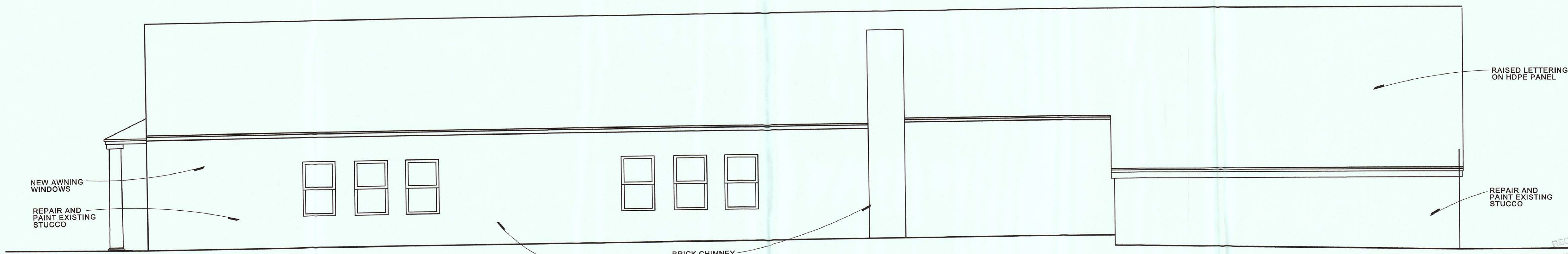


2 SOUTH ELEVATION
A-200 SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION
A-200 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A-200 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A-200 SCALE: 1/4" = 1'-0"

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REVISIONS	
12/21/2016	FOLLOWING ZONING OFFICER REVIEW

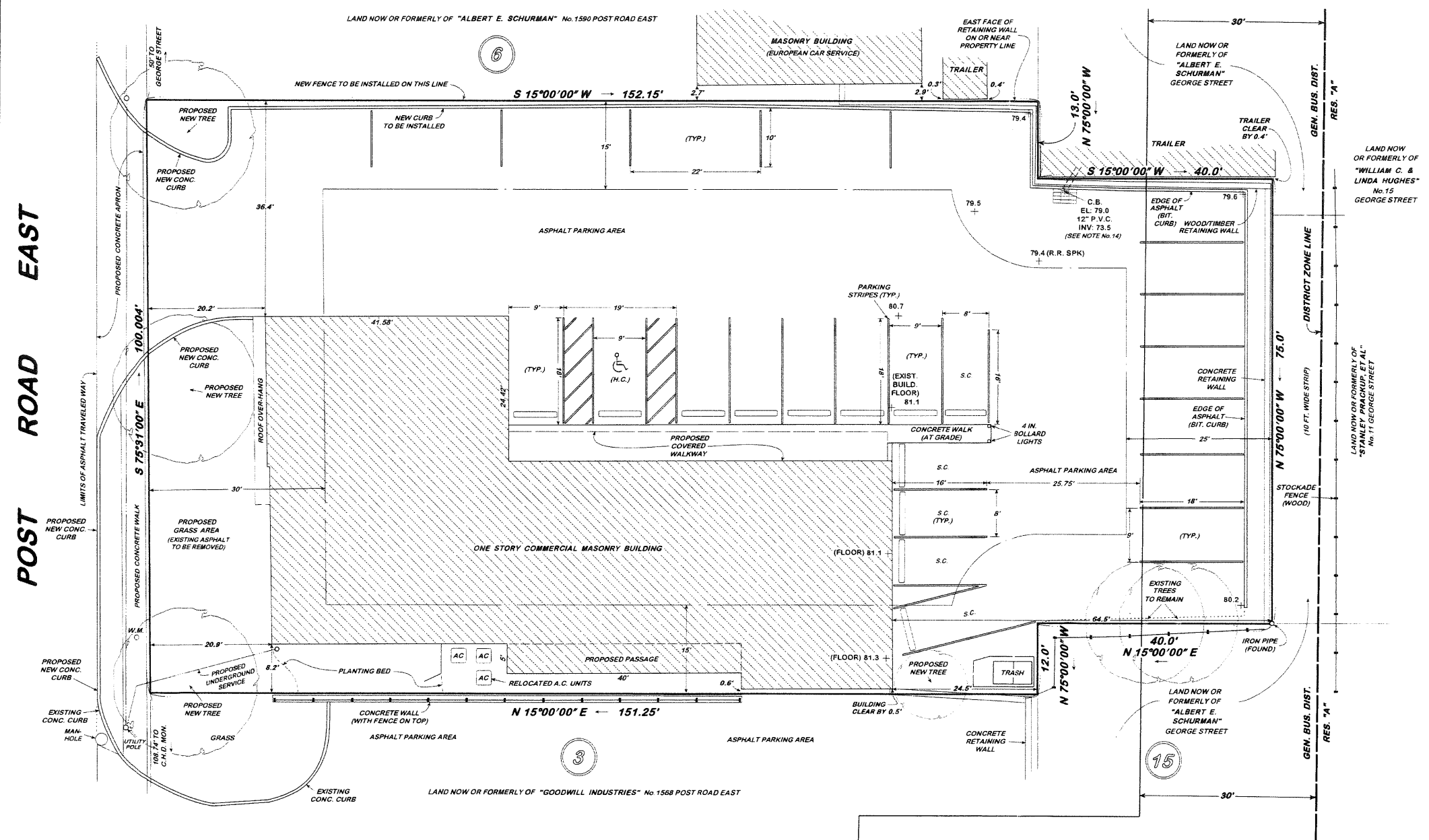
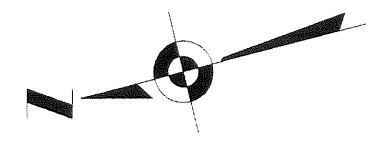
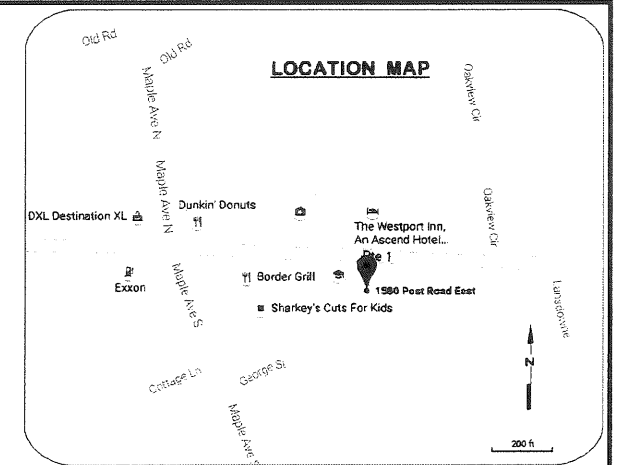
DRAWING INFORMATION
ISSUE: ZONING PERMIT
DATE: 12/09/2016
REVISED: 12/28/2016
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

