

SITE PLAN / SPECIAL PERMIT APPLICATION

WESTPORT PLANNING and ZONING COMMISSION

FOR OFFICE USE ONLY

- SITE PLAN
 SPECIAL PERMIT & SITE PLAN
 CAM SITE PLAN

Application # 16-057
Submission Date: 11-4-16
Receipt Date: 11-10-16
Fee: 710.00

1. Property Address (as listed in the Assessor's records) 35 BEACHSIDE AVENUE

2. Property ID# (9 Digits - staff will provide) _____ Zone: RES. AAA

3. This property is connected to: Septic or Sewer

4. Does this project involve demolition of structures 50+ yrs old or more? No If Yes = Visit HDC Rm 108, 341-1184.

5. Applicant's Name GREENS FARMS ACADEMY Daytime Tel # 203-256-3247

Applicant's Full Address c/o JOHN F. FALLON, ESQ.
53 SHERMAN ST. FAIRFIELD, CT Zip Code 06824

E-Mail: jffallon@snet.net

6. Owner of Record GREENS FARMS ACADEMY Daytime Tel # c/o JOHN F. FALLON, ESQ.
203-256-3247

Owner's Address 35 BEACHSIDE AVENUE, WESTPORT, CT Zip Code: 06880

E-Mail: c/o JOHN F. FALLON - jffallon@snet.net

7. Agent's Name (if different): JOHN F. FALLON, ESQ. Daytime Tel # 203-256-3247

Agent's Address 53 SHERMAN ST. FAIRFIELD, CT Zip Code: 06824

E-Mail: jffallon@snet.net

8. Zoning Board of Appeals Case # (if any) dna

9. Existing Uses of Property: SCHOOL (AS PER SEC. 11-2.2.2)

10. Describe Proposed Project: SEE STATEMENT OF USE (ATTACHED)

RECEIVED

NOV 04 2016

WESTPORT P. & Z. C.

11. For Special Permits, please indicate the Special Permit Use and the specific section of the Zoning Regulations requiring a Special Permit for this use: SECTION 11-2.2.2

12. This property is is Not within 500 feet of an adjoining municipality.

13. Estimated time needed for presentation at hearing: 30 MINUTES

The P&Z Director, his/her designee, or the P&Z Commission may require an applicant to pay for hiring one or more outside consultants to assist the P&Z staff and Commission in analyzing, reviewing and reporting on areas requiring technical review.

I hereby certify that the above information is correct and that I have submitted herewith all of the pertinent documentation required by the zoning application.
GREENS FARMS ACADEMY GREENS FARMS ACADEMY

Applicant's Signature (if different than owner)

Owner's Signature (Must be signed¹)

1. If the applicant is unable to obtain the signature of property owner, a letter of authorization signed by the property owner may be submitted instead, as per §43-3.3

BY: JOHN F. FALLON, ESQ.,
IT'S ATTORNEY

BY: JOHN F. FALLON, ESQ.,
IT'S ATTORNEY

Westport Coastal Site Plan Review Application Form

For non-exempt projects to be submitted to **Westport Planning & Zoning Commission** or **Zoning Board of Appeals**. Please complete this form as per attached instructions and submit it to P&Z with the appropriate number of plans listed.

For Application Fees: See *Appendix A "Land Use Fees,"* located at the end of "The Westport Regulations"

Page 1 of 8

Section I: Applicant Identification

Date: 11/1/2016

| | |
|--|---|
| Applicant: <u>Greens Farms Academy</u> | Day Time Tel: <u>203-256-0717</u> |
| Address: <u>35 Beachside Avenue</u> | E-Mail: <u>jffallon@snet.net</u> |
| City/Town: <u>Westport</u> | State: <u>CT</u> Zip Code: <u>06880</u> |
| Project Address or Location: <u>Greens Farms Academy</u> | RECEIVED NOV 04 2016 - 057 WESTPORT P. & Z. C. |
| <u>35 Beachside Avenue</u> | |
| <u>Westport, CT 06880</u> | |
| Property Owner: <u>Greens Farms Academy</u> | Day Time Tel: <u>203-256-0717</u> |
| Mailing Address: <u>35 Beachside Avenue</u> | E-Mail: <u>jffallon@snet.net</u> |
| City/Town: <u>Westport</u> | State: <u>CT</u> Zip Code: <u>06880</u> |
| List primary project representative for correspondence if other than applicant: | |
| Name: _____ | Day Time Tel: _____ |
| Address: _____ | E-Mail: _____ |
| City/Town: _____ | State: _____ Zip Code: _____ |

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, also check the appropriate boxes below to indicate that the plans are included in this application:

- Project location.
- Existing and proposed conditions, including buildings and grading.
- Coastal resources on and contiguous to the site.
- High tide line [as defined in CGS § 22a-359(c)] and mean high water mark elevation, contours (for parcels abutting coastal waters and/or tidal wetlands only.)
- 25-year and 100-year flood lines, if applicable.
- FEMA flood zone lines.
- Soil erosion and sediment controls.
- Storm water treatment practices.
- Ownership of adjacent properties.
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Town of Westport Coastal Area Application Form

Section III: Written Project Information

Check the box to identify the plan or application that resulted in this Coastal Site Plan Review:

- CAM Site Plan Approval.
- Subdivision or Re-subdivision.
- Special Permit and CAM Site Plan Approval.
- Variance from the Zoning Board of Appeals.
- Municipal Project (CGS §8-24).

Part I: Site Information

1. Street Address 35 Beachside Avenue
PID#: (9 Digits – staff will provide _____) Zone: Residence AAA
Gross Lot Area: 45.056 acres
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?
 YES NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
New Creek
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, and significant features of the project site: The site is used for a K-12 co-educational college preparatory day school. There is a main school building, a separate indoor athletics building, three separate residence buildings, and one separate maintenance building existing on site. The remainder of the site is comprised of outdoor active recreation facilities. Land use on adjacent sites is primarily residential along with some open space parcels.

5. Indicate the area of the project site in acres 3.0 or square feet _____
6. Check the appropriate box below to indicate whether the project or activity will disturb 5 acres or more total acres of land area (please also see Part II.B regarding proposed storm water best management practices):
 - Project or activity **will** disturb 5 or more total acres of land area on the site and may be eligible for registration for the Department of Environmental Protection’s (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
 - Project or activity will **not** disturb 5 or more total acres of land area

Town of Westport Coastal Area Application Form

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The proposed project calls for the reconstruction of the existing main parking lot, a reconfiguration of the driveways, drop-off loop and the construction of new expanded parking areas. The proposed work will result in a net increase of 97 parking spaces. The new parking areas will be constructed to the north of the existing parking lot, and will service both the school and the newly constructed Winter Sports Building. Parking stalls will be constructed with porous asphalt pavement, while driveways and aisles will be constructed using standard bituminous concrete pavement. Stormwater runoff not intercepted by the porous pavements will be captured via traditional stormwater management structures including catch basins. Captured runoff will be collected and detained in proposed infiltration galleries sized to accommodate flows associated with a 25-year storm event.

Under the proposed plan, additional improvements and renovations will be made at the site, including the addition of light fixtures, sidewalks, and landscaping. The pre-construction site preparation will consist of removing and stockpiling topsoil. Erosion from the stockpile will be controlled by placement of a silt fence. The stockpile will be vegetated if it is left in place for a period of more than 30 days. Construction is expected to begin Spring 2017.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands.

If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary, or indicate on plans):

Stormwater on this site is currently collected and discharged directly near the high tide line through four existing outfalls. The runoff generated from parking lot and driveways will be routed through stormwater infiltration galleries sized to collect and infiltrate flows associated with a 25-year storm event. The overflow from the infiltration galleries will connect to existing on-site storm drainage, which is directed to an existing depression and infiltration area prior to the tidal wetlands. In addition, the stormwater system has been sized to infiltrate the first 1" of runoff from impervious surfaces.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Town of Westport Coastal Area Application Form

| Coastal Resources | On-site | Adjacent | Off-site but within the influence of project | Not Applicable |
|---|----------------|-----------------|---|-----------------------|
| General Coastal Resources* - Definition: CGS § 22a-93(7); Policy: CGS Section 22a-92(a)(2) | X | X | X | |
| Beaches & Dunes - Definition: CGS § 22a-93(7)(C); Policies: CGS §§ 22a-92-(b)(2)(C) and 22a-92(c)(1)(K) | | X | | |
| Bluffs & Escarpments - Definition: CGS § 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A) | | X | | |
| Coastal Hazard Area - Definition: CGS §22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B) | X | | | |
| Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS § 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS § 22a-92(a)(2) and 22a-92(c)(2)(A) | | | | X |
| Developed Shorefront - Definition: CGS § 22a-93(7)(I); Policy: 22a-92(b)(2)(G) | | | | X |
| Freshwater Wetlands and Watercourses - Definition: CGS § 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2) | | X | | |
| Intertidal Flats - Definition: CGS § 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K) | | X | | |
| Islands - Definition: CGS § 22a-93(7)(J); Policy: CGS § 22a-92(b)(2)(H) | | | | X |
| Rocky Shorefront - Definition: CGS § 22a-93(7)(B); Policy: CGS § 22a-92(b)(2)(B) | | X | | |
| Shellfish Concentration Areas - Definition: CGS § 22a-93(7)(N); Policy: CGS § 22a-92(c)(1)(I) | | | | X |
| Shorelands - Definition: CGS § 22a-93(7)(M); Policy: CGS § 22a-92(b)(2)(I) | | | | X |
| Tidal Wetlands - Definition: CGS § 22a-93(7)(E); Policies: CGS §§ 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B) | | X | | |

* General Coastal Resource policy is applicable to **all** proposed activities

Town of Westport Coastal Area Application Form

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards,; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary)

See attached

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS § 22a-92 applicable to the proposed project or activity:

- General Development*** - CGS § 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses**** - CGS § 22a-92(a)(3) and 22a-92(b)(1)(A); definition CGS § 22a-93(16)
- Ports and Harbors** - CGS § 22a-92(b)(1)(C)
- Coastal Structures and Filling** - CGS § 22a-92(b)(1)(D)
- Dredging and Navigation** - CGS § 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating** - CGS § 22a-92(b)(1)(G)
- Fisheries** - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access** - CGS § 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines** - CGS § 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials** - CGS § 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation** - CGS § 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste** - CGS § 22a-92(a)(2)
- Dams, Dikes and Reservoirs** - CGS § 22a-92(a)(2)
- Cultural Resources** - CGS § 22a-92(b)(1)(J)
- Open Space and Agricultural Lands** - CGS § 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Town of Westport Coastal Area Application Form

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS §§ 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

The proposed project complies with coastal use policy regarding general development which states "development, preservation or use of the land and water resources of the coastal area in a manner consistent with the capability of the land and water resources to support development, preservation, or use without significantly disrupting either the natural environment or sound economic growth." In addition, proposed construction-related sediment and erosion control measures will mitigate disruptions to the natural environment.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS § 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

| Potential Adverse Impacts on Coastal Resources | Applicable | Not Applicable |
|---|-------------------|-----------------------|
| Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H) | | X |
| Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E) | | X |
| Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B) | | X |
| Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D) | | X |
| Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C) | X | |
| Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F) | | X |
| Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A) | X | |

Town of Westport Coastal Area Application Form

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

The proposed activities will not degrade the water quality in compliance with the coastal resource policies. According to the 2004 Connecticut Stormwater Quality Manual by the Connecticut Department of Energy & Environmental Protection (CT DEEP), pollutant removal efficiency of infiltration galleries is anticipated to be similar to that of infiltration trenches and basins. Infiltration trenches are listed by the DEEP for primary treatment and are capable of significantly reducing sediment, phosphorus, nitrogen, and metals and partially reducing pathogens and dissolved pollutants. In addition, infiltration galleries significantly capture and recharge ground water.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts are expected to remain. The proposed stormwater design is consistent with the parameters outlined in the Connecticut Stormwater Quality Manual published by the DEEP and is intended to provide water quality treatment and renovation. Construction-related stormwater will be handled through implementation of the sediment and erosion control plan.

SUPPORTING MATERIAL/DOCUMENTATION

The P&Z Commission or the Zoning Board of Appeals may request the submission of such additional information that it deems necessary in order to reach a decision on the application. Include any additional information, list any supplemental materials (plans, report, etc.) that are being submitted in support of this application.

I hereby certify that the above information is correct and that I have submitted herewith all of the pertinent documentation required by the Town of Westport Zoning Regulations.

Applicant's Signature: Greens Farms Academy by John Fallon, Esq. Date: 11/3/16

*Owner's Signature (if different from owner) Date
* A letter of authorization from the owner may be submitted if the applicant is unable to obtain the owner's signature on this form.

Part IV:

Consistency with Applicable Coastal Resource Policies and Standards

Coastal Resource mapping of the project area is attached. This map was developed from the map entitled "Coastal Resources" prepared by the Department of Environmental Protection dated 1979. This map depicts a Coastal Flood Hazard Area on or near the project site. In addition, beaches and dunes, modified bluffs and escarpments, freshwater wetlands and/or undesignated tidal wetlands, and rocky shorefronts are shown to be located within 1/2 mile of the site. Based on site mapping by Milone & MacBroom, Inc., tidal wetlands are located on the property owned by Greens Farms Academy.

The proposed activities comply with coastal resource policies regarding general coastal resources through preservation of natural resources as demonstrated in this application.

Beaches and dunes are located approximately two-tenths of a mile to the southeast of the site. Implementation of a sedimentation and erosion control plan during construction will mitigate interference with erosion and sedimentation in the beach areas. The proposed development does not introduce any new structures below mean high water in accordance with the coastal resource policies. Proposed storm and water services do not extend into beach, barrier beach, and tidal wetland areas.

Modified bluffs and escarpments are located south of the site. These areas will not be impacted by the proposed development.

No buildings are proposed within the limits of the FEMA flood hazard area. This is consistent with both FEMA and coastal resource policies. Stormwater will be rerouted to infiltration galleries in accordance with the coastal resource policies "to minimize adverse impacts of erosion and sedimentation on coastal land uses through the promotion of nonstructural mitigation measures," "to maintain the natural relationship between eroding and depositional coastal landforms," and "to promote nonstructural solutions to flood and erosion problems." Silt fences reinforced with hay bales and erosion control blankets will be used during construction to control construction related erosion and sedimentation.

Freshwater wetlands are located approximately 1/2 mile north and east of the site. There are no activities proposed directly in the wetland area.

Rocky shorefronts are located approximately one-tenth of a mile south of the site. No direct activities will occur on the rocky shorefronts. Construction-related impacts will be mitigated through sediment and erosion control measures. The proposed activities are in accordance with coastal resource policies for rocky shorefronts, which stipulate that "development proceeds in a manner that does not irreparably reduce the capability of the system to support a healthy intertidal biological community, to provide feeding grounds and refuge for shorebirds and finfish, and to dissipate and absorb storm and wave activities." No activities are proposed that would impact rocky shorefronts.

The natural characteristics and functions of beaches and dunes, rocky shorefronts, and bluffs will not be altered in accordance with CCMA definitions.

An area of tidal wetlands associated with New Creek is located on the Greens Farms Academy property as shown on the site plans accompanying this application.

EXCAVATION AND FILL APPLICATION

WESTPORT PLANNING AND ZONING COMMISSION

Page 1 of 7

- SPECIAL PERMIT & SITE PLAN
- CAM = COASTAL AREA
MANAGEMENT SITE PLAN

FOR OFFICE USE ONLY

Application # _____

Submission Date: _____

Receipt Date: _____

Fee: _____

1. Property Address: 35 Beachside Avenue
(As Listed on Assessor's Card available in Room 104)
2. PID # *(9 Digits - Staff will provide)* _____ Zone: Residence AAA
3. Does this project involve the demolition of any structures 50 yrs+ old? No If Yes = Visit HDC Rm 108, 341-1184.
4. This property is connected to: Septic or Sewer
5. Applicant's Name: Greens Farms Academy Daytime Tel #: 256-0717
- Applicant's Full Address: 35 Beachside Avenue, Westport, CT Zip Code: 06880
E-Mail: jffallon@snet.net
6. Owner of Record: Greens Farms Academy Daytime Tel #: 203-256-0717
Owner's Address: 35 Beachside Avenue, Westport, CT Zip Code: 06880
E-Mail: jffallon@snet.net
7. Zoning Board of Appeals Case # *(if any)* _____
8. Area of Project: +/- 3.0 acres Estimated Cubic Yards 2,500 (fill)
9. Average height/depth of Project: +1.2'
10. Description of the project: Reconstruction and expansion of an existing parking lot and driveways
11. This property Is Is NOT within 500 feet of an adjoining municipality.
12. Estimated time needed for this presentation: 30 minutes

The P&Z Director, his/her designee, or the P&Z Commission may require an applicant to pay for hiring one or more outside consultants to assist the P&Z staff and Commission in analyzing, reviewing, and reporting on areas requiring technical review.

I hereby certify that the above information is correct and that I have submitted all pertinent documentation required by the zoning application.

Greens Farms Academy
[Signature]
Applicant's Signature *(If different than owner)*

Greens Farms Academy
[Signature]
Owner's Signature *(Must be signed¹)*

1. If the applicant is unable to obtain the property owner's signature, an Authorization Letter signed by property owner may be submitted instead, as per §43-3.3

RECEIVED

NOV 04 2016 -051

WESTPORT P. & Z. C.

STATEMENT OF USE

Greens Farms Academy (“GFA”) makes this application for renovation and expansion of its parking facilities located on the campus.

The purpose of the renovation and expansion program as shown on the plans submitted herewith are to:

1. Improve traffic flow
2. Ensure that sufficient parking is provided to accommodate all parking needs of the School including occasional special functions or activities
3. Increase safety
4. Reduce environmental impacts associated with the parking areas

1) Improve Traffic Flow

The new design has both a continuous traffic loop and an increased drop off line area. The continuous loop will eliminate people parking to drop off their children and then backing up into the exiting traffic line. This will eliminate a source of frequent delays in the traffic flow. Similarly, an extended drop off line will enable more cars to be loaded/unloaded at the same time. This will allow for more cars to que inside the campus at peak hours, as well as allow for the movement of those vehicles at a more efficient rate. These modifications will therefore improve traffic flow on campus as well as at the entrance on Beachside Avenue and surrounding roads.

2) Provide Sufficient Parking to Meet the Needs of the School

Beyond the needs of students, faculty, and employees, GFA has a very active and involved parent body. With three different divisions there are events every week, sometimes every day, that bring our parents onto campus. There are over 100 meetings/events each year including Parents Association meetings, parent connection meetings, science fairs, book fairs,

athletic events, parent coffees, trustee visiting days, parent/teacher conferences, Thanksgiving Assembly, Lower School Halloween parade, homecoming, and graduation.

Additionally, the admissions department hosts potential applicants almost daily from September until January. Parking is very limited daily and it is therefore not uncommon for someone to have to circle the parking lot waiting for a space to become vacant. On occasion we have had to park people on the playing fields for large events and that has proven to be very damaging to the grounds. A major goal of this application is therefore to provide sufficient on campus parking to accommodate all special events as referenced above that occur on the campus. These improvements to parking will also improve traffic flow as it will alleviate circling throughout the drop off line in search of a space or parking in non-designated areas that can impede safe and efficient traffic flow.

3) Increase Safety

As referenced above, isolating the drop off loop from where people are parking and walking has a major and significant benefit with regard to safety as it reduces the likelihood of any vehicular collisions and/or accidents involving pedestrians. In addition, the extensive use of permeable pavement as proposed in this application will reduce ice and slippery conditions during the winter months also benefitting considerations of safety.

4) Reduce Environmental Impact


The permeable pavement that is proposed obviously has significant environmental benefits including better infiltration of storm water into the ground and the reduction of the amount of required ice melt needed in order to keep the lot clear of ice. In addition, improving the traffic flow as

referenced above will reduce the amount of gas used by cars waiting in line to pick up or drop off students and this will reduce our community's carbon footprint and improve air quality.

For all of the above referenced reasons, it is respectfully requested that this application be approved.

GREENS FARMS ACADEMY

BY:



JOHN F. FALLON, ESQ.,
IT'S ATTORNEY

Greens Farms Academy Circulation and Parking Improvements

35 Beachside Avenue, Westport, CT 06838

Issued for Site Permit

31 October 2016

Greens Farms Academy Circulation and Parking Improvements

35 Beachside Ave, Westport, CT 06838

Owner

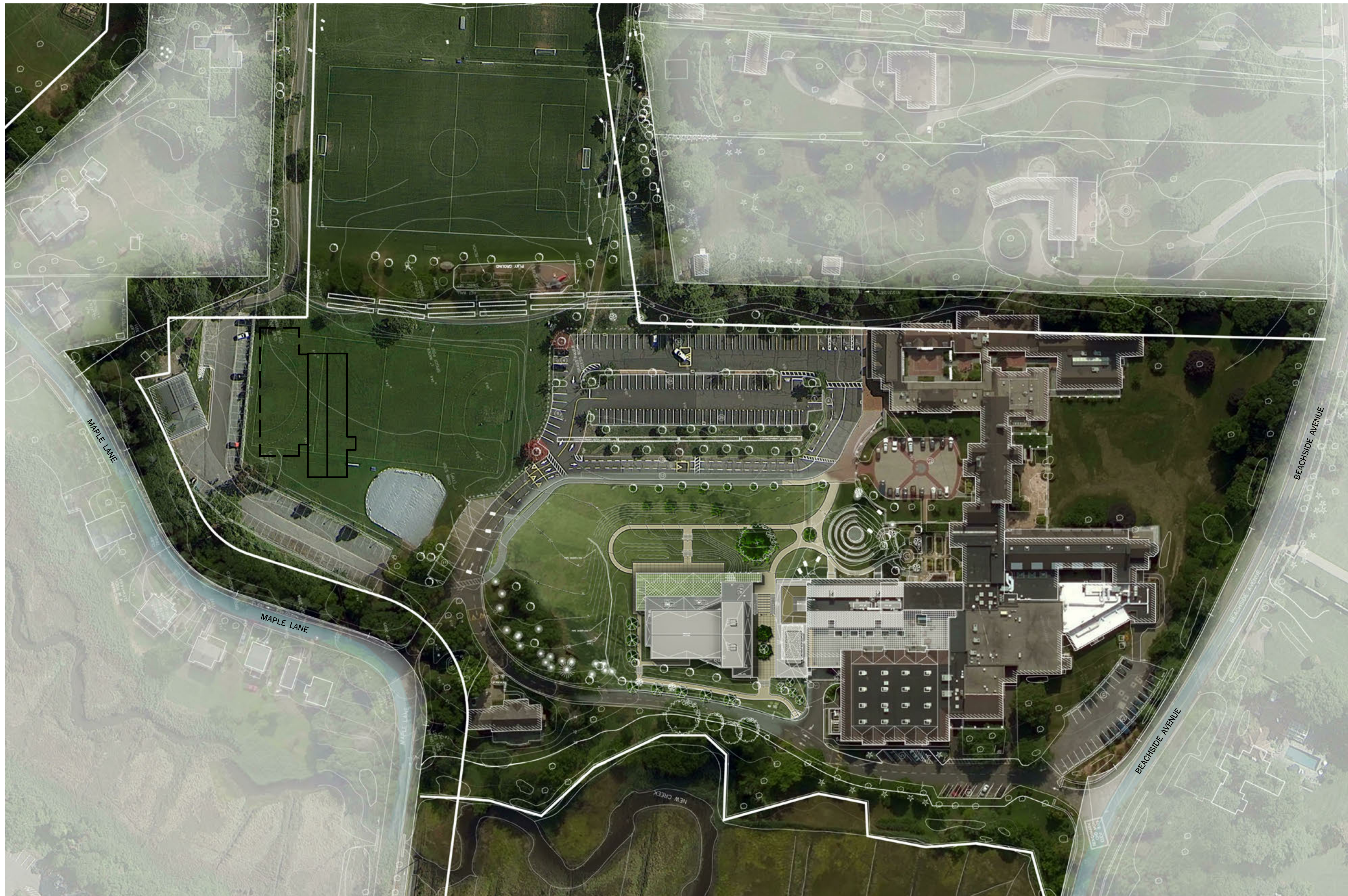
Greens Farms Academy
35 Beachside Avenue
Westport, Connecticut 06838
tel. 203.256.0717
www.gfacademy.org

Architect

Roger Ferris + Partners
11 Wilton Road
Westport, Connecticut 06880
tel. 203.222.4848
www.ferrisarch.com

Civil Engineer

Milone & MacBroom
99 Realty Drive
Cheshire, Connecticut 06410
tel. 203.271.1773
www.miloneandmacbroom.com



| Sheet List | | |
|--------------|------------|------------------|
| Sheet Number | Sheet Name | Sheet Issue Date |

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|--------|---|-------------|
| 0.00 | COVERSHEET, DRAWING LIST | 31 Oct 2016 |
| CLO.00 | ZONING DATA TABLES, NOTES & LEGENDS | 31 Oct 2016 |
| CL1.00 | SITE PLAN - EXISTING CONDITIONS | 31 Oct 2016 |
| CL2.00 | SITE PLAN - LAYOUT AND LANDSCAPING | 31 Oct 2016 |
| CL3.00 | SITE PLAN - GRADING, UTILITIES AND S & E CONTROLS | 31 Oct 2016 |
| CL4.00 | SEDIMENT & EROSION CONTROL NOTES AND DETAILS | 31 Oct 2016 |
| CL4.01 | SITE DETAILS | 31 Oct 2016 |
| CL4.02 | SITE DETAILS | 31 Oct 2016 |
| CL4.03 | SITE DETAILS | 31 Oct 2016 |

Engineer's Seal

Revisions

| No. | Description | Date | Issued To |
|-----|-------------|------|-----------|
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| | | | |
| | | | |
| | | | |
| | | | |

Project Status

Issued for Site Permit

Sheet Name

COVERSHEET, DRAWING LIST

PROJECT NUMBER:
DATE: **October 31, 2016**
SCALE: **1" = 60'-0"**

0.00

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GENERAL NOTES

- BOUNDARY INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: MILONE & MACBROOM, TAKEN FROM A MAP ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" PREPARED FOR GREENS FARMS ACADEMY AT A SCALE OF 1"=40', DATED: MARCH 25, 2016
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- MILONE & MACBROOM INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- TIDAL WETLANDS LOCATIONS ARE SHOWN AS FLAGGED AND FIELD LOCATED BY MILONE & MACBROOM, INC. IN OCTOBER OF 2004.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL AND BE SEEDED WITH GRASS AS SHOWN ON THE PLANS.
- ALL STORM DRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) UNLESS OTHERWISE INDICATED.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF WESTPORT REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 817 AND ADDENDUMS.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR35 UNLESS OTHERWISE INDICATED. PROPOSED CONNECTIONS TO EXISTING SANITARY STRUCTURES SHALL BE IN ACCORDANCE WITH CONNECTICUT DEEP STANDARDS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE DESIGNATED AGENT PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- ANY MAINTENANCE OR REFUELING OF EQUIPMENT AND VEHICLES SHALL BE PERFORMED AT LEAST 50' FROM WETLANDS OR WATERCOURSES. OIL, GASOLINE, AND CHEMICALS NEEDED AT THE SITE SHOULD BE STORED IN A SECONDARY CONTAINER AT LEAST 100' FROM WETLANDS OR WATERCOURSES TO PREVENT CONTAMINATION FROM POSSIBLE LEAKS. A SUPPLY OF ABSORBENT SPILL RESPONSE MATERIAL SHOULD BE AVAILABLE ON SITE TO CLEAN UP A SPILL OF HAZARDOUS MATERIAL SUCH AS GASOLINE OR OIL.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS USED DURING CONSTRUCTION SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL ELECTRICAL AND IRRIGATION (DESIGNED BY OTHERS) WORK WITH THE OWNERS REPRESENTATIVE TO VERIFY THAT TREES CALLED OUT TO REMAIN WILL NOT BE DAMAGED BY TRENCHING APPARATUS AND INSTALLATION OF WIRING AND PIPING IN THE VICINITY OF THESE TREES.
- THE CONTRACTOR SHALL TEST ALL STOCKPILED TOPSOIL FOR ORGANIC CONTENT. SEE SPECIFICATIONS.
- ALL ELECTRICAL LINES AND STRUCTURES HAVE BEEN DESIGNED BY OTHERS. MILONE & MACBROOM, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY AND DATA OF MAPS PROVIDED BY OTHERS.
- ALL STORM PIPES TO BE "TIGHT PIPE" WITH RUBBER GASKETED JOINTS WHEN WITHIN 25' OF SEPTIC LEACHING AREA.

CONSTRUCTION SEQUENCE

- PRIOR TO COMMENCEMENT OF WORK A PRECONSTRUCTION MEETING SHALL BE HELD WITH TOWN STAFF AND REPRESENTATIVES OF THE CONTRACTOR AND OWNER. AT THIS MEETING, ONE PERSON WILL BE PLACED IN CHARGE OF SEDIMENT AND EROSION CONTROLS FOR THE ENTIRE SITE. DURING THIS MEETING THE REMOVAL OF VEGETATION WILL BE DISCUSSED (SEE NOTE #2).
- CONTRACTOR TO STAKE OUT LIMIT OF DISTURBANCE AND VEGETATION TO BE RETAINED. NO DISTURBANCE IS TO TAKE PLACE BEYOND THE LIMITS OF WORK SHOWN. NO CONSTRUCTION EQUIPMENT OR ACTIVITY IS TO TAKE PLACE BEYOND THESE LIMITS.
- CONTRACTOR TO INSTALL SEDIMENT AND EROSION CONTROLS ALONG THE PERIMETER AND INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- CLEAR AND GRUB SITE AND STOCKPILE TOPSOIL. PLACE SEDIMENT FILTER FENCE AND HAYBALES AROUND STOCKPILES.
- CONTRACTOR TO INSTALL DIVERSION BERMS AND SEDIMENT BASINS PER THE SEDIMENT AND EROSION CONTROL PLAN.
- SILT FENCES AND HAY BALE BARRIERS ARE TO BE INSTALLED PRIOR TO MASS EXCAVATION.
- INITIATE MASS EARTHWORK OPERATIONS AFTER ALL BASINS, BERMS, SWALES, SILT FENCE & HAYBALES ARE INSTALLED.
- SLOPES ARE TO BE ESTABLISHED AS SOON AS PRACTICAL BEFORE UTILITY INSTALLATION. STABILIZE ALL SLOPES IMMEDIATELY AFTER THEIR ESTABLISHMENT.
- INSTALL RETAINING WALLS, UTILITIES, CURBS, ROADS AND BUILDING FOUNDATIONS.
- THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AS NECESSITATED BY CHANGING SITE CONDITIONS.
- INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
- ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS. PUMP WATER DISCHARGE SHOULD BE DIRECTED TO AN AREA THAT IS FAIRLY LEVEL, HEAVILY VEGETATED, AND AS FAR AWAY FROM WATERCOURSES, AND STORMWATER CATCH BASINS AS POSSIBLE. DE-WATERING DISCHARGES SHOULD NEVER BE DISCHARGED TO STORMWATER CATCH BASINS, WATERCOURSE, OR WETLANDS. TEMPORARY SEDIMENTATION BASINS SHOULD BE SIZED FOR MAXIMUM PUMP RATES AND STRUCTURALLY ABLE TO WITHSTAND EXPECTED FLOW VELOCITY.
- THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS SUCH THAT NONE OF THE ABOVE ENTER WATERS OR WETLANDS.
- A COPY OF ALL PLANS AND REVISIONS, THE SEDIMENT AND EROSION CONTROL PLAN, AND A COPY OF THE STORMWATER GENERAL PERMIT, SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.

SITE PLAN DATA CHART

| DIMENSIONAL CRITERIA | | | |
|--|---------------------------|---|---|
| 35 BEACHSIDE AVE. | REQUIRED | EXISTING | PROPOSED/PROVIDED |
| ZONE | RESIDENCE AAA | RESIDENCE AAA | RESIDENCE AAA |
| USES | K-12 PRIVATE SCHOOL | K-12 PRIVATE SCHOOL | K-12 PRIVATE SCHOOL |
| LOT AREA | 2,000 AC. | 45,056 AC. (TOTAL), 42,955 AC. (SCHOOL) | 45,056 AC. (TOTAL), 42,955 AC. (SCHOOL) |
| SETBACKS: | FRONT REAR SIDE | FRONT REAR SIDE | FRONT REAR SIDE |
| | 50' MIN. 50' MIN. 50 MIN. | 50' MIN. 50' MIN. 50 MIN. | 50' MIN. 50' MIN. 50 MIN. |
| COVERAGE: | | | |
| BUILDING | 10% MAX. | 8.81% | 8.81% |
| TOTAL | 25% MAX. | 21.90% | 24.72% |
| FLOOR AREA | N/A | N/A | N/A |
| FLOOR AREA RATIO | N/A | N/A | N/A |
| BUILDING HEIGHT | 40' | 39.21' (EXISTING SCHOOL) | NO CHANGE |
| PARKING CRITERIA | TEACHING STATIONS | REQUIRED | PROPOSED/PROVIDED |
| PREVIOUSLY APPROVED WINTER SPORTS ADDITION | 74 | 259 | |
| PROPOSED PARKING IMPROVEMENTS | 74 (NO CHANGE) | 259 | 380 |

PROPOSED EARTHWORK ESTIMATES: CUT - 1,000 CY, FILL - 3,500 CY, NET - 2,500 CY (FILL)

EXISTING LOT AREA COVERAGE WORKSHEET

| BASE LOT CALCULATION (ALL ENTRIES IN SQUARE FEET - DO NOT WRITE IN SHADED AREA) | | |
|--|---|----------------------------|
| 1. | GROSS LOT AREA | =1,871,120 SF ² |
| 2. | ABOVE GROUND UTILITY EASEMENTS | 0 SF + |
| 3. | STREETS AND ROADS | 0 SF + |
| 4. | OTHER EXCLUSIVE SURFACE EASEMENTS | _____ + |
| 5. | TOTAL EASEMENTS AND ROADS (SUM OF LINES 2, 3, AND 4) | =0 SF |
| 6. | WETLAND AREA | 264,000 SF + |
| 7. | STEEP SLOPES OF 25% OR GREATER | _____ + |
| 8. | TOTAL WETLANDS AND STEEP SLOPES (SUM OF LINES 6 & 7) | = 264,000 SF |
| 9. | WETLANDS / SLOPES REDUCTION | 0.80 X LINE 8 = 211,200 SF |
| 10. | BASE LOT AREA LINES 1, MINUS LINE 5 AND LINE 9 | =1,659,920 SF |
| MAXIMUM LOT AREA COVERAGE CALCULATION | | |
| 11. | BASE LOT AREA (COPIES FROM LINE 10, ABOVE) | 1,659,920 |
| 12. | SQUARE FEET OF TOTAL COVERAGE | 363,443 SF ² |
| 13. | LINE 12 DIVIDED BY LINE 11 FOR A PERCENTAGE | 21.90% |
| 14. | SQUARE FEET OF BUILDING COVERAGE | 146,214 SF |
| 15. | LINE 14 DIVIDED BY LINE 11 FOR A PERCENTAGE | 8.81% |

IF LINE 13 AND LINE 15 ARE EQUAL TO OR LESS THAN THE PERCENTAGE FOR MAXIMUM PERMITTED BUILDING AND/OR TOTAL COVERAGE WITHIN THE ZONING DISTRICT, THE COVERAGE COMPLIES

PROPOSED LOT AREA COVERAGE WORKSHEET

| BASE LOT CALCULATION (ALL ENTRIES IN SQUARE FEET - DO NOT WRITE IN SHADED AREA) | | |
|--|---|----------------------------|
| 1. | GROSS LOT AREA | =1,871,120 SF ² |
| 2. | ABOVE GROUND UTILITY EASEMENTS | 0 SF + |
| 3. | STREETS AND ROADS | 0 SF + |
| 4. | OTHER EXCLUSIVE SURFACE EASEMENTS | _____ + |
| 5. | TOTAL EASEMENTS AND ROADS (SUM OF LINES 2, 3, AND 4) | =0 SF |
| 6. | WETLAND AREA | 264,000 SF + |
| 7. | STEEP SLOPES OF 25% OR GREATER | _____ + |
| 8. | TOTAL WETLANDS AND STEEP SLOPES (SUM OF LINES 6 & 7) | = 264,000 SF |
| 9. | WETLANDS / SLOPES REDUCTION | 0.80 X LINE 8 = 211,200 SF |
| 10. | BASE LOT AREA LINES 1, MINUS LINE 5 AND LINE 9 | =1,659,920 SF |
| MAXIMUM LOT AREA COVERAGE CALCULATION | | |
| 11. | BASE LOT AREA (COPIES FROM LINE 10, ABOVE) | 1,659,920 |
| 12. | SQUARE FEET OF TOTAL COVERAGE | 410,254 SF ² |
| 13. | LINE 12 DIVIDED BY LINE 11 FOR A PERCENTAGE | 24.72% |
| 14. | SQUARE FEET OF BUILDING COVERAGE | 146,214 SF |
| 15. | LINE 14 DIVIDED BY LINE 11 FOR A PERCENTAGE | 8.81% |

IF LINE 13 AND LINE 15 ARE EQUAL TO OR LESS THAN THE PERCENTAGE FOR MAXIMUM PERMITTED BUILDING AND/OR TOTAL COVERAGE WITHIN THE ZONING DISTRICT, THE COVERAGE COMPLIES

- THE GROSS LOT AREA INCLUDES PORTIONS OF 93 BEACHSIDE AVENUE RECENTLY APPENDED TO THE GREENS FARMS ACADEMY LOT AND DOES NOT INCLUDE 41 MAPLE LANE WHICH IS OWNED BY GREENS FARMS ACADEMY BUT IS LISTED AS A SEPARATE LOT ON WESTPORT ASSESSOR RECORDS.
 - THE TOTAL EXISTING COVERAGE INCLUDES EXISTING BUILDINGS, BASKETBALL COURTS, PATIOS OVER 3' ABOVE GRADE, COVERED PATIOS, PARKING AREA (REGARDLESS OF SURFACE TREATMENT), VEHICULAR DRIVEWAYS (REGARDLESS OF SURFACE TREATMENT, AND TENNIS COURTS WITH A 50% REDUCTION.
- THE TOTAL EXISTING COVERAGE EXCLUDES EXISTING SIDEWALKS, PATIOS LESS THAN 3' ABOVE GRADE, GRASS PAVER EMERGENCY ACCESSWAY, INTERIOR COURTYARDS, SYNTHETIC FIELD TURF.

- THE GROSS LOT AREA INCLUDES PORTIONS OF 93 BEACHSIDE AVENUE RECENTLY APPENDED TO THE GREENS FARMS ACADEMY LOT AND DOES NOT INCLUDE 41 MAPLE LANE WHICH IS OWNED BY GREENS FARMS ACADEMY BUT IS LISTED AS A SEPARATE LOT ON WESTPORT ASSESSOR RECORDS.
 - THE TOTAL PROPOSED COVERAGE INCLUDES BOTH EXISTING AND PROPOSED BUILDINGS, BASKETBALL COURTS, PATIOS OVER 3' ABOVE GRADE, COVERED PATIOS, PARKING AREA (REGARDLESS OF SURFACE TREATMENT), VEHICULAR DRIVEWAYS (REGARDLESS OF SURFACE TREATMENT, AND TENNIS COURTS WITH A 50% REDUCTION.
- THE TOTAL PROPOSED COVERAGE EXCLUDES BOTH EXISTING AND PROPOSED SIDEWALKS, PATIOS LESS THAN 3' ABOVE GRADE, GRASS PAVER EMERGENCY ACCESSWAY, INTERIOR COURTYARDS, SYNTHETIC FIELD TURF.

PARKING DATA TABLE

| EXISTING | PROPOSED | INCREASE |
|----------|----------|----------|
| 283 | 380 | 97 |

LEGEND

| EXISTING | PROPOSED | EXISTING | PROPOSED |
|----------|------------------------------|----------|----------------------------|
| | BUILDING SETBACK LINE | | SANITARY SEWER W/MANHOLE |
| | MAJOR CONTOUR | | STORM DRAIN W/CATCH BASIN |
| | MINOR CONTOUR | | WATER MAIN |
| | GROUNDWATER CONTOUR | | DOMESTIC WATER |
| | SPOT GRADE | | FIRE PROTECTION WATER |
| | TIDAL WETLANDS | | GAS MAIN |
| | TREE LINE | | ELECTRIC LINE |
| | TREE/SHRUB | | ELECTRIC, TELEPHONE, CABLE |
| | STONEWALL | | TRAFFIC SIGN |
| | SITE LIGHT | | IRON PIPE |
| | HYDRANT | | MONUMENT |
| | WATER METER | | FLAG POLE |
| | WATER VALVE | | EDGE OF PAVEMENT W/CURB |
| | GAS VALVE | | RETAINING WALL |
| | CATCH BASIN | | SIDEWALK |
| | MANHOLE/YARD DRAIN/AREA DRN. | | |
| | HEDGE | | |

LIST OF DRAWINGS

| NO. | NAME | TITLE |
|-----|--------|---|
| 01 | CL0.00 | ZONING DATA TABLES, NOTES & LEGENDS |
| 01 | CL1.00 | SITE PLAN - EXISTING CONDITIONS |
| 02 | CL2.00 | SITE PLAN - LAYOUT AND LANDSCAPING |
| 03 | CL3.00 | SITE PLAN - GRADING, UTILITIES AND S & E CONTROLS |
| 05 | CL4.00 | SEDIMENT & EROSION CONTROL NOTES AND DETAILS |
| 06 | CL4.01 | SITE DETAILS |
| 07 | CL4.02 | SITE DETAILS |
| 08 | CL4.03 | SITE DETAILS |

Project Name and Location
Greens Farms Academy
Circulation and Parking
Improvements
 35 Beachside Ave, Westport, CT 06838

Owner
Greens Farms Academy
 35 Beachside Avenue
 Westport, Connecticut 06838
 tel. 203.256.0717
 www.gfacademy.org

Architect
Roger Ferris + Partners
 11 Wilton Road
 Westport, Connecticut 06880
 tel. 203.222.4848
 www.ferrisarch.com

Civil Engineer
Milone & MacBroom
 99 Realty Drive
 Cheshire, Connecticut 06410
 tel. 203.271.1773
 www.miloneandmacbroom.com

Engineer's Seal

Revisions

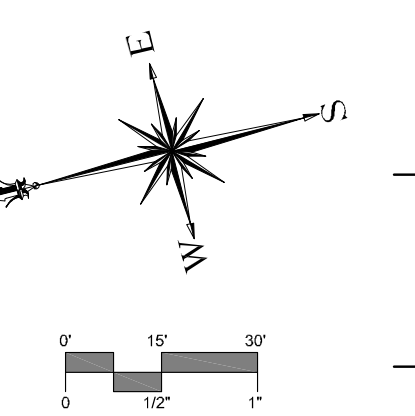
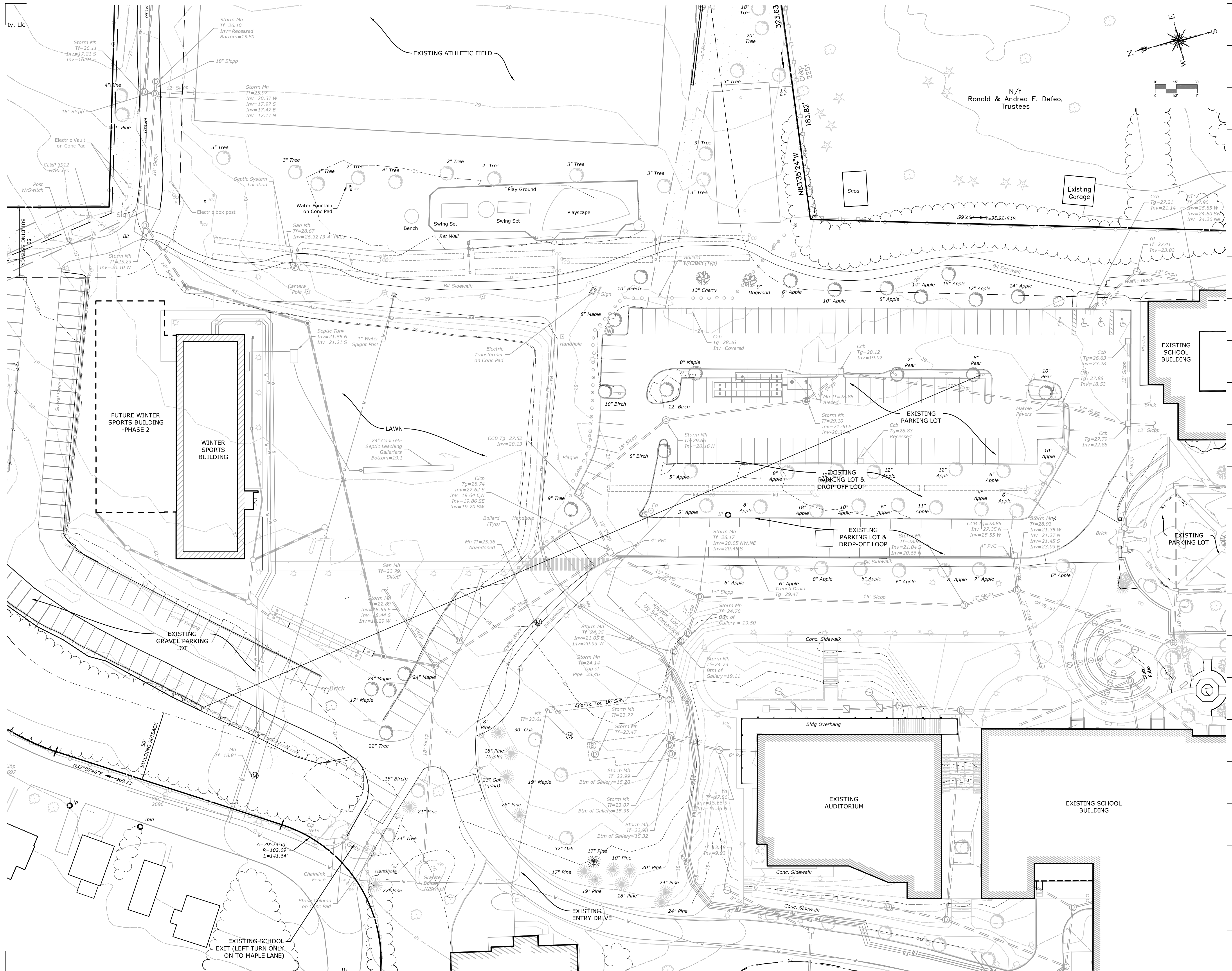
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Project Status
Issued for Site Permit

Sheet Name
ZONING DATA TABLES, NOTES & LEGENDS

PROJECT NUMBER: 5690-02
DATE: October 31, 2016
SCALE: 1" = 30'-0"

CLO.00
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Project Name and Location
Greens Farms Academy
Circulation and Parking
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 35 Beachside Ave, Westport, CT 06888

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Project Status
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Sheet Name
SITE PLAN - EXISTING CONDITIONS

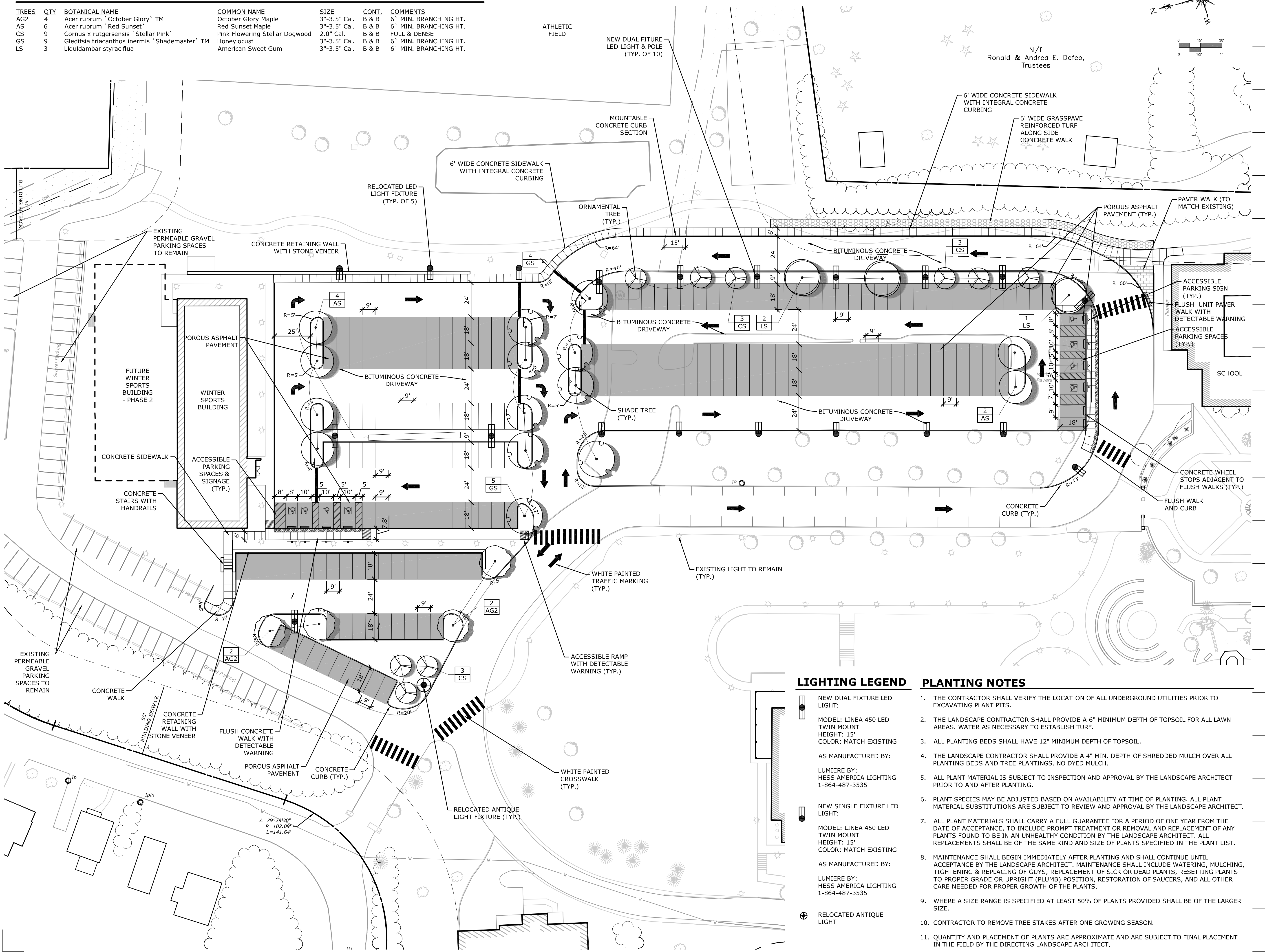
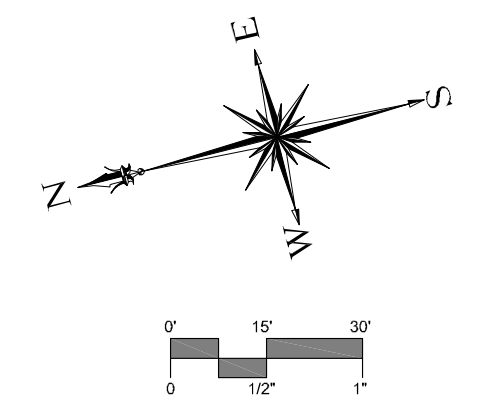
PROJECT NUMBER: 5690-02
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PLANT SCHEDULE

| TREES | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONT. | COMMENTS |
|-------|-----|--|--------------------------------|--------------|-------|-----------------------|
| AG2 | 4 | Acer rubrum 'October Glory' TM | October Glory Maple | 3"-3.5" Cal. | B & B | 6' MIN. BRANCHING HT. |
| AS | 6 | Acer rubrum 'Red Sunset' | Red Sunset Maple | 3"-3.5" Cal. | B & B | 6' MIN. BRANCHING HT. |
| CS | 9 | Cornus x rutgersensis 'Stellar Pink' | Pink Flowering Stellar Dogwood | 2.0" Cal. | B & B | FULL & DENSE |
| GS | 9 | Gleditsia triacanthos inermis 'Shademaster' TM | Honeylocust | 3"-3.5" Cal. | B & B | 6' MIN. BRANCHING HT. |
| LS | 3 | Liquidambar styraciflua | American Sweet Gum | 3"-3.5" Cal. | B & B | 6' MIN. BRANCHING HT. |

POROUS ASPHALT PAVEMENT
=30,435 SF



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Project Status
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Sheet Name
SITE PLAN - LAYOUT & LANDSCAPING

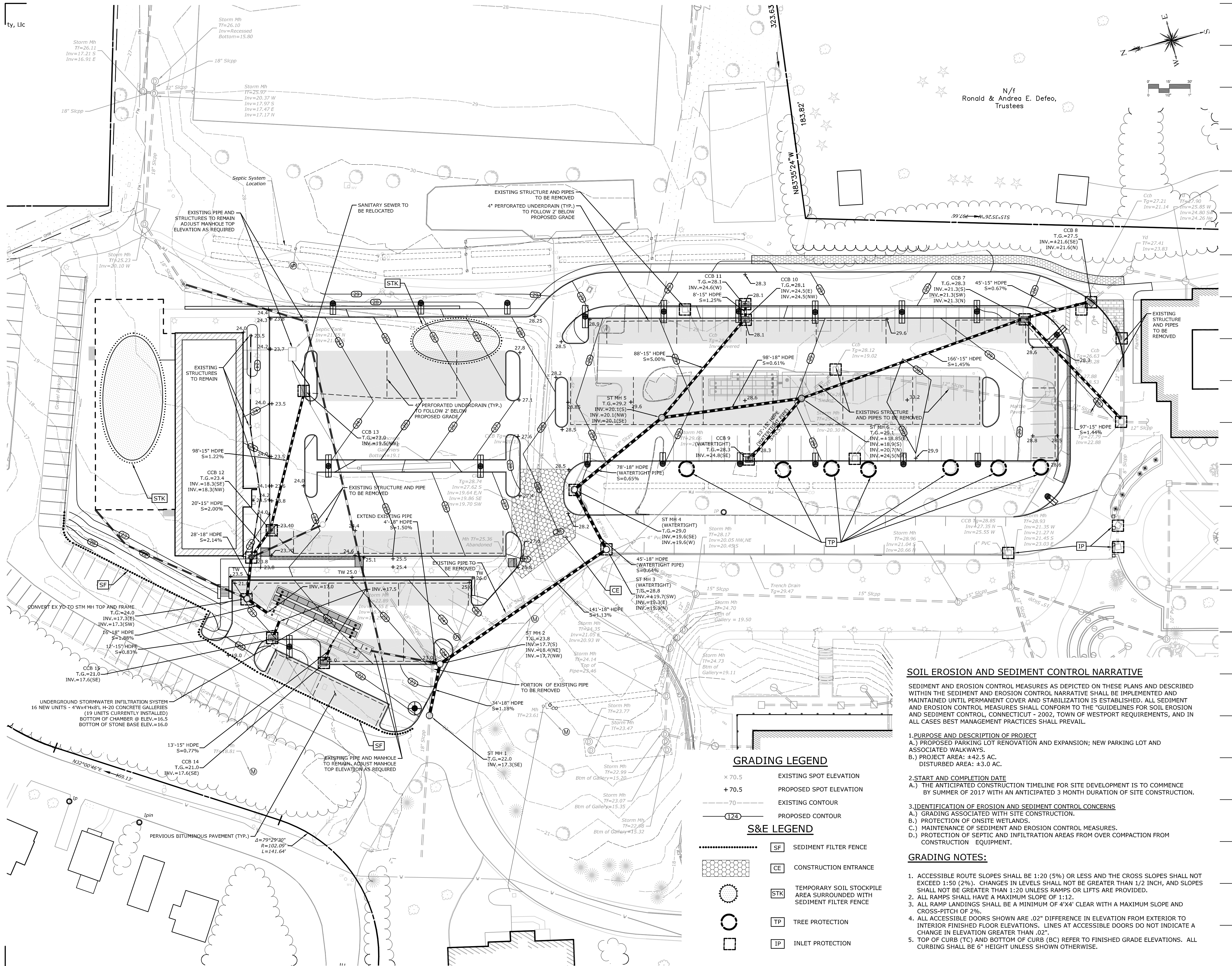
PROJECT NUMBER: 5690-02
 DATE: October 31, 2016
 SCALE: 1" = 30'-0"

LIGHTING LEGEND

- NEW DUAL FIXTURE LED LIGHT:
 MODEL: LINEA 450 LED TWIN MOUNT
 HEIGHT: 15'
 COLOR: MATCH EXISTING
 AS MANUFACTURED BY:
 LUMIERE BY:
 HESS AMERICA LIGHTING
 1-864-487-3535
- NEW SINGLE FIXTURE LED LIGHT:
 MODEL: LINEA 450 LED TWIN MOUNT
 HEIGHT: 15'
 COLOR: MATCH EXISTING
 AS MANUFACTURED BY:
 LUMIERE BY:
 HESS AMERICA LIGHTING
 1-864-487-3535
- RELOCATED ANTIQUE LIGHT

PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS. WATER AS NECESSARY TO ESTABLISH TURF.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTling PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. QUANTITY AND PLACEMENT OF PLANTS ARE APPROXIMATE AND ARE SUBJECT TO FINAL PLACEMENT IN THE FIELD BY THE DIRECTING LANDSCAPE ARCHITECT.