EX-200

NOTES:

- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THRU 20-300B-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THE ZONING LOCATION SURVEY IS BASED ON A "DEPENDENT RESURVEY" CONFORMING TO HORIZONTAL CLASS "A-2".
- PROPERTY BEING COMPRISED OF LOTS No. 4 & No. 5, THE NORTHERLY 40 FT. OF LOT No. 16 & NORTH WEST PORTION OF LOT No. 17, AS SHOWN ON A CERTAIN MAP ENTITLED "MAP OF PROPERTY OF GEORGE S. JENNINGS, WESTPORT, CONN., SCALE: 1"=60", DATE: APRIL, 1929", ON FILE IN THE WESTPORT CLERK'S OFFICE BEARING FILE No. 659.
- REFER TO "SURVEY PREPARED FOR JOSEPH CUSEO AND VERA M. CUSEO, WESTPORT, CONN., SCALE: 1"=40", DATE: JANUARY 9, 1973", ON FILE IN THE WESTPORT CLERK'S OFFICE BEARING FILE No. 7093.
- REFER ALSO TO WESTPORT TOWN CLERK RECORD MAP # 7301.
- REFER TO "MAP SHOWING PROPERTY TO BE ACQUIRED BY ARTHUR C. MILLS, WESTPORT, CONN., SCALE: 1"=60", DATE: MAY, 1946", WESTPORT TC# 2081.
- REFER TO "MAP OF PROPERTY FOR CHELSEA A. EVERSON, WESTPORT, CONN., SCALE: 1"=30", DATE: JAN. 1955", WESTPORT TC# 3828.
- REFER TO CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF WESTPORT, BOSTON POST ROAD FROM THE FAIRFIELD TOWN LINE WESTERLY ABOUT 9200 FEET, ROUTE U.S. 1, No. 527, SHEET 2 OF 4 DATED: MAY 29, 1929.
- REFER TO PLOT PLAN FOR FRED FRASSINELLI, DATED: NOV. 22, 1976, BY KASPER GROUP.
- PROPERTY SHOWN ON TAX ASSESSOR'S MAP: H-09, PARCEL: 182.
- REFER TO DEED VOL. 171-PG. 452 & VOL. 1056-PG. 254, WESTPORT LAND RECORDS FOR ANY EASEMENTS AND OR RESTRICTIONS.
- ANY UNDERGROUND UTILITIES WHICH MAY EXIST ARE UNKNOWN.
- ELEVATION INFORMATION SHOWN HEREON IS NAVD 1988 DATUM AND IS APPROXIMATE. REFER ALSO TO TOWN TOPOGRAPHIC (G.I.S.) MAP.
- PERIMETER PAVEMENT IS APPROXIMATE DUE TO SNOW COVER ON ORIGINAL SURVEY.
- THE LOCATION OF THE CATCH BASIN SHOWN HEREON REPRESENTS ANY VISIBLE DRAIN. THE EXISTANCE OF ANY UNDERGROUND PIPES, OTHER THAN DEPICTED HEREON, IS UNKNOWN.
- SOME RETAINING WALLS NEAR PROPERTY ARE NOT DEPICTED.
- PARCEL AREA EQUALS 16,170 SQUARE FEET OR 0.417 ACRES.
- PROPOSED PARKING SPACES EQUAL 26.