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Engineer's Seal

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Project Status
Issued for Site Permit

Sheet Name
SITE PLAN - GRADING, UTILITIES & SEDIMENT AND EROSION CONTROLS

PROJECT NUMBER: 5690-02
 DATE: October 31, 2016
 SCALE: 1" = 30'-0"

CL3.00
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SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, TOWN OF WESTPORT REQUIREMENTS, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

- PURPOSE AND DESCRIPTION OF PROJECT**
 - PROPOSED PARKING LOT RENOVATION AND EXPANSION; NEW PARKING LOT AND ASSOCIATED WALKWAYS.
 - PROJECT AREA: ±42.5 AC.
DISTURBED AREA: ±3.0 AC.
- START AND COMPLETION DATE**
 - THE ANTICIPATED CONSTRUCTION TIMELINE FOR SITE DEVELOPMENT IS TO COMMENCE BY SUMMER OF 2017 WITH AN ANTICIPATED 3 MONTH DURATION OF SITE CONSTRUCTION.
- IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS**
 - GRADING ASSOCIATED WITH SITE CONSTRUCTION.
 - PROTECTION OF ONSITE WETLANDS.
 - MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES.
 - PROTECTION OF SEPTIC AND INFILTRATION AREAS FROM OVER COMPACTION FROM CONSTRUCTION EQUIPMENT.

GRADING NOTES:

- ACCESSIBLE ROUTE SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/2 INCH, AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED.
- ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
- ALL RAMP LANDINGS SHALL BE A MINIMUM OF 4'X4' CLEAR WITH A MAXIMUM SLOPE AND CROSS-PITCH OF 2%.
- ALL ACCESSIBLE DOORS SHOWN ARE .02" DIFFERENCE IN ELEVATION FROM EXTERIOR TO INTERIOR FINISHED FLOOR ELEVATIONS. LINES AT ACCESSIBLE DOORS DO NOT INDICATE A CHANGE IN ELEVATION GREATER THAN .02".
- TOP OF CURB (TC) AND BOTTOM OF CURB (BC) REFER TO FINISHED GRADE ELEVATIONS. ALL CURBING SHALL BE 6" HEIGHT UNLESS SHOWN OTHERWISE.

GRADING LEGEND

- × 70.5 EXISTING SPOT ELEVATION
- + 70.5 PROPOSED SPOT ELEVATION
- 70 EXISTING CONTOUR
- 70 PROPOSED CONTOUR

S&E LEGEND

- SF SEDIMENT FILTER FENCE
- CE CONSTRUCTION ENTRANCE
- STK TEMPORARY SOIL STOCKPILE AREA SURROUNDED WITH SEDIMENT FILTER FENCE
- TP TREE PROTECTION
- IP INLET PROTECTION

SEDIMENT & EROSION CONTROL SPECIFICATIONS

GENERAL:

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES, AND WATER BODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

LAND GRADING

GENERAL:

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:

- a. THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- b. THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- c. THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
- d. PROVISION SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES
- e. EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING, OR CRACKING.
- f. NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES, OR WATER BODIES.
- g. PRIOR TO ANY RE-GRADING, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

TOPSOILING

GENERAL:

- 1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH, AND MAINTENANCE OF VEGETATION.
- 2. UPON ATTAINING FINAL SUBGRADES, SCARIFY SURFACE TO PROVIDE A GOOD BOND WITH TOPSOIL.
- 3. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS AND CONSTRUCTION DEBRIS.
- 4. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.

MATERIAL:

- 1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
- 2. TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE.
- 3. TOPSOIL SHOULD BE RELATIVELY FREE OF SUBSOIL MATERIAL AND MUST BE FREE OF STONES (OVER 1" IN DIAMETER), LUMPS OF SOIL, ROOTS, TREE LIMBS, TRASH, OR CONSTRUCTION DEBRIS. IT SHOULD BE FREE OF ROOTS OR RHIZOMES SUCH AS THISTLE, NUTGRASS, AND QUACKGRASS.
- 4. AN ORGANIC MATTER CONTENT OF SIX PERCENT (6%) IS REQUIRED. AVOID LIGHT COLORED SUBSOIL MATERIAL.
- 5. SOLUBLE SALT CONTENT OF OVER 500 PARTS PER MILLION (PPM) IS LESS SUITABLE. AVOID TIDAL MARSH SOILS BECAUSE OF HIGH SALT CONTENT AND SULFUR ACIDITY.
- 6. THE pH SHOULD BE MORE THAN 6.0. IF LESS, ADD LIME TO INCREASE pH TO AN ACCEPTABLE LEVEL.

APPLICATION

AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.

SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST SIX INCHES (6"), OR TO THE DEPTH SHOWN ON THE LANDSCAPING PLANS.

TEMPORARY VEGETATIVE COVER

GENERAL:

- 1. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED, AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED IF AREAS WILL NOT BE PERMANENTLY SEED BY SEPTEMBER 1.

SITE PREPARATION:

- 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- 3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQ. FT.).
- 4. APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQ. FT.) AND SECOND APPLICATION OF 200 LBS. OF 10-10-10 (5 LBS. PER 1,000 SQ. FT.) WHEN GRASS IS FOUR INCHES (4") TO SIX INCHES (6") HIGH. APPLY ONLY WHEN GRASS IS DRY.
- 5. UNLESS HYDROSEEDDED, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
- 6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

ESTABLISHMENT:

- 1. SELECT APPROPRIATE SPECIES FOR THE SITUATION. NOTE RATES AND SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION BELOW).
- 2. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- 3. UNLESS HYDROSEEDDED, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4" INCH OF SOIL USING SUITABLE EQUIPMENT.
- 4. MULCH IMMEDIATELY AFTER SEEDING IF REQUIRED. (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION BELOW.)
- 5. APPLY STRAW OR HAY MULCH AND ANCHOR TO SLOPES GREATER THAN 3% OR WHERE CONCENTRATED FLOW WILL OCCUR.

PERMANENT VEGETATIVE COVER

GENERAL:

- 1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF, AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION:

- 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- 3. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- 4. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
- 5. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
- 6. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:

SPREAD SEEDING: WORK DEEPLY IN SOIL, BEFORE SEEDING, 300 LBS. OF 10-10-10 FERTILIZER PER ACRE (7 LBS. PER 1,000 SQ. FT.); THEN SIX (6) TO EIGHT (8) WEEKS LATER, APPLY ON THE SURFACE AN ADDITIONAL 300 LBS. OF 10-10-10 FERTILIZER PER ACRE. AFTER SEPTEMBER 1, TEMPORARY VEGETATIVE COVER SHALL BE APPLIED.

FALL SEEDING: WORK DEEPLY IN SOIL, BEFORE SEEDING, 600 LBS. OF 10-10-10 FERTILIZER PER ACRE (14 LBS. PER 1,000 SQ. FT.).

VEGETATIVE COVER SELECTION & MULCHING

TEMPORARY VEGETATIVE COVER:

PERENNIAL RYEGRASS 3 LBS./1,000 SQ.FT. (LOLIUM PERENNE)

PERMANENT VEGETATIVE COVER:

HART'S WEAR 'N TEAR LAWN SEED MIXTURE
 35% KENTUCKY BLUEGRASS
 35% CREEPING RED FESCUE
 20% FIESTA 4 PERENNIAL RYEGRASS
 10% EXPRESS II PERENNIAL RYEGRASS

SEEDING RATE: 5 lbs per 1,000 s.f.

TEMPORARY MULCHING:

STRAY OR HAY 70-90 LBS./1,000 SQ.FT. (TEMPORARY VEGETATIVE AREAS)

WOOD FIBER IN HYDROMULCH SLURRY 25-50 LBS./1,000 SQ. FT.

ESTABLISHMENT:

- 1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
- 2. SELECT ADAPTED SEED MIXTURE FOR THE SPECIFIC SITUATION. NOTE RATES AND THE SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING SPEC. BELOW).
- 3. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- 4. COVER GRASS AND LEGUME SEED WITH NOT MORE THAN 1/4" INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
- 5. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO TEMPORARY MULCHING SPECIFICATIONS. (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION BELOW).
- 6. USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATES WHEN HYDROSEEDING.
- 7. USE SOD WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IN CRITICAL AREAS WHERE IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER TO PREVENT EROSION.

MAINTENANCE:

- 1. TEST FOR SOIL ACIDITY EVERY THREE (3) YEARS AND LIME AS REQUIRED.
- 2. ON SITES WHERE GRASSES PREDOMINATE, BROADCAST ANNUALLY 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (12 LBS. PER 1,000 SQ. FT.) OR AS NEEDED ACCORDING TO ANNUAL SOIL TESTS.
- 3. ON SITES WHERE LEGUMES PREDOMINATE, BROADCAST EVERY THREE (3) YEARS OR AS INDICATED BY SOIL TEST 300 POUNDS OF 0-20-20 OR EQUIVALENT PER ACRE (8 LBS PER 1,000 SQ. FT.).

EROSION CHECKS

GENERAL:

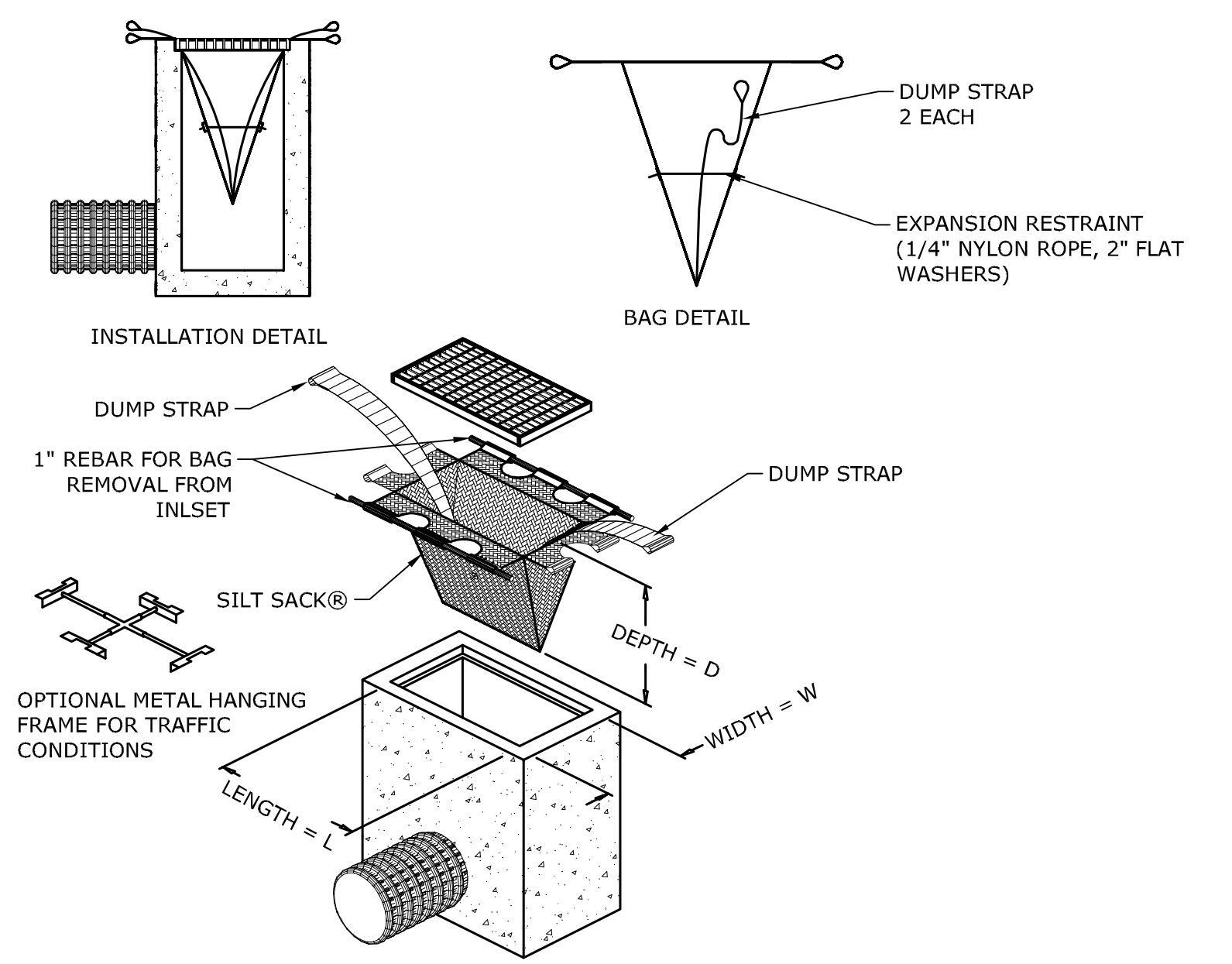
- 1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION:

- 1. BALES SHOULD BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- 2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (4") INCHES.
- 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- 4. GEOTEXTILE FABRIC SHALL BE SECURELY ANCHORED AT THE TOP OF A THREE FOOT (3') HIGH FENCE AND BURIED A MINIMUM OF FOUR INCHES (4") TO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO FEET (2').

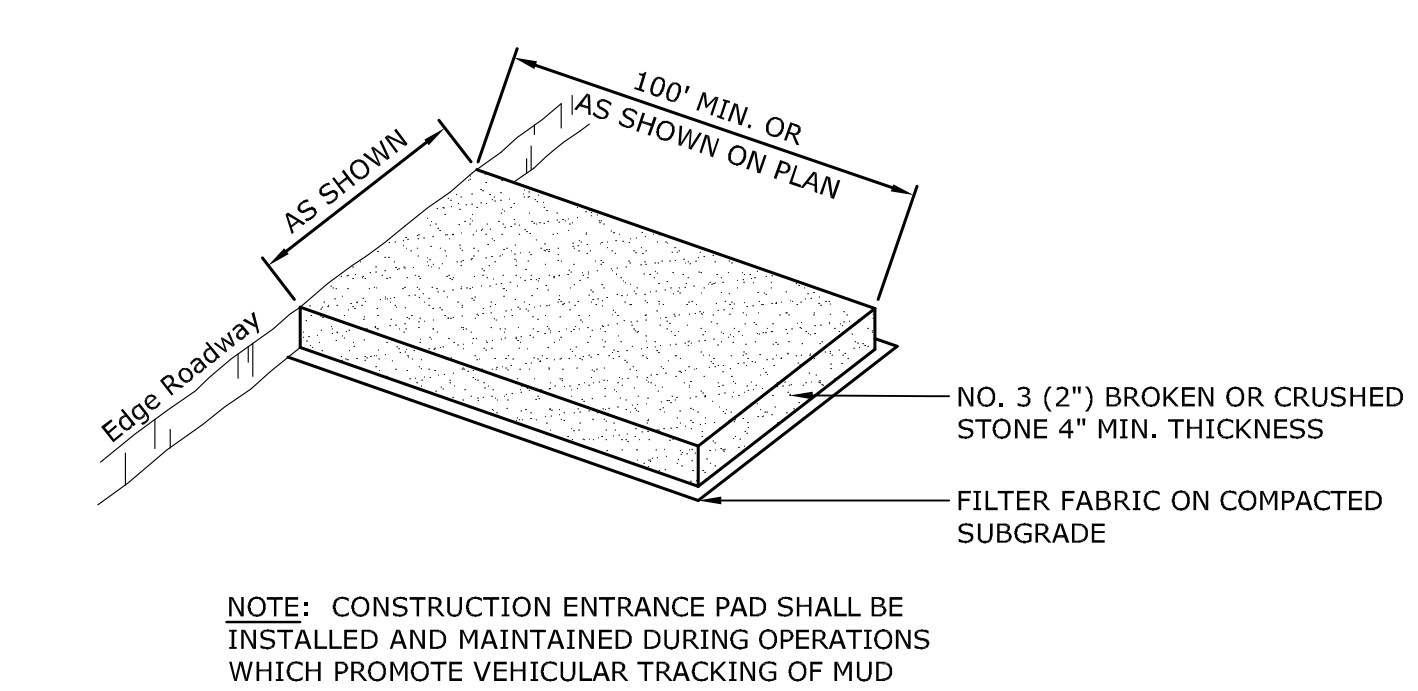
INSTALLATION AND MAINTENANCE:

- 1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
- 2. BALED HAY EROSION BARRIERS AND GEOTEXTILE FENCE SHALL BE INSTALLED AT THE LOCATION INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.
- 3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
- 4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORMWATER FLOW OR DRAINAGE.

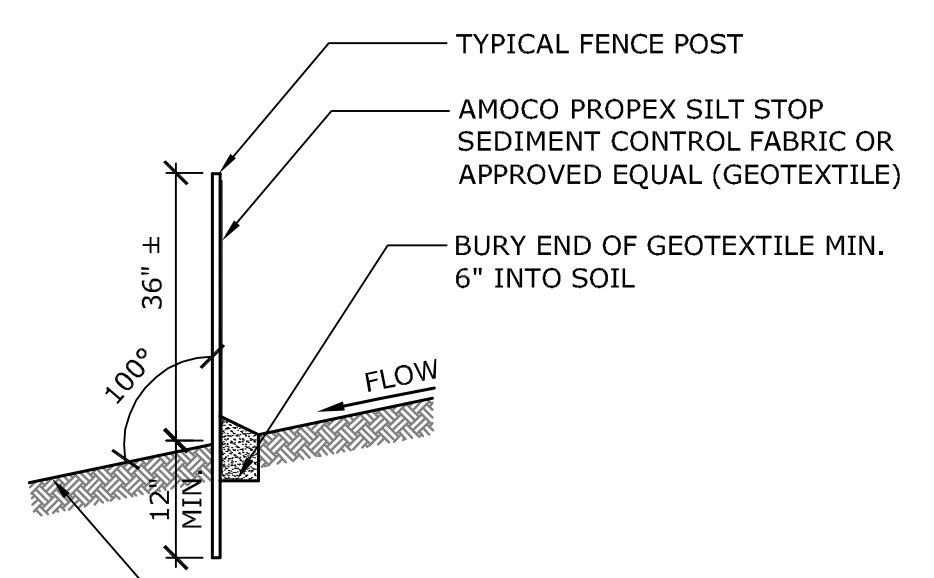


5 INLET PROTECTION
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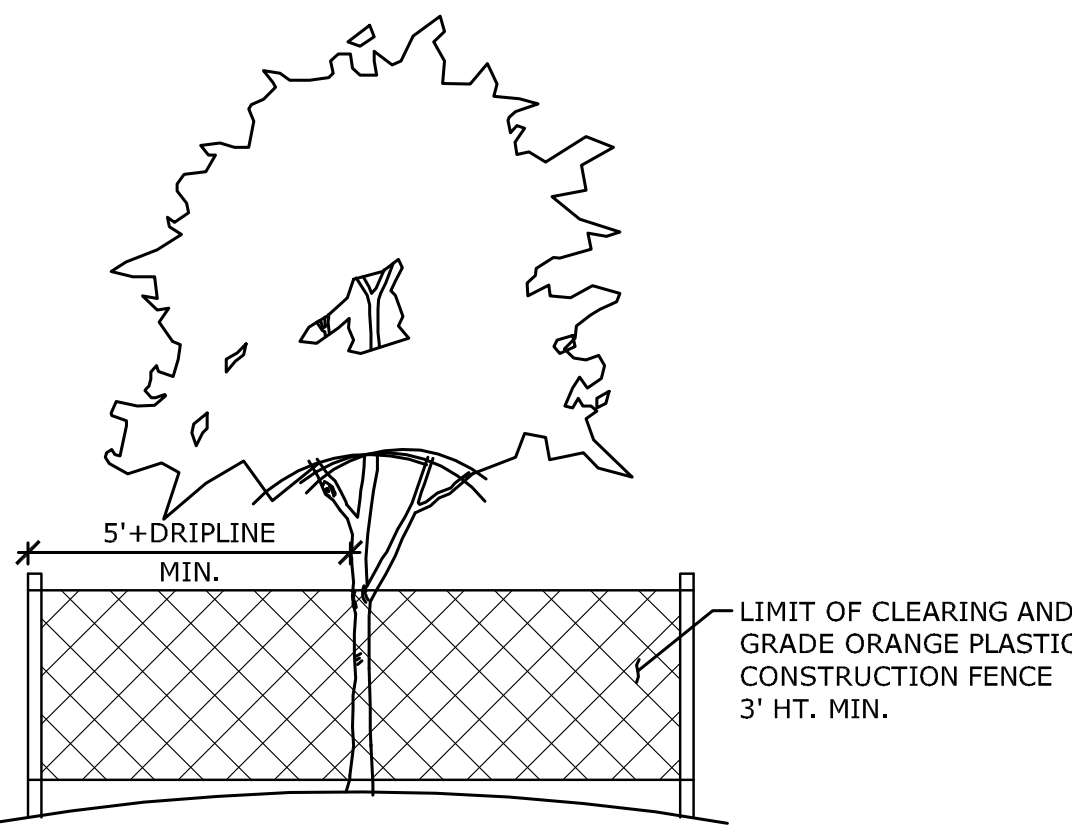
| EROSION CONTROL MEASURE | CONTROL OBJECTIVE | INSPECTION/MAINTENANCE | FAILURE INDICATORS | REMOVAL |
|-------------------------------------|--|---|---|--|
| SILT FENCE (GSF) (RELATED: IP, STK) | - INTERCEPT, AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. - DECREASE VELOCITY OF SHEET FLOW. - PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW. | INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. ACCUMULATED SEDIMENT MUST BE REMOVED ONCE ITS DEPTH IS EQUAL TO 1/2 THE TRENCH HEIGHT. INSPECT FREQUENTLY DURING PUMPING OPERATIONS IF USED FOR DEWATERING OPERATIONS. | - PHYSICAL DAMAGE OR DECOMPOSITION - EVIDENCE OF OVERTOPPED OR UNDERCUT FENCE - EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE - REPETITIVE FAILURE | SILT FENCE MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED. |
| HAY BALES (HB) | - INTERCEPT, AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. - DECREASE VELOCITY OF SHEET FLOW. - PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW. | INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. ACCUMULATED SEDIMENT MUST BE REMOVED ONCE THE DEPTH OF SEDIMENT IS EQUAL TO 1/2 THE HEIGHT OF THE BARRIER. INSPECT FREQUENTLY DURING PUMPING OPERATIONS IF USED FOR DEWATERING OPERATIONS. | - PHYSICAL DAMAGE OR DECOMPOSITION - EVIDENCE OF OVERTOPPED OR UNDERCUT FENCE - EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE - REPETITIVE FAILURE | HAY BALES MAY BE REMOVED AFTER UPHILL AREAS HAVE BEEN PERMANENTLY STABILIZED. |
| CONSTRUCTION ENTRANCE (CE) | - REDUCE THE TRACKING OF SEDIMENT OFF-SITE ONTO PAVED SURFACES. | INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC ADDITION OF STONE, OR LENGTHENING OF ENTRANCE MAY BE REQUIRED AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES AS A RESULT OF INEFFICIENCY OF CONSTRUCTION ENTRANCE SHALL BE IMMEDIATELY REMOVED. | - SEDIMENT IN ROADWAY ADJACENT TO SITE | CONSTRUCTION ENTRANCE MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL OTHER SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED. |
| INLET PROTECTION (IP) | - PROHIBIT SILT IN CONSTRUCTION-RELATED RUNOFF FROM ENTERING STORM DRAINAGE SYSTEM. | INSPECT AFTER ANY RAIN EVENT. IF FILTER BAG INSIDE CATCH BASIN CONTAINS MORE THAN 6" OF SEDIMENT, REMOVE SEDIMENT FROM BAG. CHECK SURROUNDING SILT FENCE AND HAY BALES PER NOTED ABOVE. | - RIPPED BAG - FAILED HAY BALES / SILT FENCE - SIGNIFICANT SILT PRESENCE IN STORM DRAINAGE SYSTEM OUTFLOW. | INLET PROTECTION MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED. |
| STOCKPILE PROTECTION (STK) | - RETAIN SOIL STOCKPILE IN LOCATIONS SPECIFIED AND REDUCE WATER-TRANSPORT. | INSPECT SILT FENCE AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY. | - EVIDENCE OF STOCK PILE DIMINISHING DUE TO RAIN EVENTS - FAILURE OF SILT FENCE | STOCKPILE PROTECTION MAY BE REMOVED ONCE THE STOCKPILE IS USED OR REMOVED. |
| TREE PROTECTION (TP) | - TO ENSURE THE SURVIVAL OF DESIRABLE EXISTING TREES | INSPECT TREE PROTECTION ZONES WEEKLY DURING SITE CONSTRUCTION FOR DAMAGE TO THE TREE CROWN, TRUNK, ROOT SYSTEM AND SOIL COMPACTION. | - BUILD UP OF SEDIMENT AT BASE OF TREE - DAMAGE TO ROOT SYSTEM - COMPACTING OF SOILS AROUND TREE BASE - FAILURE OF TREE BARRIER | ONCE CONSTRUCTION EQUIPMENT IS NO LONGER EXPECTED TO BE USED IN THE AREA REMOVE FENCES AND BARRIERS USED FOR TREE PROTECTION. |



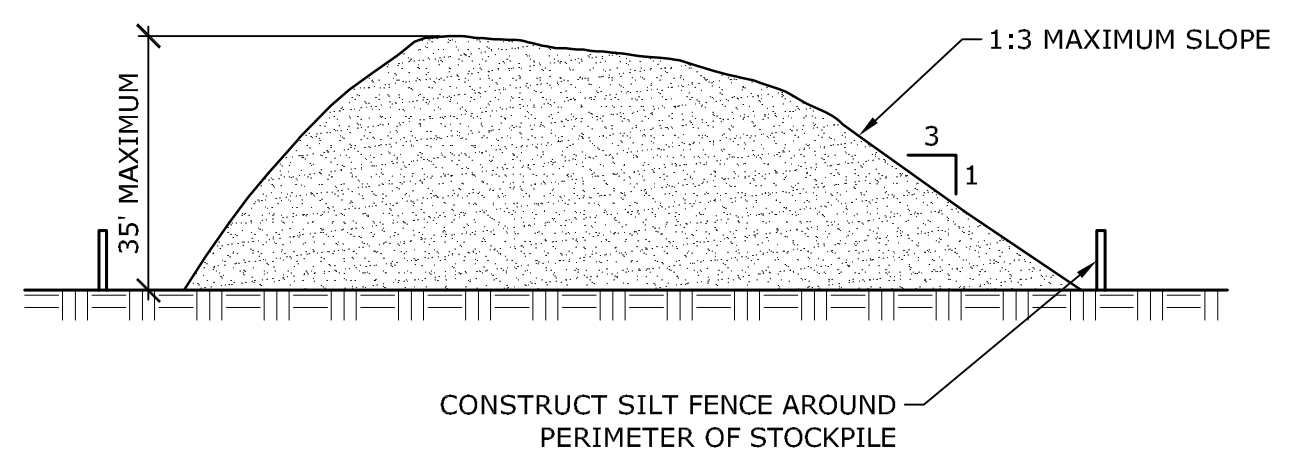
1 CONSTRUCTION ENTRANCE PAD
 NOT TO SCALE P-SC-5690.02-93



2 SEDIMENT FILTER FENCE
 NOT TO SCALE P-SC-5690.02-04



3 TREE PROTECTION DETAIL
 N.T.S. P-SC-5690.02-12



4 TEMPORARY SOIL STOCKPILE
 N.T.S. P-SC-5690.02-13

Project Name and Location
Greens Farms Academy
Circulations and Parking
Improvements
 35 Beachside Ave, Westport, CT 06838

Owner
Greens Farms Academy
 35 Beachside Avenue
 Westport, Connecticut 06838
 tel. 203.256.0717
 www.gfacademy.org

Architect
Roger Ferris + Partners
 11 Wilton Road
 Westport, Connecticut 06880
 tel. 203.222.4848
 www.ferrisarch.com

Civil Engineer
Milone & MacBroom
 99 Realty Drive
 Cheshire, Connecticut 06410
 tel. 203.271.1773
 www.miloneandmacbroom.com

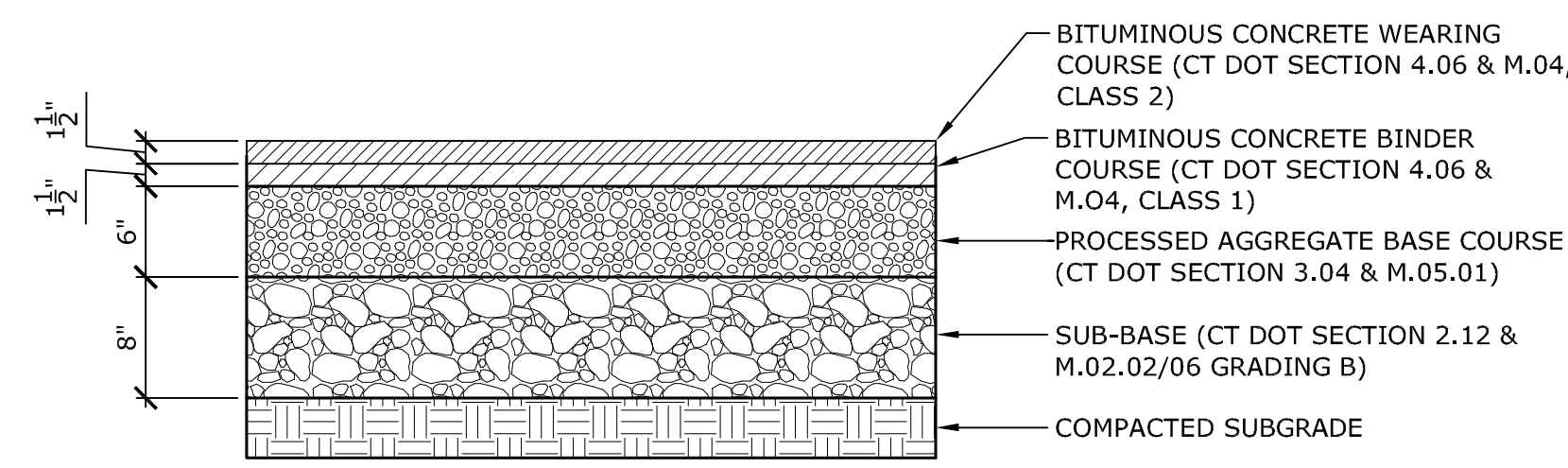
Engineer's Seal

| No. | Description | Date | Issued To |
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Project Status
Issued for Site Permit

Sheet Name
SEDIMENT & EROSION CONTROLS
NOTES AND DETAILS

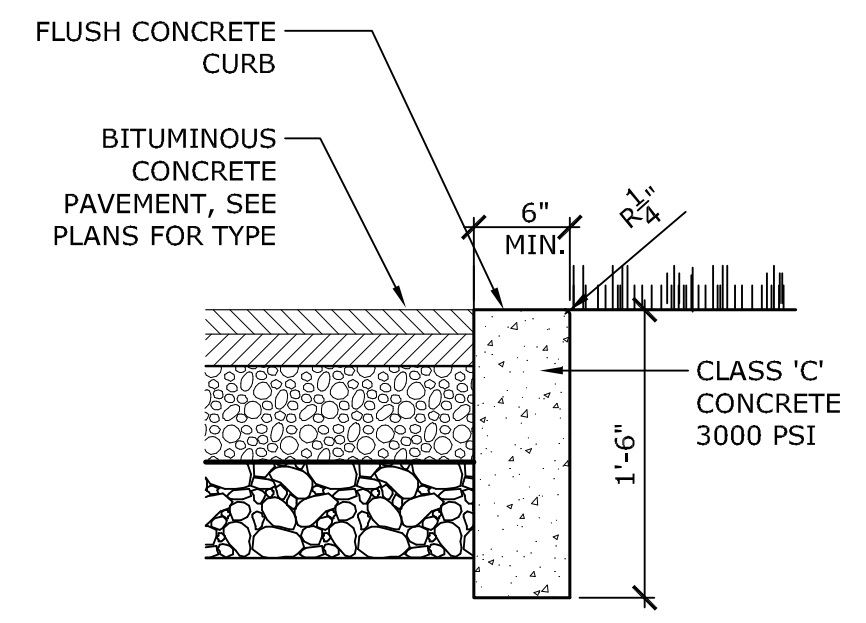
PROJECT NUMBER: 1106
 DATE: October 31, 2016
 SCALE: As Noted



NOTE:
1. SUPPLEMENT EXISTING BASE COURSE AS SHOWN AS NEEDED FOR DRIVEWAY RESURFACING.

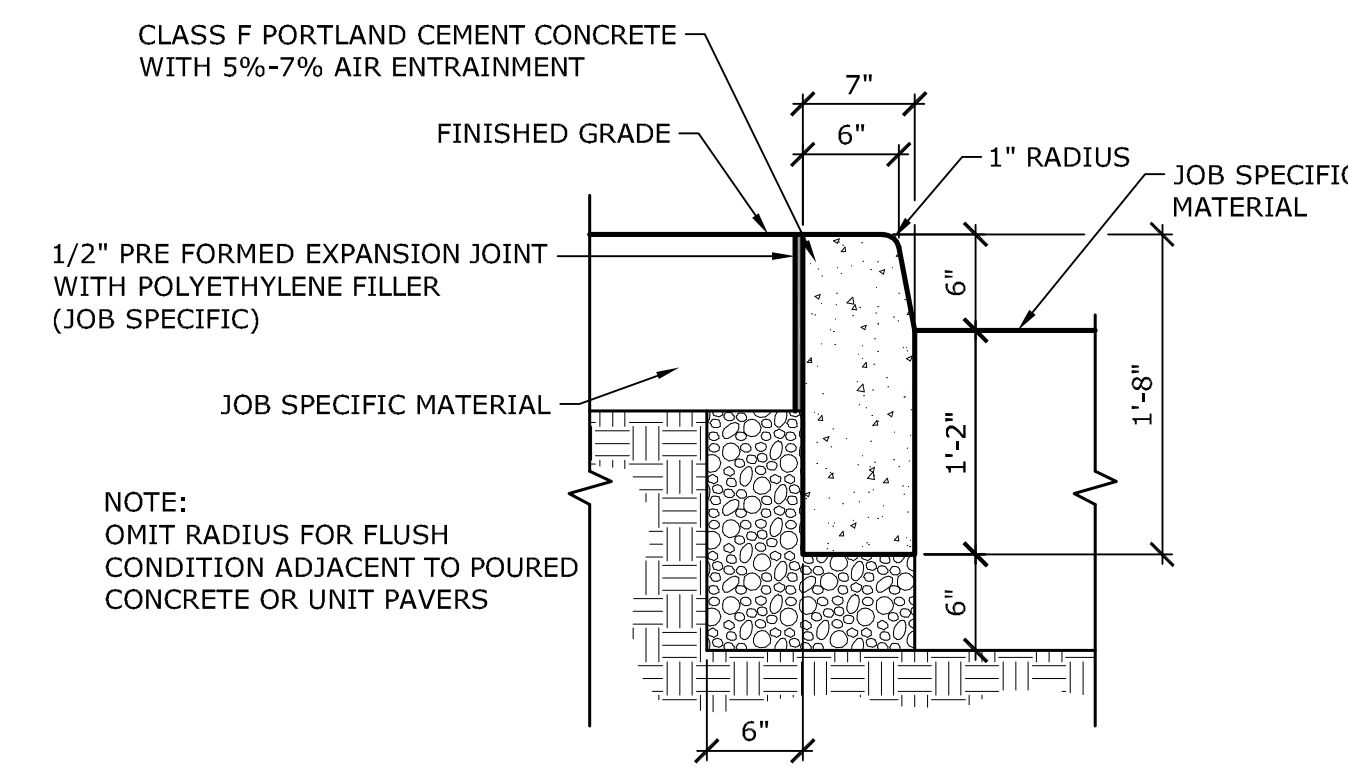
1 STANDARD DUTY BITUMINOUS CONCRETE

N.T.S. P-SC-5690.02-18



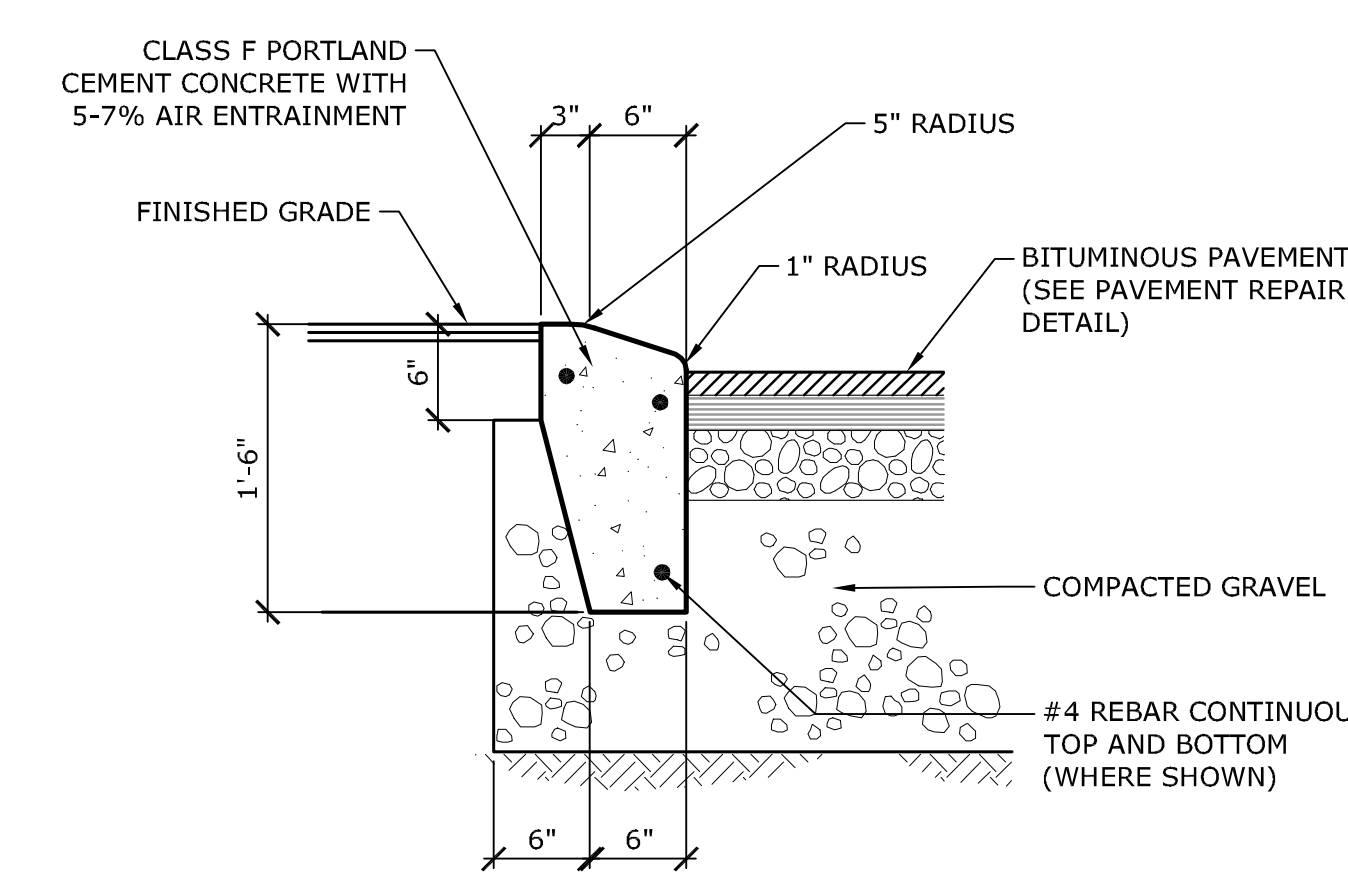
5 FLUSH CONCRETE CURB

NOT TO SCALE P-SC-5690.02-02



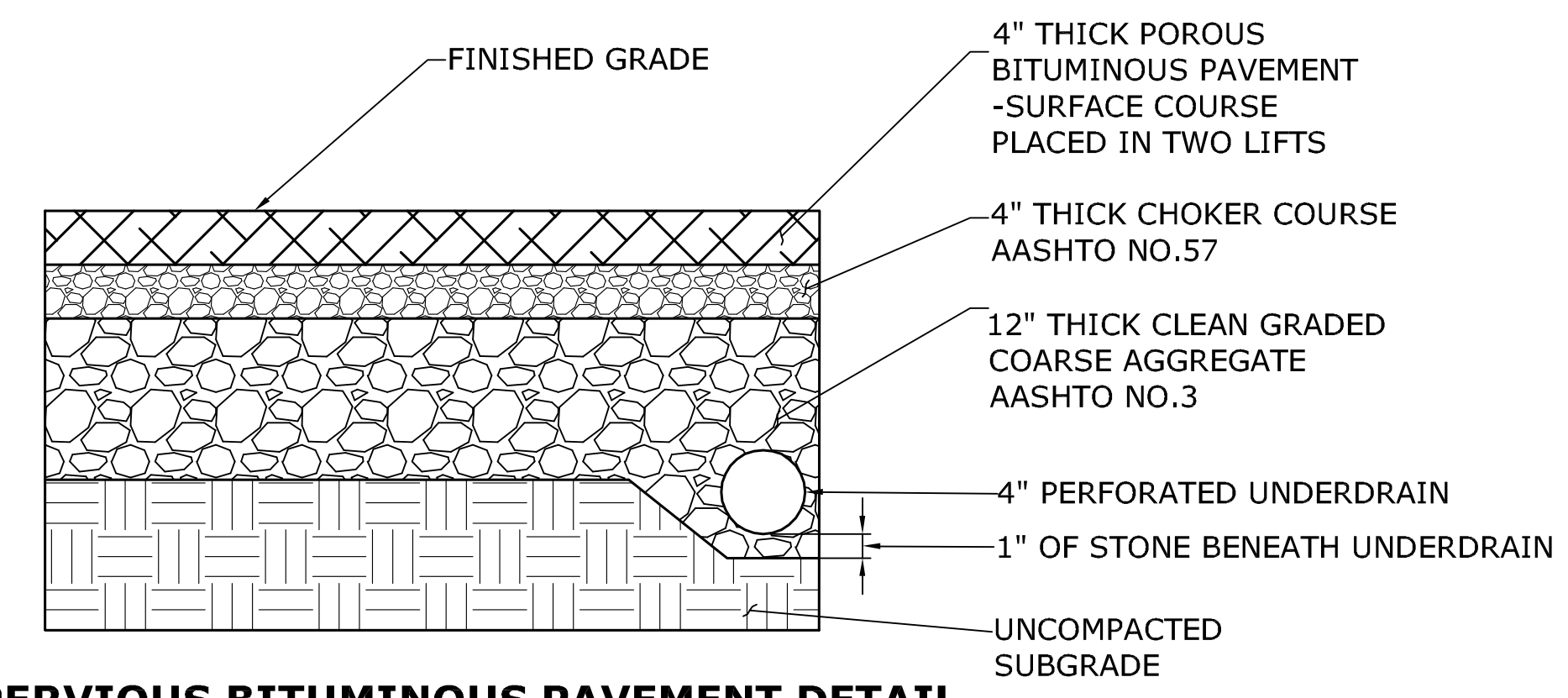
6 EXTRUDED CONCRETE CURB

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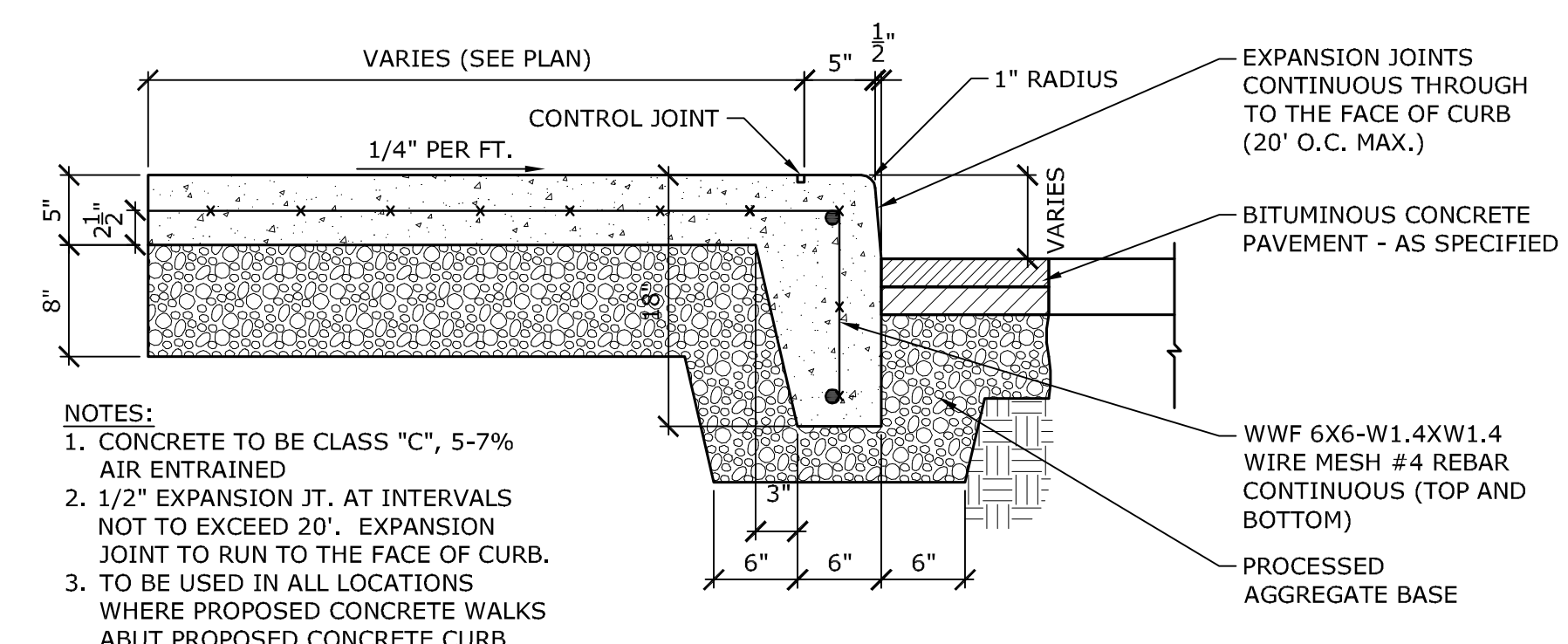
7 MOUNTABLE CONCRETE CURB

NOT TO SCALE P-SC-5690.02-101



9 PERVIOUS BITUMINOUS PAVEMENT DETAIL

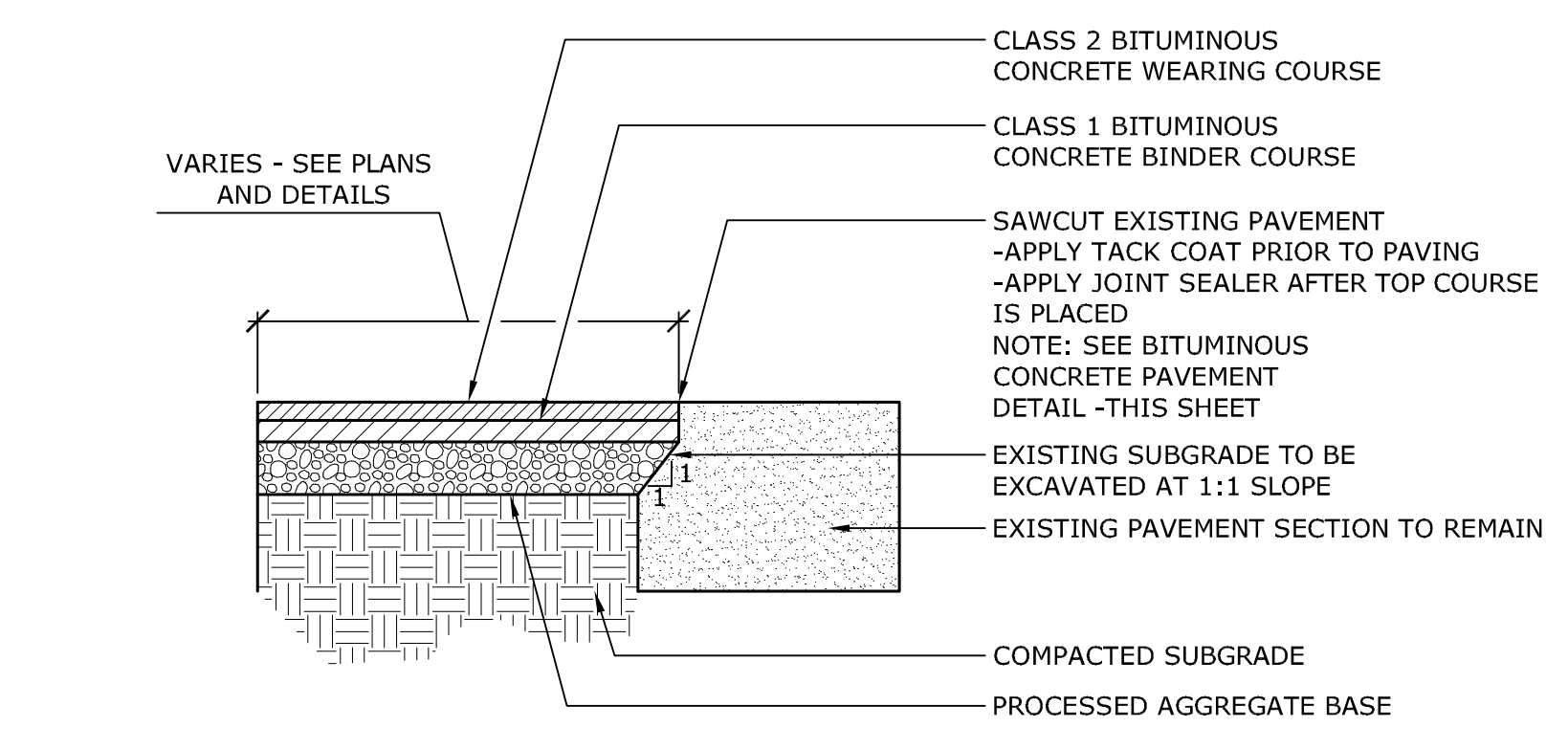
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NOTES:
1. CONCRETE TO BE CLASS "C", 5-7% AIR ENTRAINMENT
2. 1/2" EXPANSION JT. AT INTERVALS NOT TO EXCEED 20'. EXPANSION JOINT TO RUN TO THE FACE OF CURB.
3. TO BE USED IN ALL LOCATIONS WHERE PROPOSED CONCRETE WALKS ABUT PROPOSED CONCRETE CURB