ZONING GRID
STANDARDS FOR "GENERAL BUSINESS DISTRICT" (GBD) ZONE

AREA	MIN. REQUIRED	EXISTING	PROPOSED	AS-BUILT
LOT AREA (SQ. FT.)	N/A	18,170	18,170	
MINIMUM SETBACK (FT.)				
STREET LINE (PRINCIPLE BUILDING)	30	20.2	** 20.2	
SIDE PROPERTY LINE (PRINCIPLE BUILDING)	15	0.5	** 0.5	
REAR PROPERTY LINE (PRINCIPLE BUILDING)	25	64.5	64.5	
HEIGHT				
FLAT ROOF (FT. / STORIES)	25 / 2	12 / 1	12 / 1	
PITCHED ROOF (FT. / STORIES)	30 / 2	16 / 1	16 / 1	
COVERAGE				
BUILDING COVERAGE (%)	MAX. ALLOWED			
	25	33.59	25.47	
BUILDING AREA				
SQ. FT.	N/A	6,103	4,629	
%				
FLOOR AREA				
MAXIMUM (SQ. FT.)	10,000	5,942	4,290	
FAR (%)	25	32.7	23.6	
* 61.78' TO NEW CONSTRUCTION (REMOVE PORTION OF BUILDING)				
** 39' TO NEW CONSTRUCTION (REMOVE PORTION OF BUILDING)				
PARKING				
GROSS FLOOR AREA			4,290	
REQUIRED SPACES (4,290 SQ. FT. / 165 SQ. FT.)			26	
SPACES PROVIDED				
STANDARD SPACES			20	
SMALL CAR SPACES			5	
ACCESSIBLE SPACES			1	
TOTAL =			26	

PROPOSED CONDITIONS

ZONING LOCATION SURVEY
PREPARED FOR
COMMERCE PARK CHILDREN'S DENTISTRY AND ORTHODONTICS
1580 POST ROAD EAST
WESTPORT, CONNECTICUT

SCALE: 1 IN. = 10 FT. DATE: JANUARY 5, 2017

RICHARD W. PLAIN, JR.
REGISTERED LAND SURVEYORS
29 Hunters Run
Milford, Connecticut 06460-3762
Ph: (203) 878-3818
Fax: (203) 876-1393
Email: richardplain@sbcglobal.net
Website: www.richardplain.com

THIS MAP IS NOT VALID IF ALTERED BY ANYONE OTHER THAN ORIGINAL SURVEYOR.

FIELD SURVEY CONFORMS TO METHODS RECOMMENDED IN A CLASS "A-2" SURVEY

THIS MAP IS NOT VALID UNLESS EMBOSSED WITH SEAL OF CERTIFYING SURVEYOR

Certified substantially correct.
Richard W. Plain, Jr.
Richard W. Plain, Jr., L.S., CT. Reg. # 70091

Richard W. Plain
LAND SURVEYORS
www.richardplain.com

6. **1580 Post Road East** (Façade Renovations) (No date on plans)

Appeared: Howard Lathrop, Architect

Mr. Blank said the building is the former site of a consignment business and there is nothing conforming about the building. The clients are an orthodontic and pedatric dental group. He described the project:

- Remove a portion of a shed on the west elevation for parking
- The stucco over concrete block exterior will be repaired and painted
- Several 4 x 4 windows will be added around the building
- A new entrance will be created on the east elevation
- The garage door opening at the front of the building will remain and be filled in with windows
- The stucco front elevation will be repaired and painted
- The wood columns on the front will be repaired and painted
- New asphalt roof incudes solar panels on the west side
- The rear entrance has a new cantilevered porch
- Colors are white with teal blue trim
- New trees and shrubs will be planted at the front and sides of the building

Board members had no questions. Vesna Herman said that they are making nice, minor changes on a tight budget. Jon Halper and Ward French agreed.

The board agreed that the renovation plans are fine.

APPLICATION IS RECOMMENDED FOR APPROVAL AS PRESENTED (Unanimous)

Sally Palmer

Recording Secretary