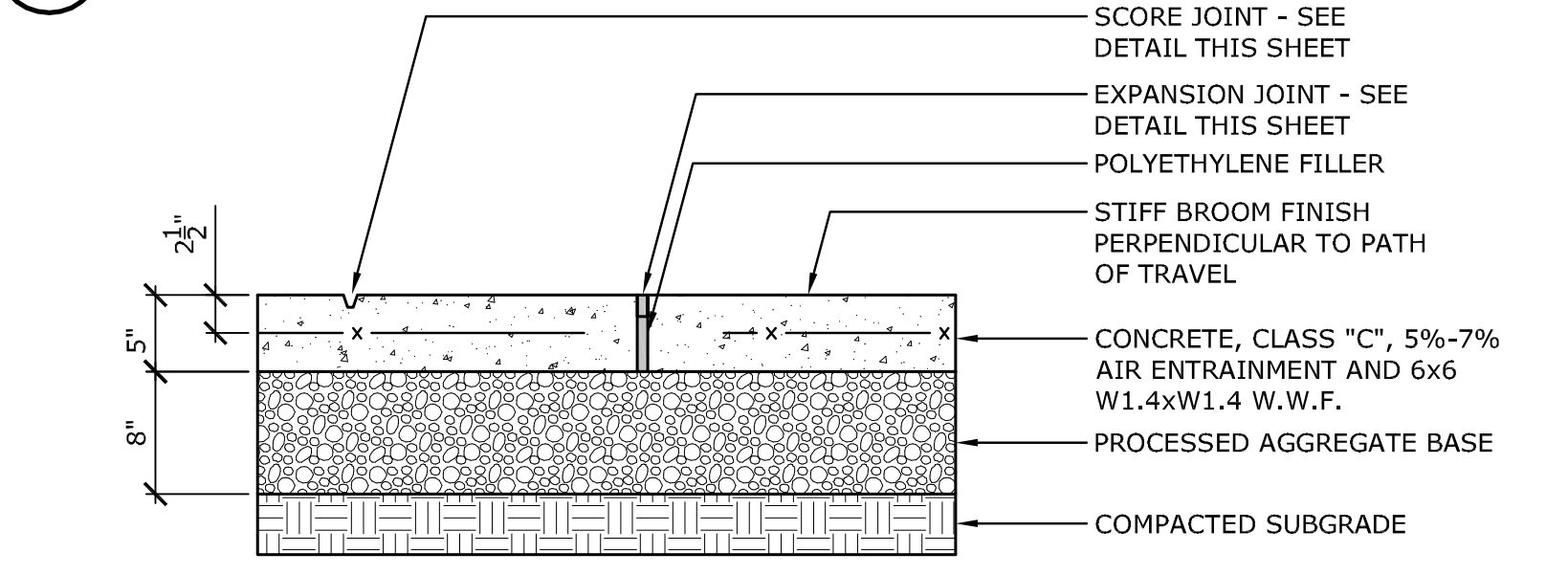
10 INTEGRAL CONCRETE WALK & CURB WITH REVEAL

NOT TO SCALE P-SC-5690.02-27



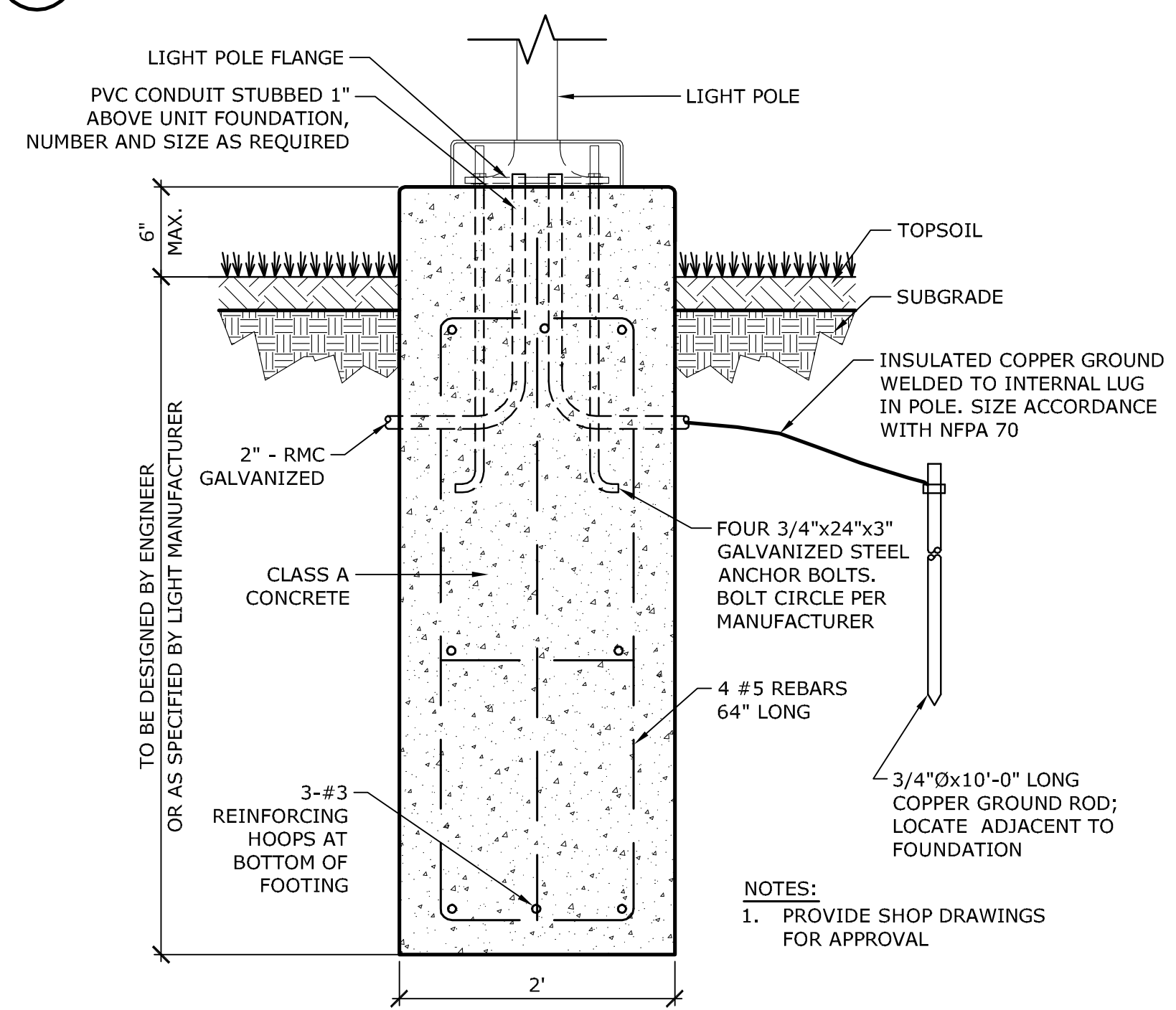
2 BITUMINOUS CONCRETE PAVEMENT REPAIR

N.T.S. P-SC-5690.02-08



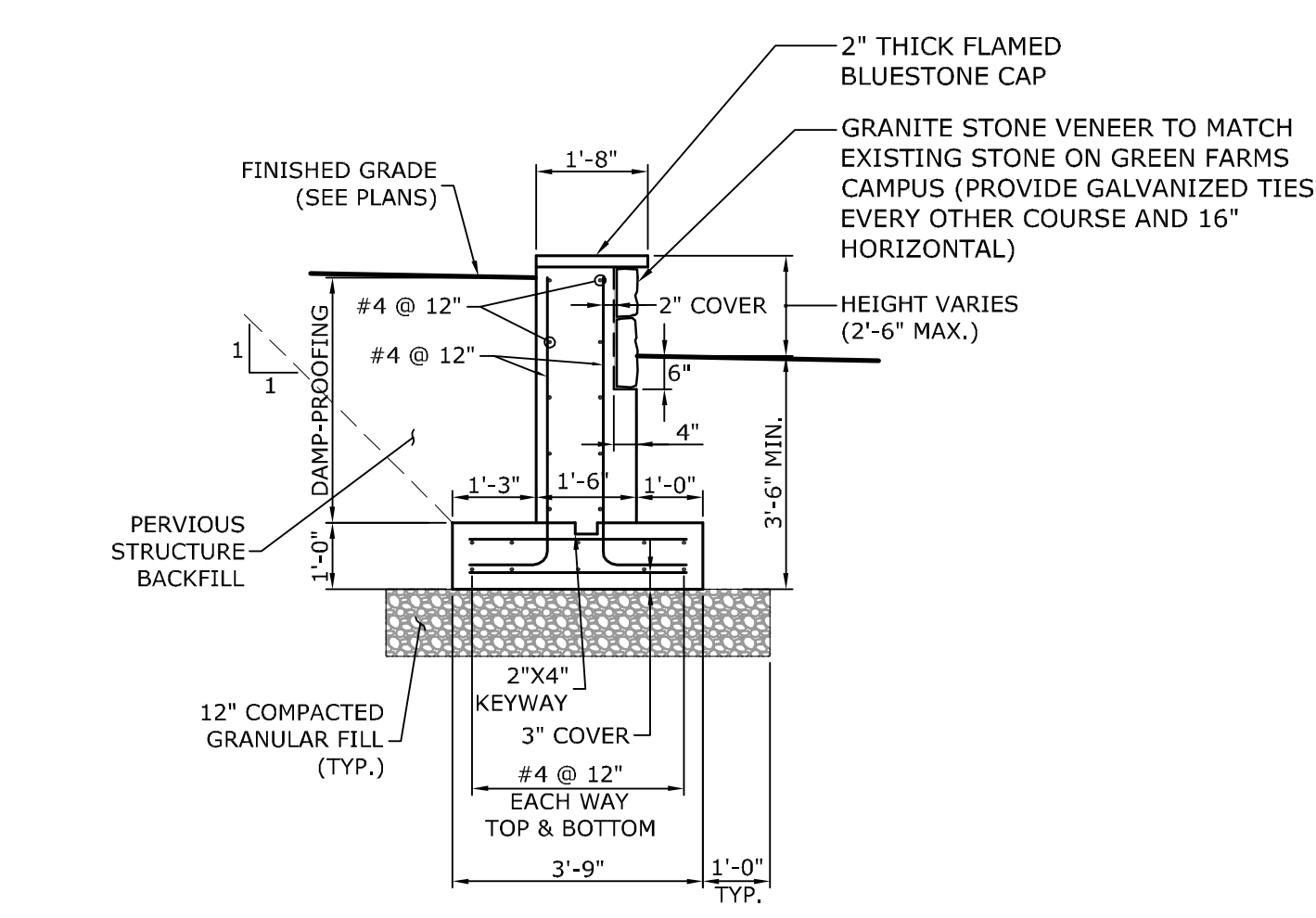
3 CONCRETE SIDEWALK

N.T.S. P-SC-5690.02-07



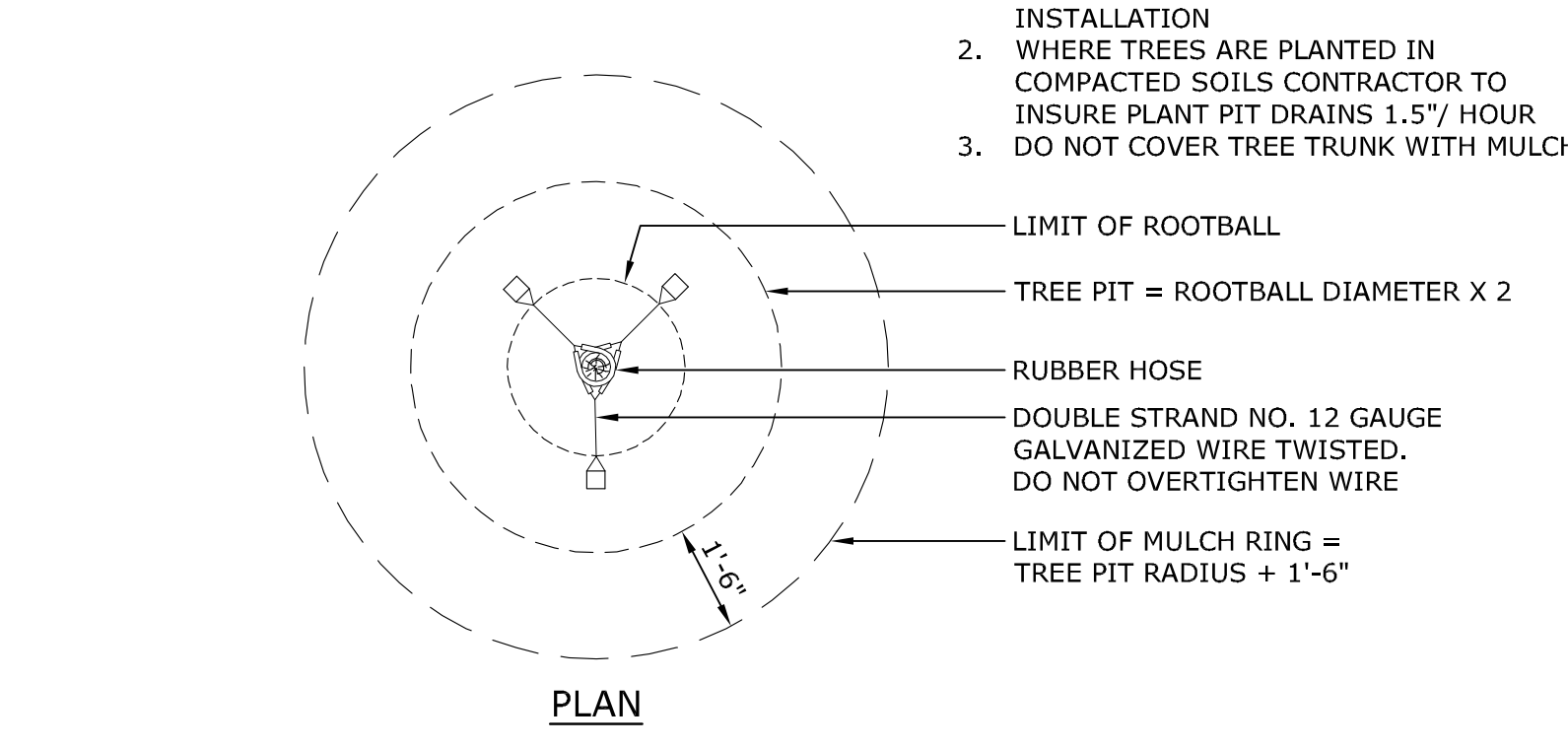
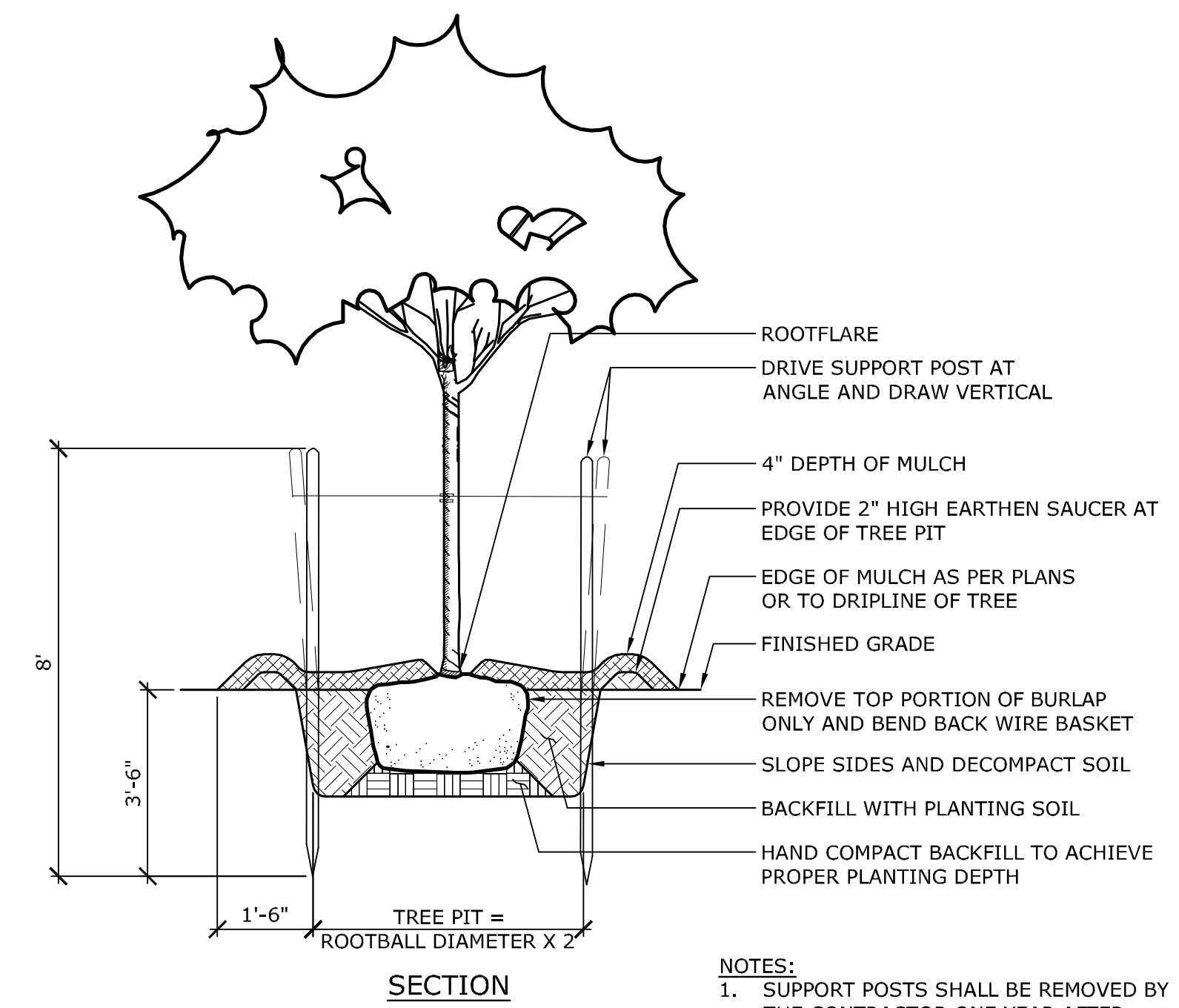
4 LIGHT POLE FOUNDATION DETAIL

N.T.S. P-SC-5690.02-65



8 TYPICAL WALL DETAIL

NOT TO SCALE P-SC-5690.02-102



11 TREE PLANTING

NOT TO SCALE P-SC-5690.02-05

Project Name and Location
Greens Farms Academy
Circulation and Parking Improvements
35 Beachside Ave, Westport, CT 06838

Owner
Greens Farms Academy
35 Beachside Avenue
Westport, Connecticut 06838
tel. 203.256.0717
www.gfacademy.org

Architect
Roger Ferris + Partners
11 Wilton Road
Westport, Connecticut 06880
tel. 203.222.4848
www.ferrisarch.com

Civil Engineer
Milone & MacBroom
99 Realty Drive
Cheshire, Connecticut 06410
tel. 203.271.1773
www.miloneandmacbroom.com

Engineer's Seal

Revisions

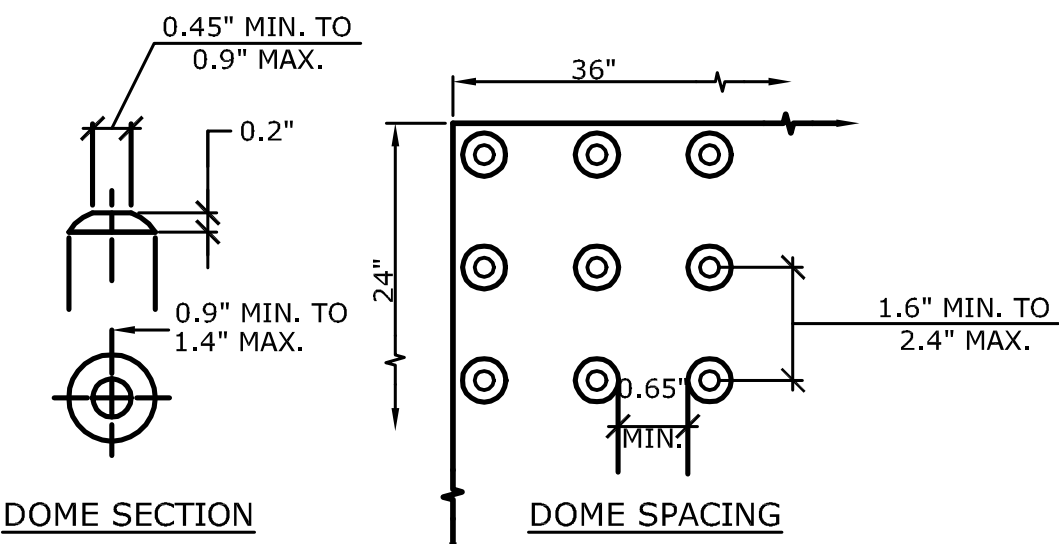
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Project Status
Issued for Site Permit

Sheet Name
SITE DETAILS

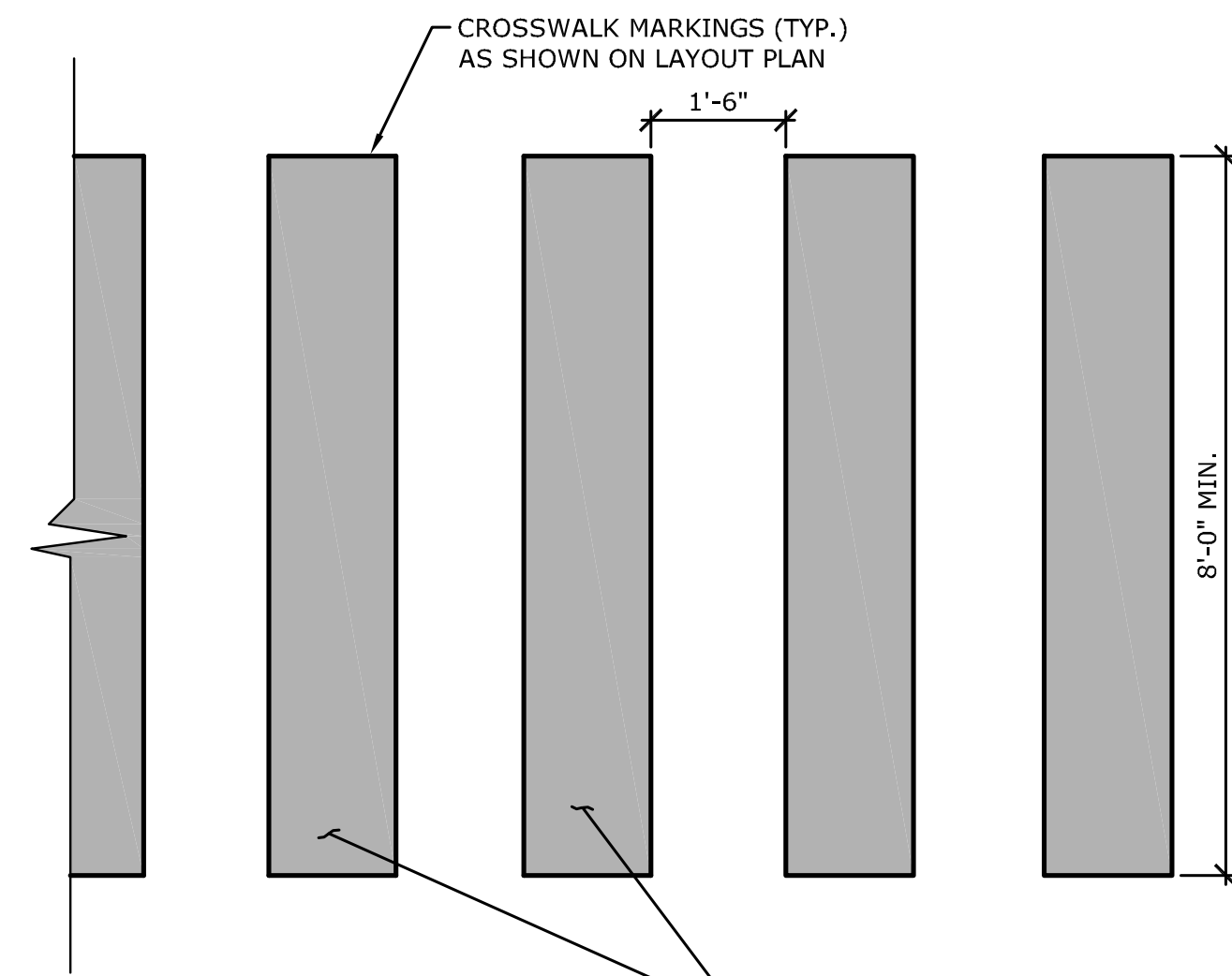
PROJECT NUMBER: 1106
DATE: October 31, 2016
SCALE: As Noted

CL4.01
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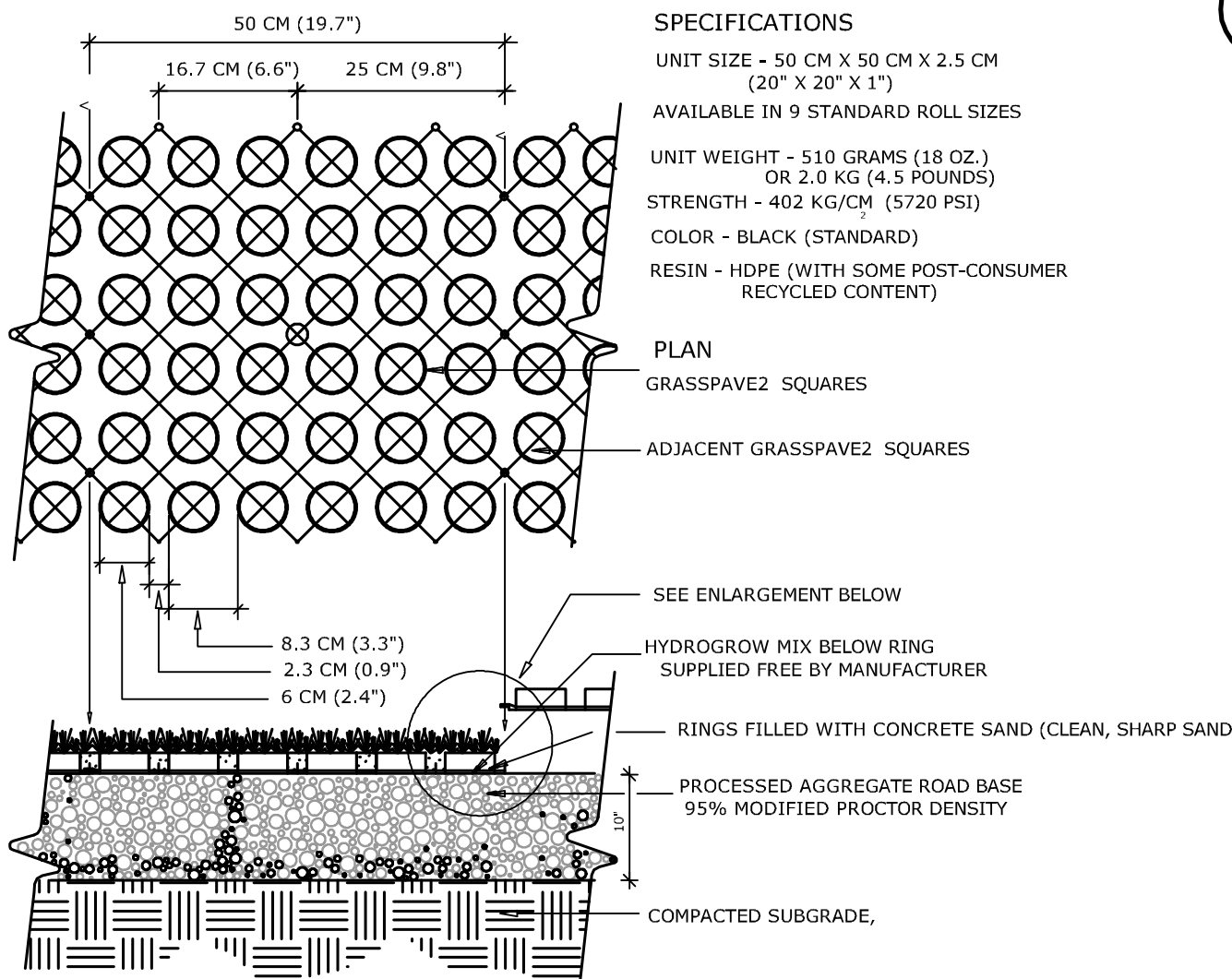


NOTES:
 REFER TO GREENWICH TOWN STANDARD DETAIL.
 THE DETECTABLE WARNING STRIP SHALL BE:
 ARMORCAST DETECTABLE WARNING PANEL
 WET SET INSTALLATION
 24"X36"X1/2" MINIMUM
 COLOR: BRICK RED
 CONTRACTOR TO USE PREFABRICATED RADIAL PANELS ON RADIUS
 SUBMIT SHOP DRAWINGS FOR APPROVAL

1 DETECTABLE WARNING STRIP
 NOT TO SCALE P-SC-5690.02-32



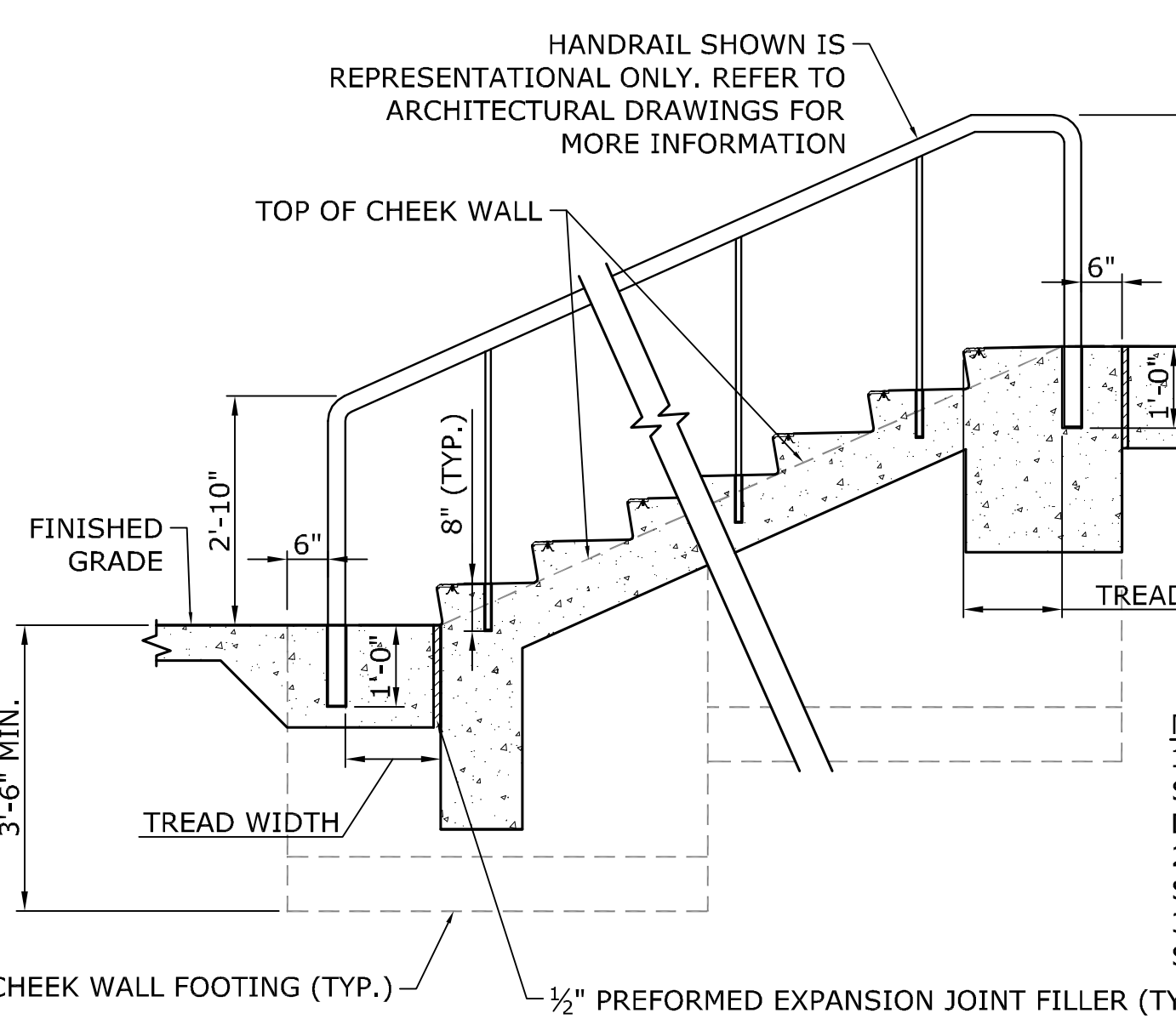
5 WHITE PAINTED CROSSWALK
 NOT TO SCALE P-SC-5690.02-20



SECTION
 TOP OF GRASS ROOT MASS 6 MM (1/4") ABOVE TOP OF RING
 GRASSPAVEZ ATTACH WITH SNAP-FIT FASTENERS
 ROOT MASS TO FILL GRASSPAVEZ
 COMPACTED SANDY GRAVEL BASE COURSE

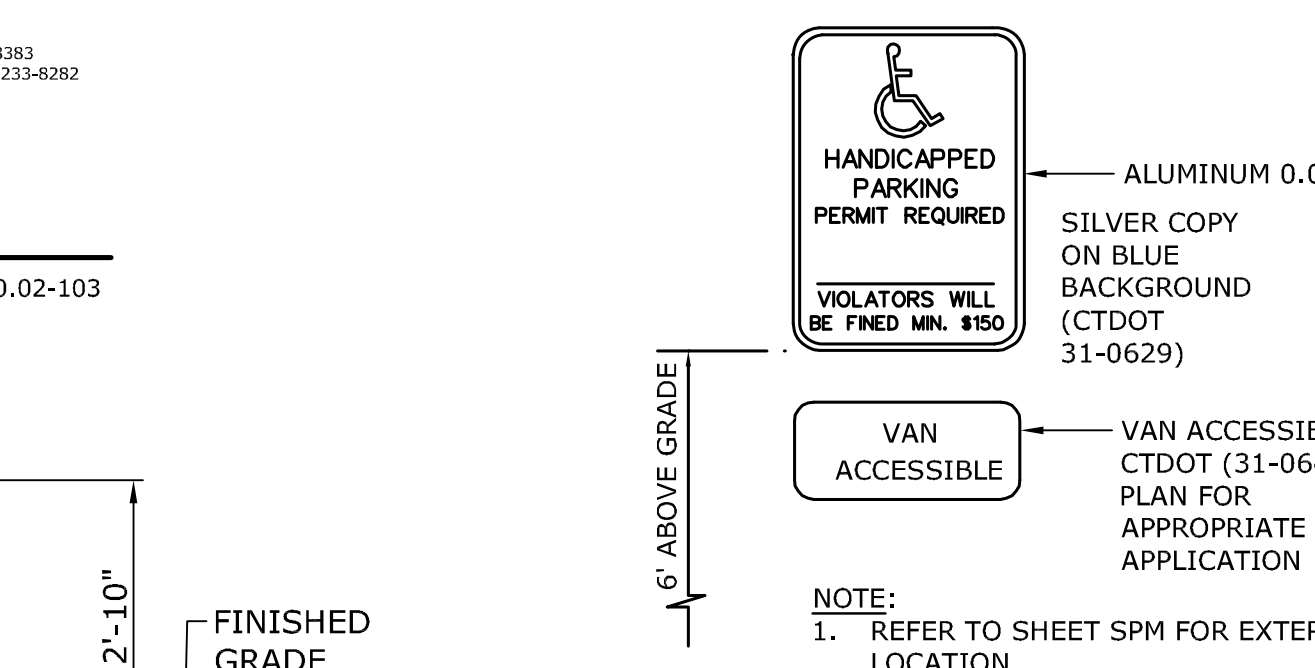
AS MANUFACTURED BY:
 1600 Jackson St., Ste. 310
 60039N, COLORADO 80401
 800-233-1510 OR 303-233-8383
 FAX: 800-233-1522 OR 303-233-8282
 www.invisiblenetstructures.com
 OR APPROVED EQUAL

2 GRASSPAVE
 N.T.S. P-SC-5690.02-103

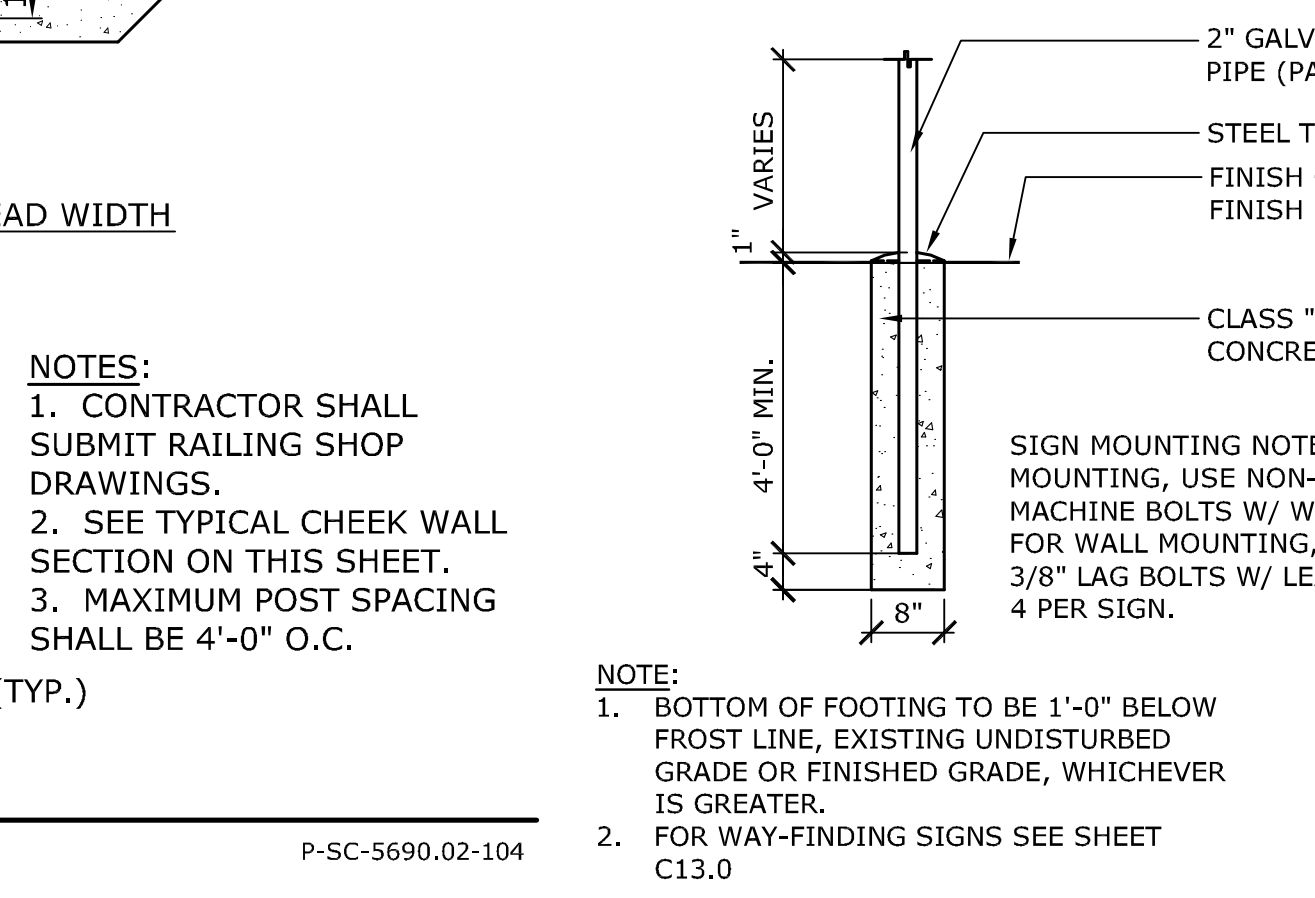


3 CONCRETE STAIRS WITH HANDRAIL
 NOT TO SCALE P-SC-5690.02-104

4 PRECAST CONCRETE WHEEL STOP
 NOT TO SCALE P-SC-5690.02-06

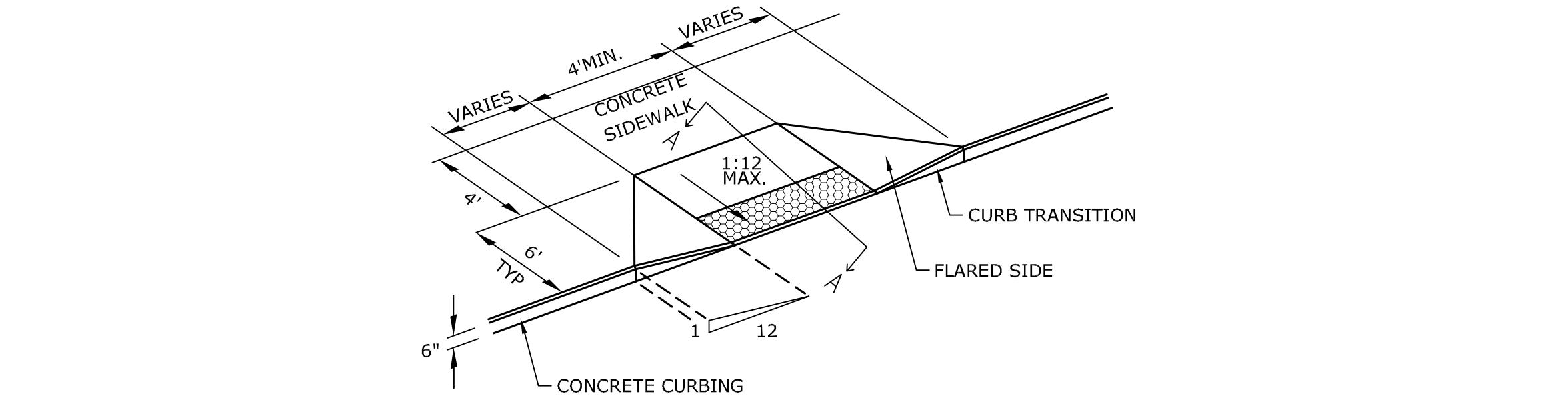
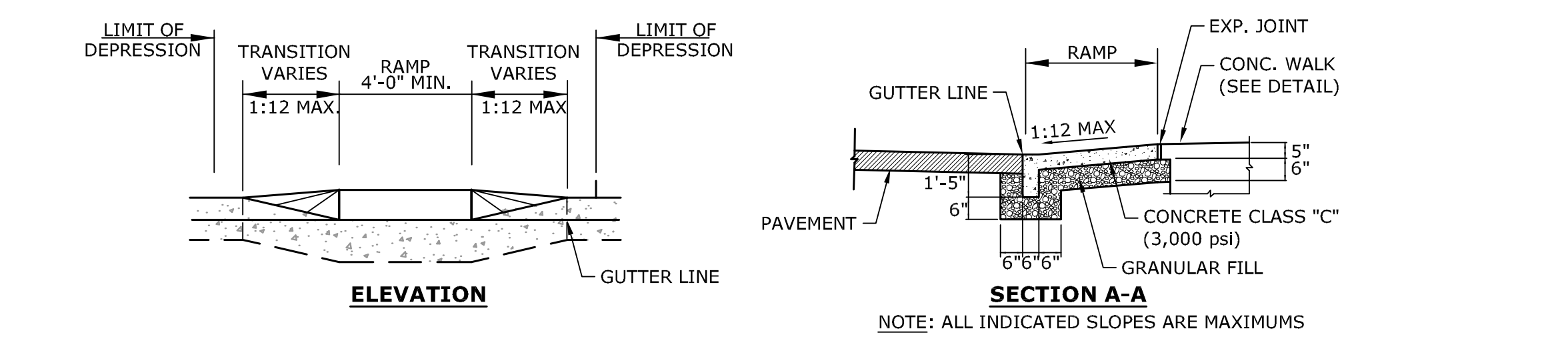


5 ACCESSIBLE PARKING SIGN
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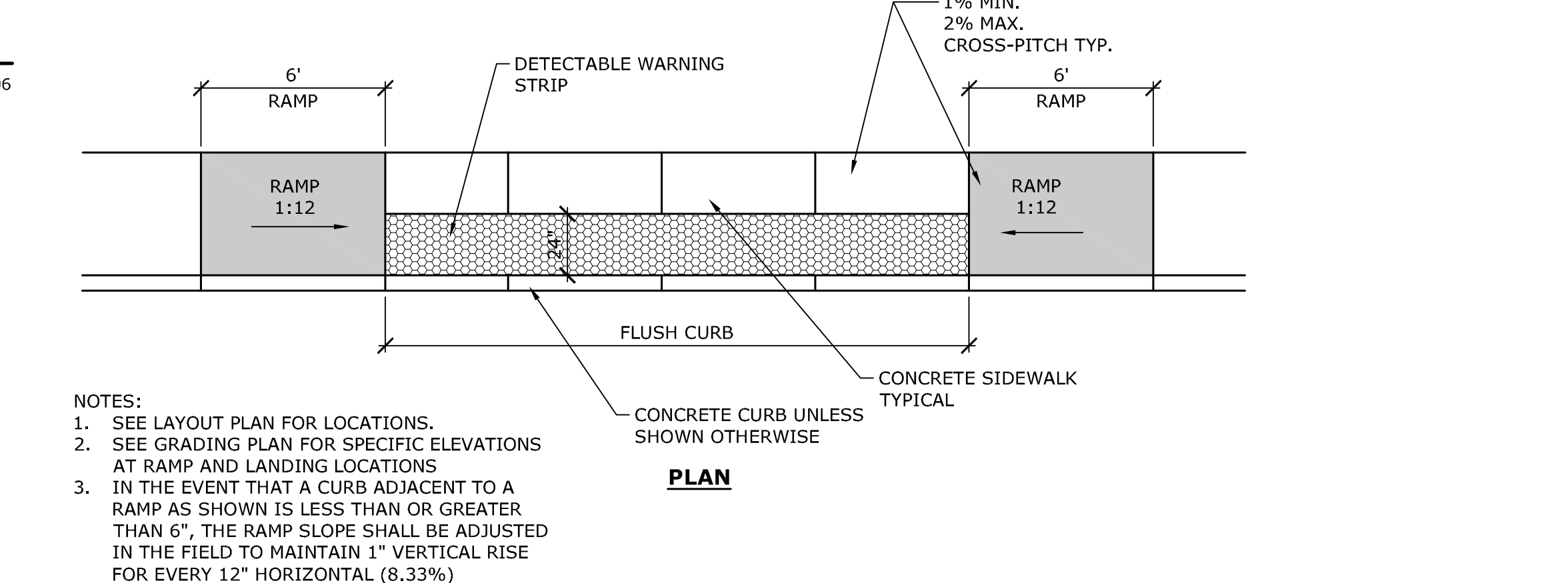


6 TRAFFIC SIGN POST
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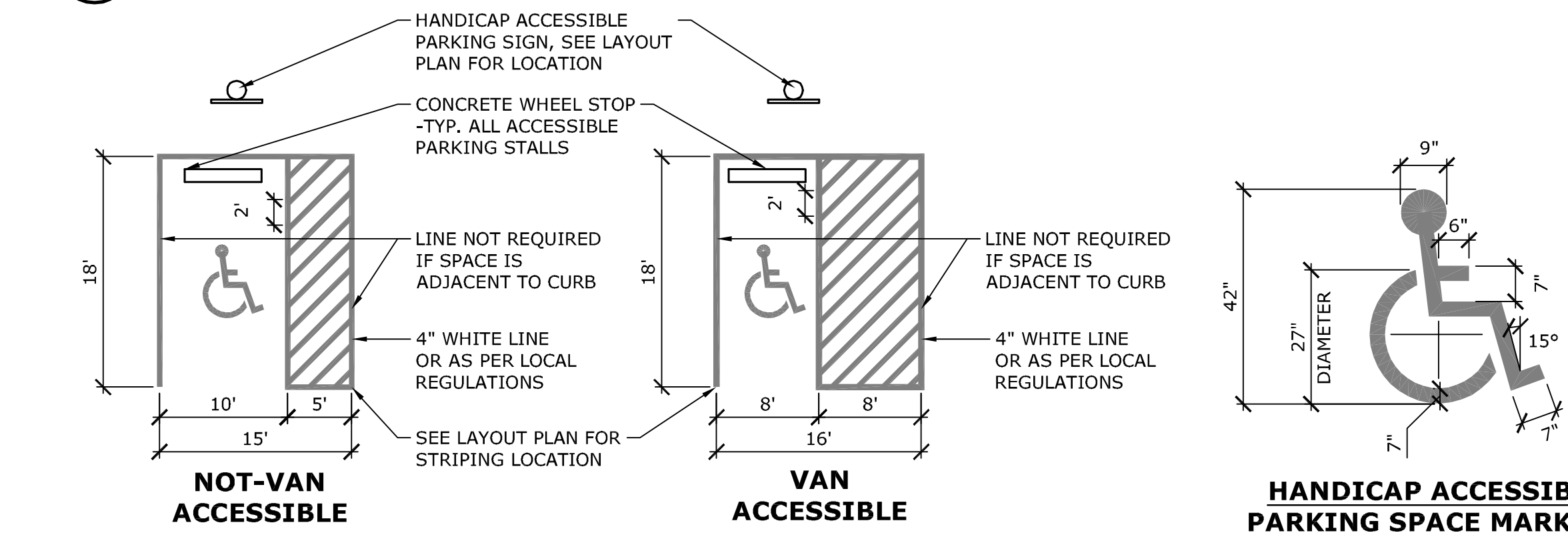
- ACCESSIBLE DROP RAMP NOTES:**
1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 1:20.
 2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
 3. ALL RAMP SHALL BE CONSTRUCTED OF CLASS "C" PSI CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
 4. SIDEWALK RAMP SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. THE SURFACE ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADA ACCESSIBILITY GUIDELINES SECTION 4.5.
 5. DIAGONAL SIDEWALK RAMP AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
 6. EXPANSION JOINTS & TOOLED EDGES IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
 7. RAISED ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMP AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' LONG BETWEEN THE RAMP. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 8. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 816.
 9. HANDICAP RAMP CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS, AND AT ALL OTHER LOCATIONS WHERE THE GRADE OF A DRIVEWAY OR OTHER FACILITY TAKES PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
 10. TRANSITION TO FULL HEIGHT CURB. MATCH THE ADJACENT CURBING MATERIAL UNLESS OTHERWISE NOTED ON PLANS. INSTALL THE EDGE OF THE DETECTABLE WARNING 6" FROM THE EDGE OF ROAD.
 11. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID. IN THE DIRECTION OF PEDESTRIAN TRAVEL.



7 ACCESSIBLE DROP RAMP - TYPE A
 NOT TO SCALE P-SC-5690.02-33



8 ACCESSIBLE DROP RAMP - TYPE D
 NOT TO SCALE P-SC-5690.02-37



9 ACCESSIBLE PARKING
 N.T.S. P-SC-5690.02-23

Project Name and Location
Greens Farms Academy
Circulation and Parking
Improvements
 35 Beachside Ave, Westport, CT 06838

Owner
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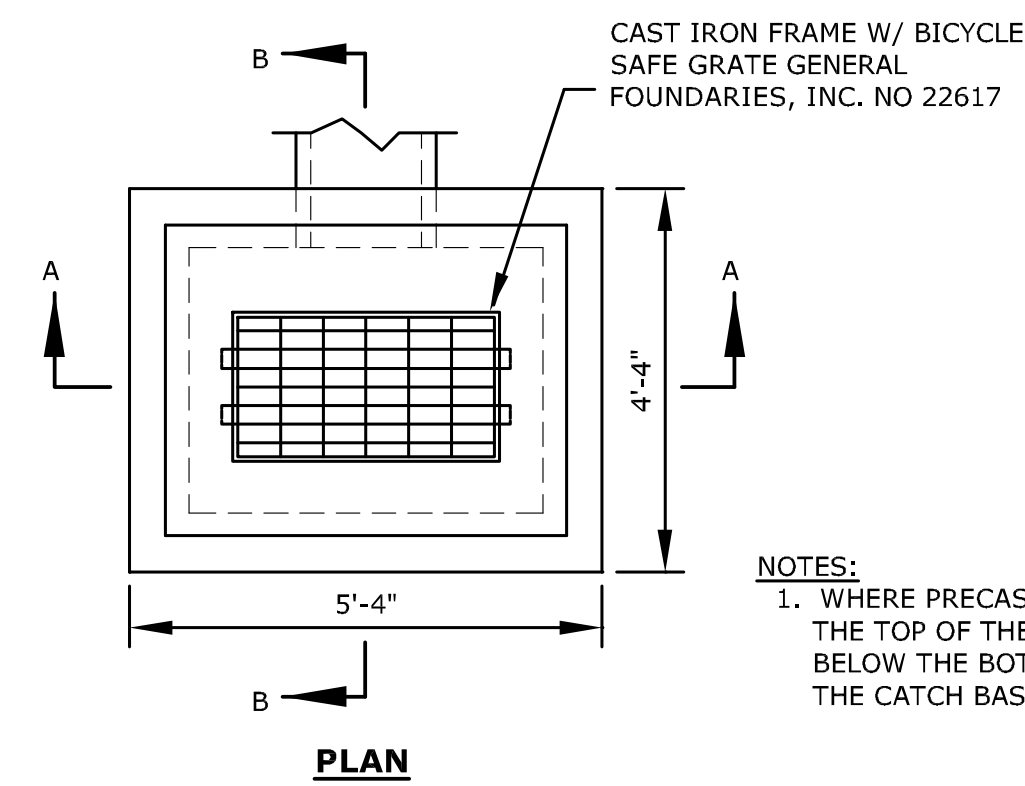
Revisions

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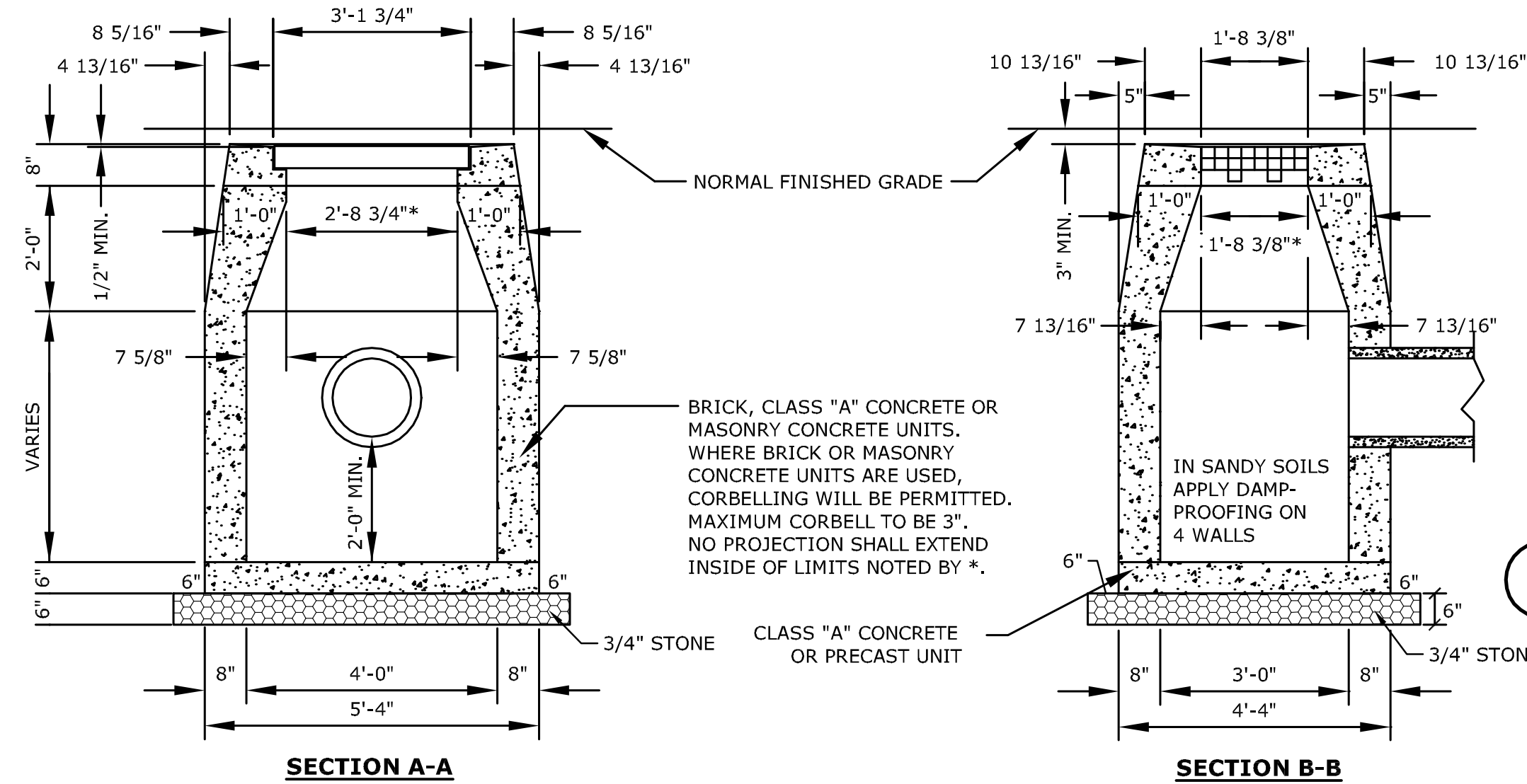
Project Status
Issued for Site Permit

Sheet Name
SITE DETAILS

PROJECT NUMBER: 1106
DATE: October 31, 2016
SCALE: As Noted

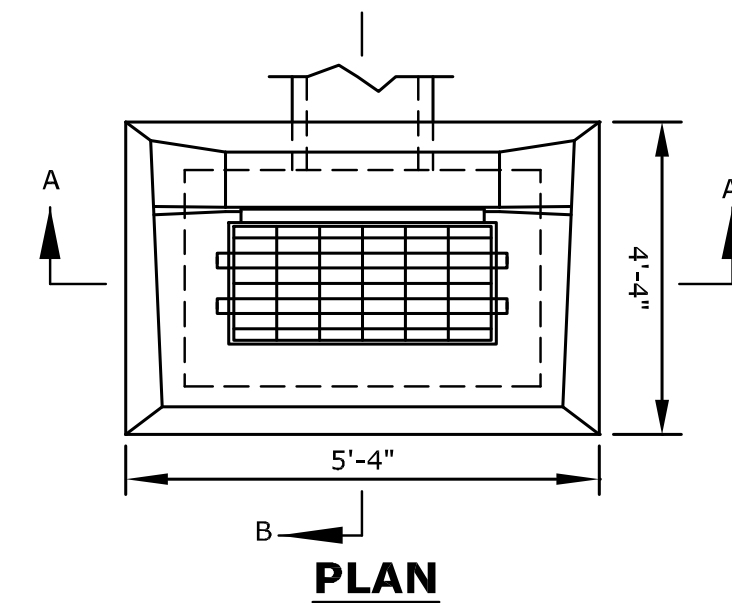


NOTES:
 1. WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN.

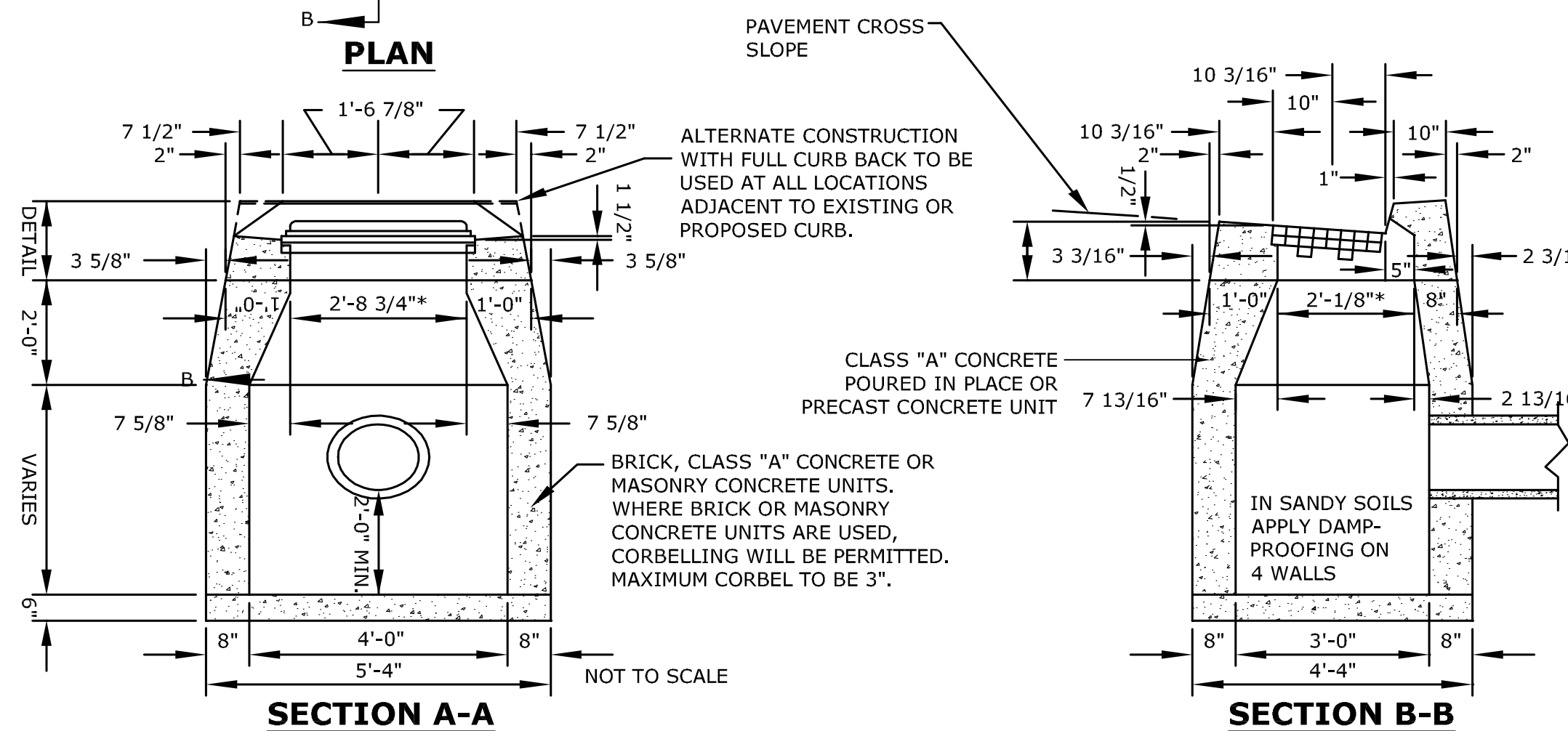


1 TYPE CL CATCH BASIN (CLCB)

NOT TO SCALE P-SC-5690.02-00

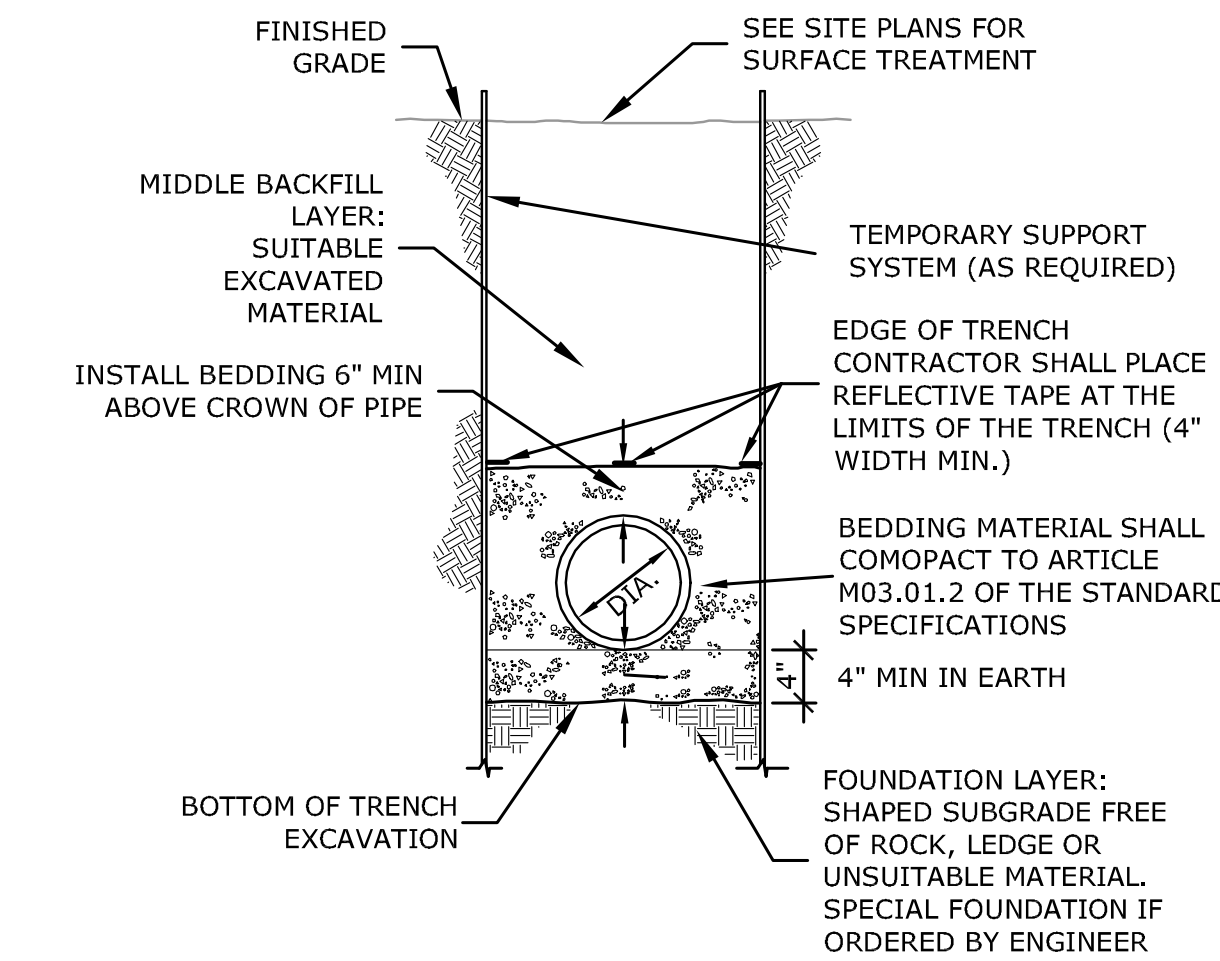


NOTES:
 1. WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT, THE 1/2" SLOPE ON THE TOP SURFACE SHALL BE CHANGED TO MATCH ADJOINING PAVEMENT.
 2. WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM



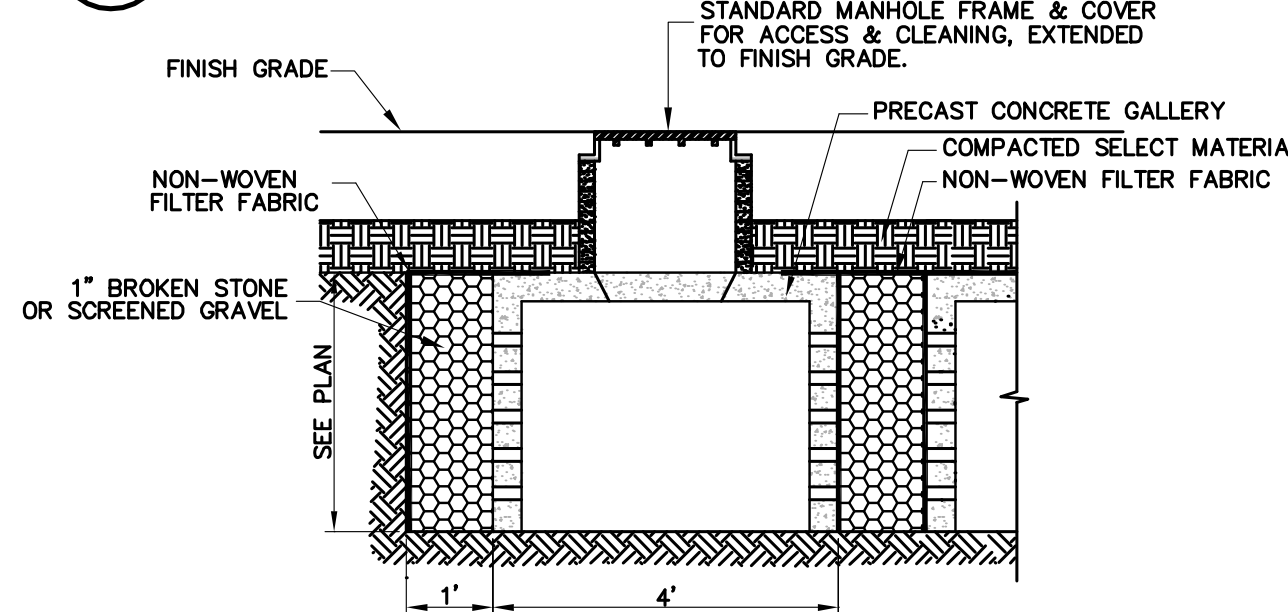
2 TYPE C CATCH BASIN (CCB)

NOT TO SCALE P-SC-5690.02-52



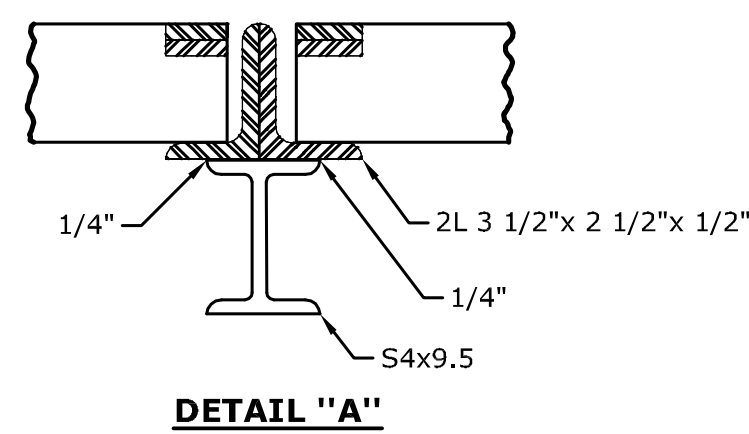
3 STORM DRAIN TRENCH

NOT TO SCALE P-SC-5690.02-54

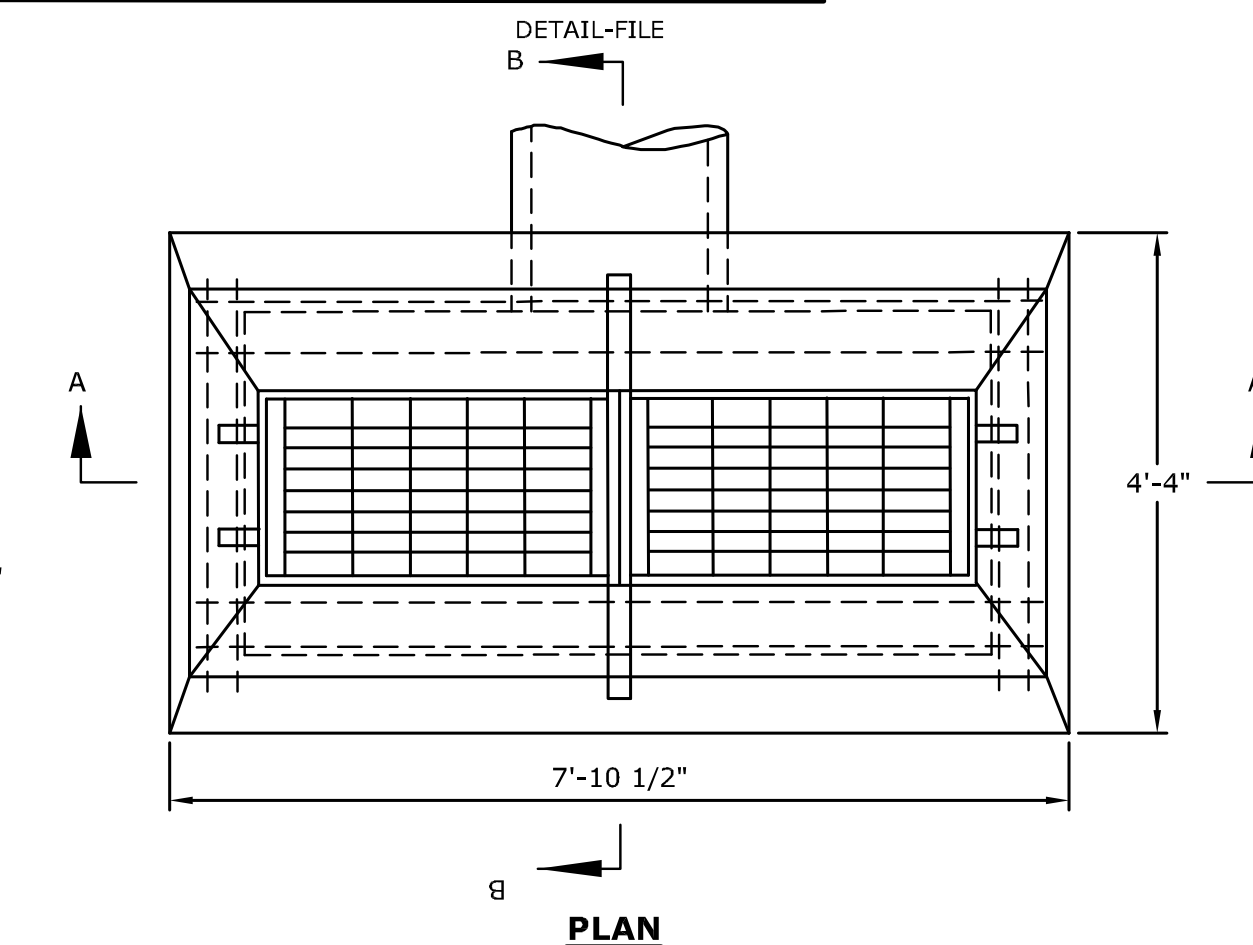


4 TYPICAL SECTION THRU STORM INFILTRATION GALLERY

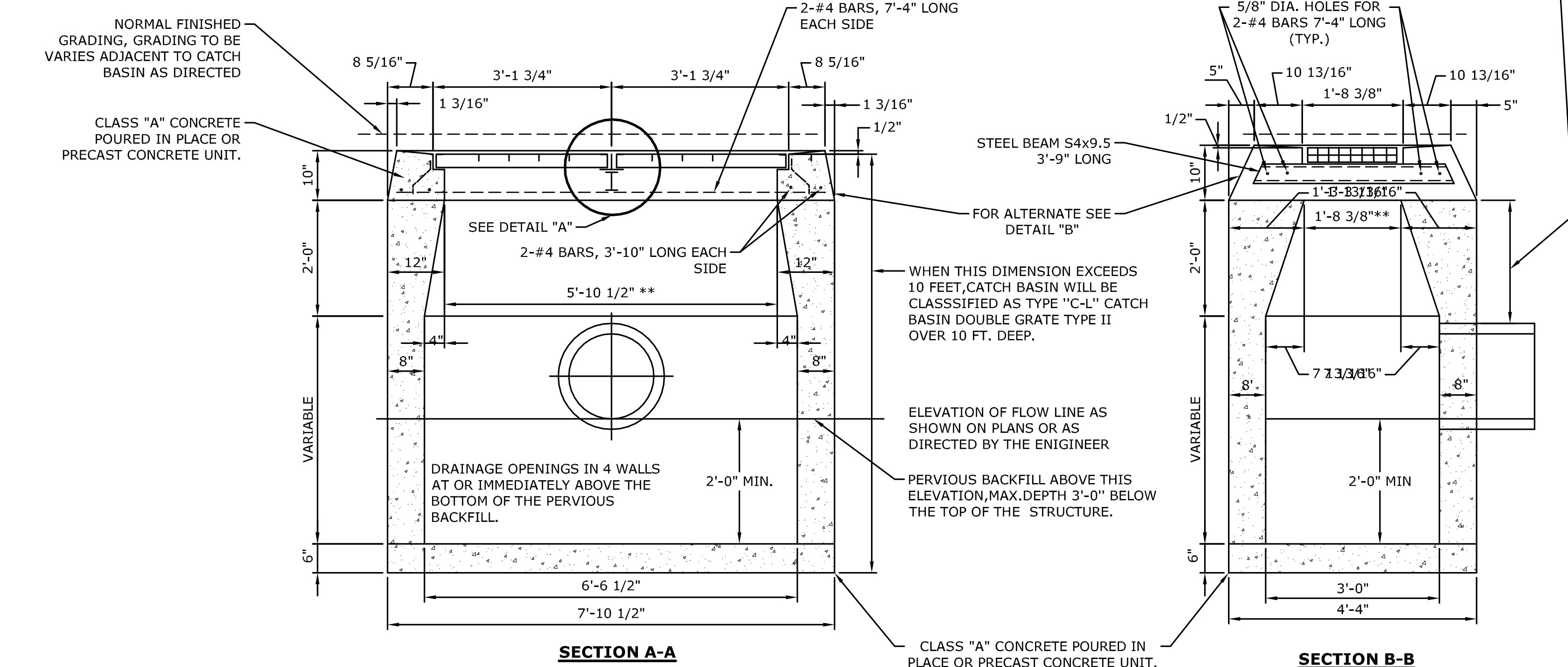
N.T.S.



DETAIL "A"



PLAN

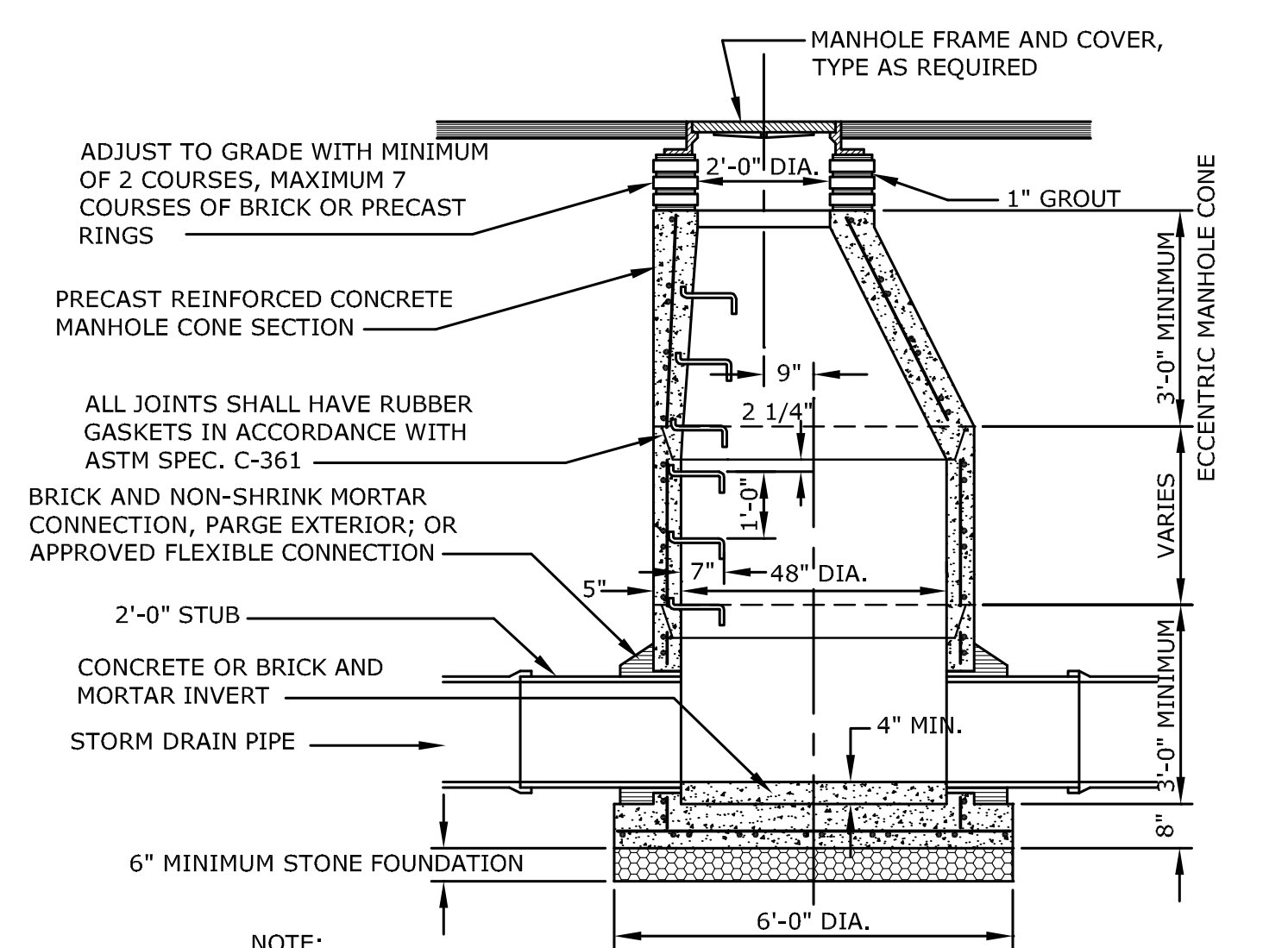


SECTION A-A

SECTION B-B

5 TYPE C-L CATCH BASIN DOUBLE GRATE - TYPE II

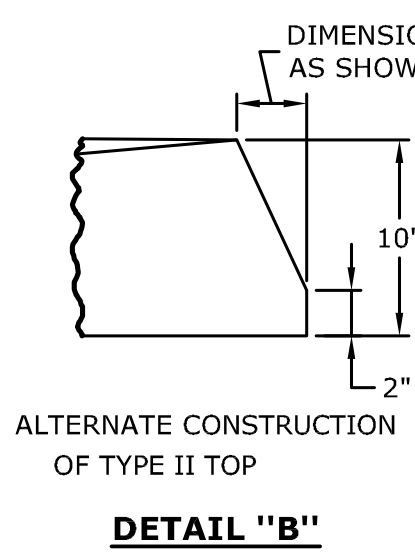
NOT TO SCALE



NOTE:
 5' OR 6' DIAMETER PRECAST BASES MAY BE REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5' OR 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS TO INCREASE BY 1" FOR EACH 1'-0" OF INSIDE DIAMETER.

6 PRECAST CONCRETE STORM DRAINAGE MANHOLE

NOT TO SCALE P-SC-5690.02-53



DETAIL "B"

NOTES:
 FOR DETAILS OF STEEL FRAME & GRATE SEE STANDARD SHEET NO. 507-K TWO FRAMES & GRATES REQUIRED FOR EACH CATCH BASIN. WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS, INSIDE DIMENSIONS TO REMAIN THE SAME. ALL STEEL, EXCEPT REINFORCING BARS, SHALL BE GALVANIZED IN ACCORDANCE WITH M.06.03. ALL BARS SHALL HAVE 2" COVER.

Project Name and Location
Greens Farms Academy
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Engineer's Seal

Revisions

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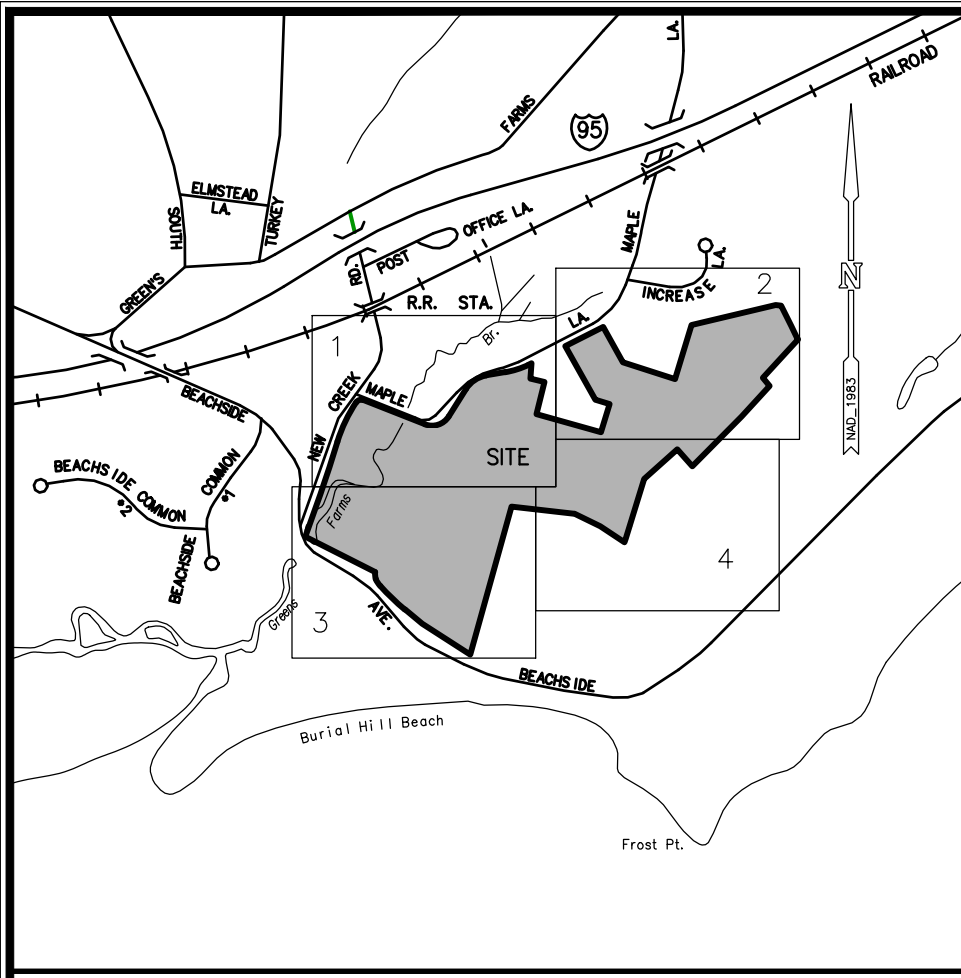
Project Status
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Sheet Name
SITE DETAILS

PROJECT NUMBER: 1106
 DATE: October 31, 2016
 SCALE: As Noted

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P-SC-5690.02-106

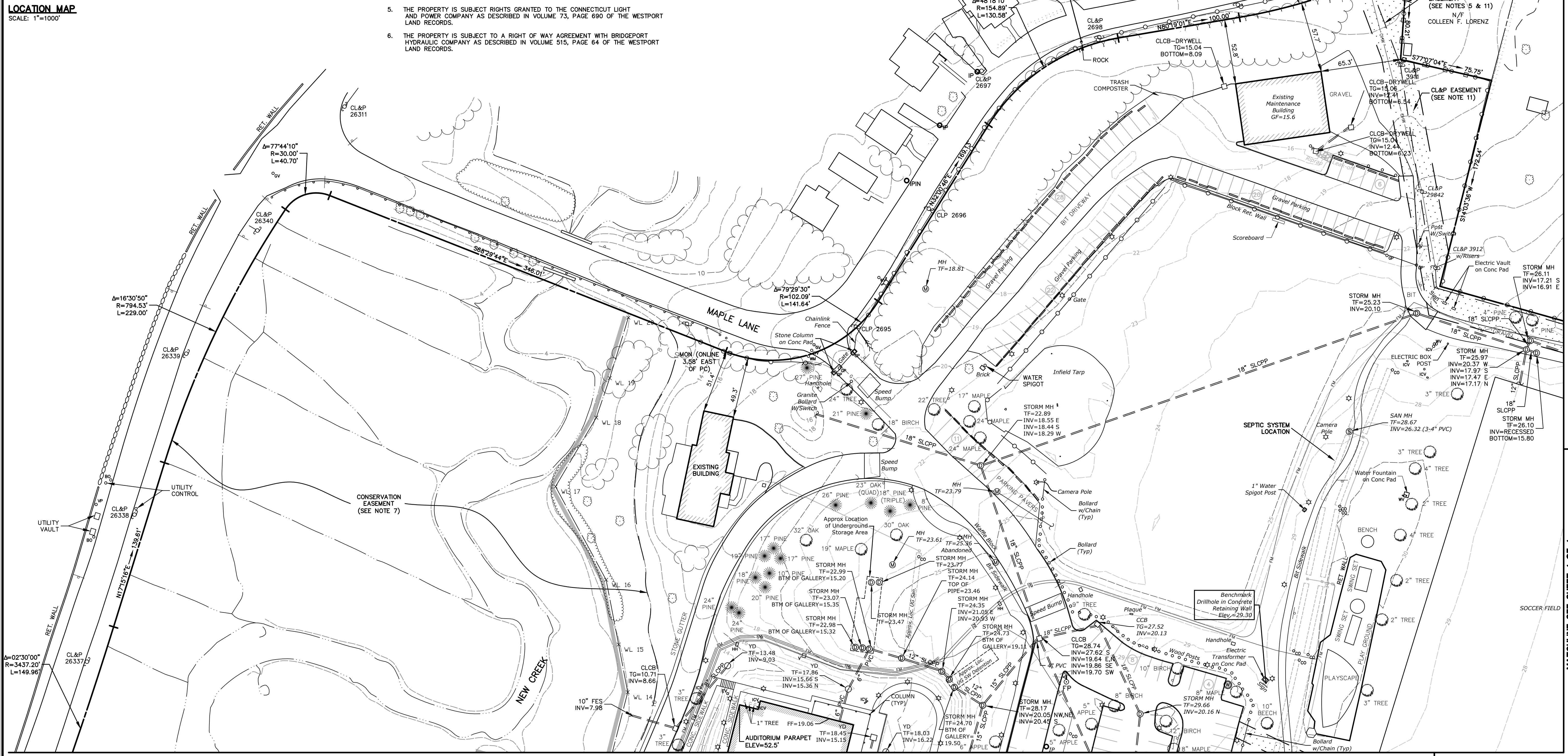


NOTES:

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PROPERTY SURVEY BASED ON A DEPENDANT RESURVEY AND A T-2 TOPOGRAPHIC SURVEY CONFORMING TO CLASS A-2 HORIZONTAL AND T-2 AND T-3 ACCURACY CLASS AND IS INTENDED TO DEPICT THE LOCATION OF THE IMPROVEMENTS WITHIN THE SITE.
- NORTH ARROW AND BEARINGS ARE BASED UPON THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD 1983).
- ELEVATIONS, CONTOURS, AND BENCHMARK ARE BASED UPON NGVD 1929. THE CONTOURS ARE FROM AERIAL PHOTOGRAMMETRIC MAPPING PREPARED BY GOLDEN AERIAL SURVEYS, INC. (PHOTOS DATED: APRIL 16, 2004) AND AS AMENDED BY VARIOUS FIELD SURVEYS BY MILONE & MACBROOM.
- REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
 - "PROPERTY SURVEY, PREPARED FOR: GREENS FARMS ACADEMY, 35 BEACHSIDE AVENUE, GREENS FARMS, CONNECTICUT," SCALE: 1"=40', DATED: JANUARY 4, 2008, PREPARED BY: MILONE & MACBROOM, INC.
 - "COMPILATION PLAN MAP DEPICTING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT & POWER COMPANY ACROSS THE PROPERTY OF GREENS FARMS ACADEMY 35 BEACHSIDE AVENUE WESTPORT, CONNECTICUT CL&P FILE #51016, CL&P DRAWING #E3-21641-5267", BY MILONE & MACBROOM, SCALE: 1"=40', DATED JULY 25, 2011, REVISED TO 11/05/2012.
 - "DATA ACCUMULATION PLAN DEPICTING LOT LINE REVISION PREPARED FOR LUCIE C. MCKINNEY & PEOPLES UNITED BANK TRUST #91, 93 & 95 BEACHSIDE AVENUE WESTPORT, CONNECTICUT", BY THE HUNTINGTON COMPANY, LLC, SCALE: 1"=50', DATED JUNE 22, 2015, REVISED TO 2-12-16.
- THE PROPERTY IS SUBJECT RIGHTS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AS DESCRIBED IN VOLUME 73, PAGE 690 OF THE WESTPORT LAND RECORDS.
- THE PROPERTY IS SUBJECT TO A RIGHT OF WAY AGREEMENT WITH BRIDGEPORT HYDRAULIC COMPANY AS DESCRIBED IN VOLUME 515, PAGE 64 OF THE WESTPORT LAND RECORDS.

NOTES (CONTINUED):

- THE PROPERTY IS SUBJECT TO A CONSERVATION EASEMENT TO THE TOWN OF WESTPORT AS DESCRIBED IN VOLUME 1772, PAGE 346 OF THE WESTPORT LAND RECORDS.
- THE PROPERTY IS SUBJECT TO A CONSERVATION RESTRICTION AS DESCRIBED IN VOLUME 2798, PAGE 107 OF THE WESTPORT LAND RECORDS.
- REFERENCE IS MADE TO THE FOLLOWING RESOLUTIONS REGARDING SPECIAL PERMIT/COASTAL SITE PLAN # 05-029: VOLUME 3065, PAGE 257; VOLUME 3070 PAGE 169; VOLUME 3617, PAGE 205 ALL OF THE WESTPORT LAND RECORDS.
- REFERENCE IS MADE TO THE FOLLOWING RESOLUTIONS: VOLUME 2929, PAGE 178; VOLUME 3000, PAGE 174; VOLUME 3048, PAGE 61 AND VOLUME 3048, PAGE 65 ALL OF THE WESTPORT LAND RECORDS.
- THE PROPERTY IS SUBJECT TO AN EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY AS DESCRIBED IN VOLUME 3383, PAGE 262 OF THE WESTPORT LAND RECORDS.
- WETLAND FLAGS WERE SET AND FIELD LOCATED BY MILONE & MACBROOM, INC. OCTOBER 2004.
- PLANIMETRIC FEATURES ARE FROM AERIAL PHOTOGRAMMETRIC MAPPING PREPARED BY GOLDEN AERIAL SURVEYS, INC. (PHOTOS DATED: APRIL 16, 2004, AND AS AMENDED BY VARIOUS FIELD SURVEYS BY MILONE & MACBROOM.
- PARCEL AREA = 1,962,635 SQ.FT. / 45.056 ACRES.



MATCHLINE SEE SHEET 2 OF 4

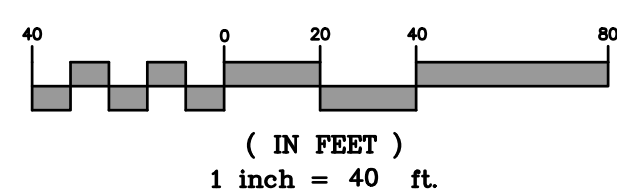
MATCHLINE SEE SHEET 4 OF 4

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

MICHAEL F. MANSFIELD
MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

L.S. #70120

GRAPHIC SCALE



REVISIONS

| NO. | DESCRIPTION |
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PROPERTY & TOPOGRAPHIC SURVEY
PREPARED FOR:
GREENS FARMS ACADEMY
35 BEACHSIDE AVENUE
GREENS FARMS, CONNECTICUT

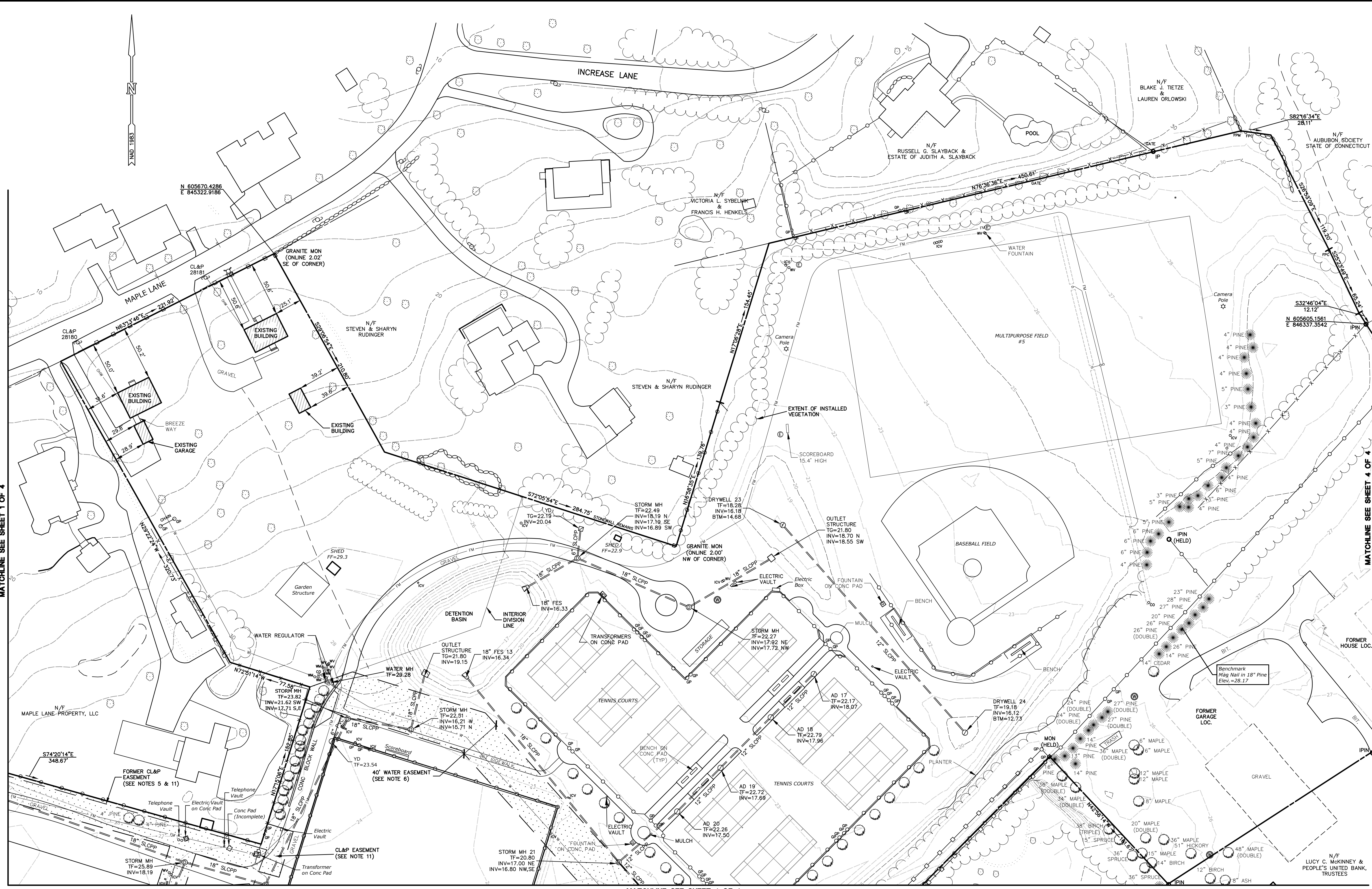
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CHECKED: MM,GS
SCALE: 1"=40'
DATE: MARCH 25, 2016
PROJECT NO: 2613-08

1 OF 4

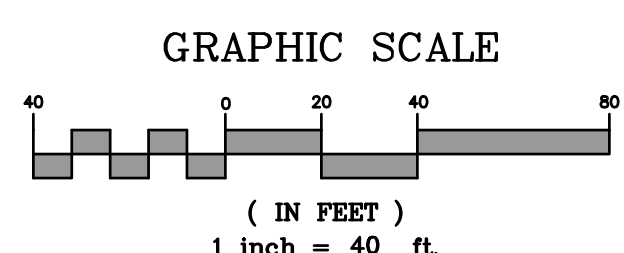
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MATCHLINE SEE SHEET 1 OF 4

MATCHLINE SEE SHEET 4 OF 4



MATCHLINE SEE SHEET 4 OF 4



MILONE & MACBROOM
 99 Realty Drive
 Cheshire, Connecticut 06410
 (203) 271-1773 Fax (203) 272-9733
 www.miloneandmacbroom.com

REVISIONS

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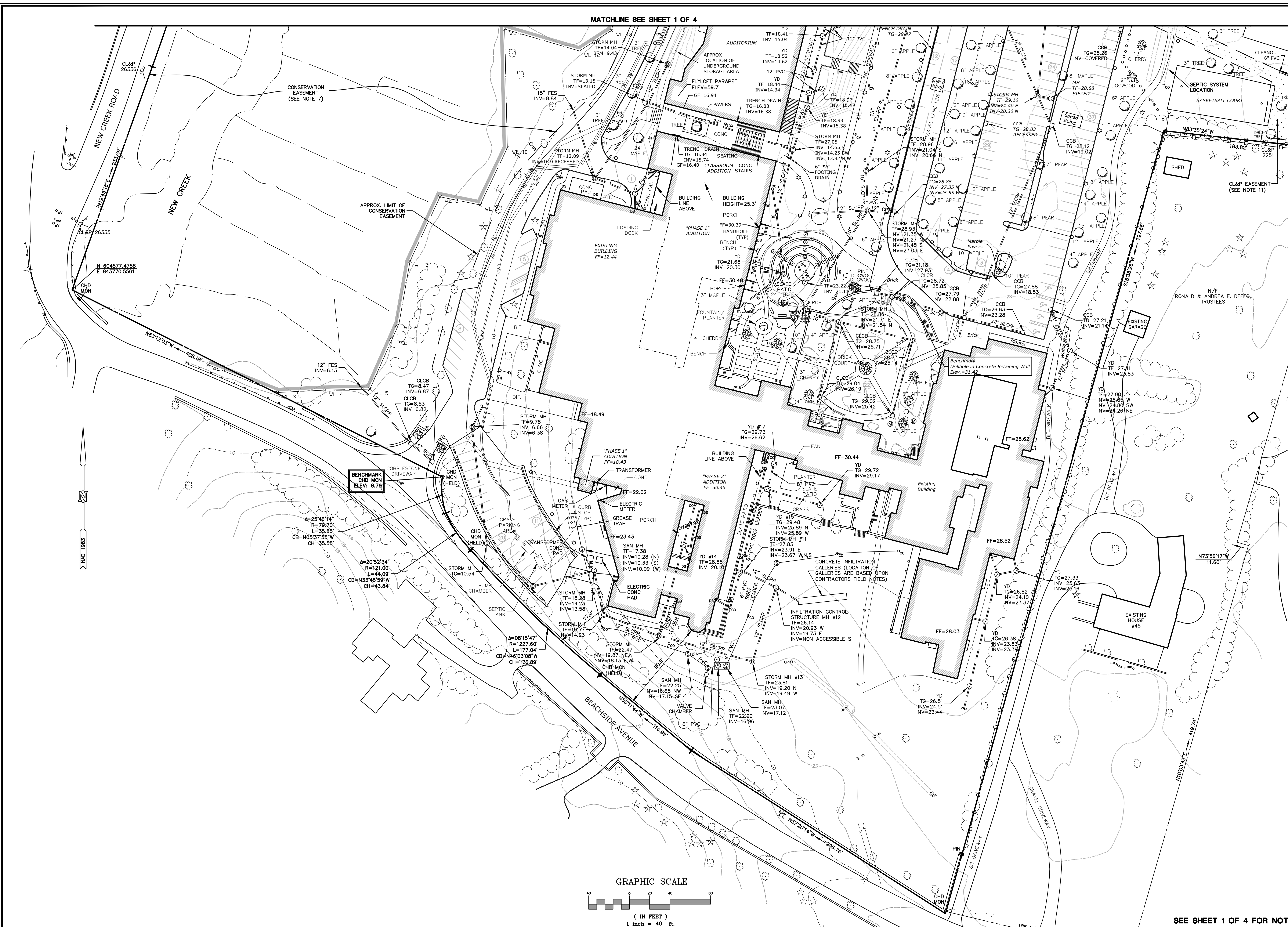
PROPERTY & TOPOGRAPHIC SURVEY
 PREPARED FOR:
GREENS FARMS ACADEMY
 35 BEACHSIDE AVENUE
 GREENS FARMS, CONNECTICUT

| | | |
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| DESIGNED | JS,TP | MM,GS |
| DRAWN | | |
| CHECKED | | |
| SCALE | 1"=40' | |
| DATE | MARCH 25, 2016 | |
| PROJECT NO. | 2613-08 | |

2 OF 4

SEE SHEET 1 OF 4 FOR NOTES

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 99 Realty Drive
 Cheshire, Connecticut 06410
 (203) 271-1773 Fax (203) 272-9733
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| NO. | DATE | DESCRIPTION |
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PROPERTY & TOPOGRAPHIC SURVEY
 PREPARED FOR:
GREENS FARMS ACADEMY
 35 BEACHSIDE AVENUE
 GREENS FARMS, CONNECTICUT

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| DRAWN | | |
| CHECKED | | |
| SCALE | 1"=40' | |
| DATE | MARCH 25, 2016 | |
| PROJECT NO. | 2613-08 | |

SEE SHEET 1 OF 4 FOR NOTES

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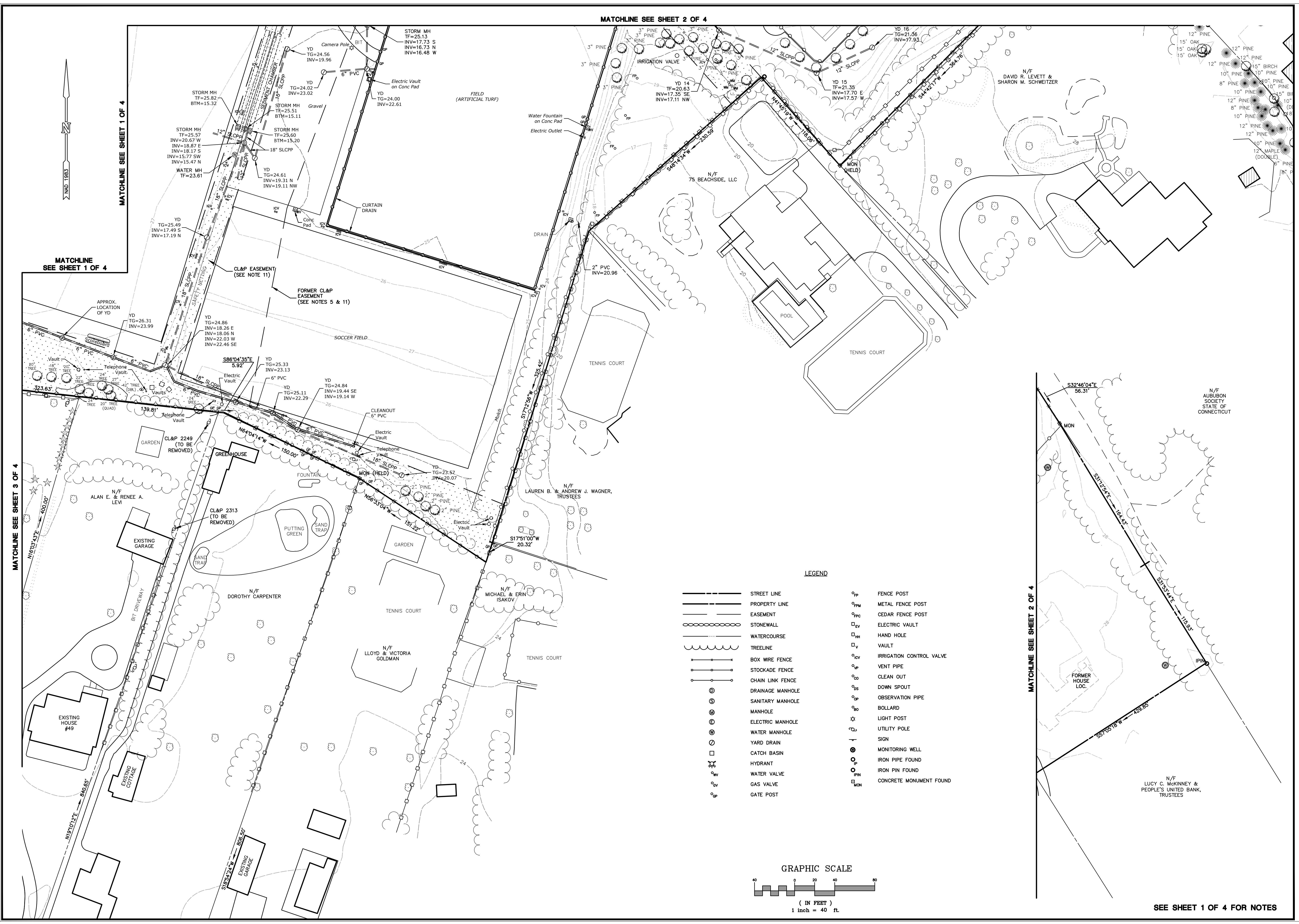
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MATCHLINE SEE SHEET 1 OF 4

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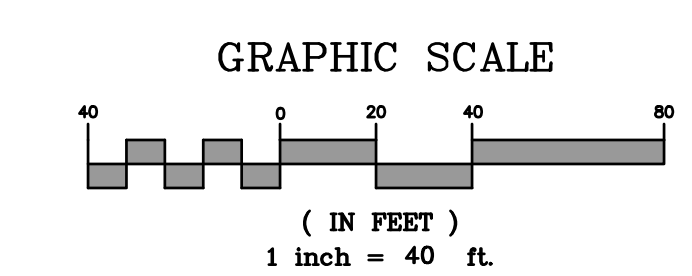
MATCHLINE SEE SHEET 3 OF 4

MATCHLINE SEE SHEET 2 OF 4



LEGEND

| | | | |
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| | STREET LINE | | FENCE POST |
| | PROPERTY LINE | | METAL FENCE POST |
| | EASEMENT | | CEDAR FENCE POST |
| | STONEWALL | | ELECTRIC VAULT |
| | WATERCOURSE | | HAND HOLE |
| | TREELINE | | VAULT |
| | BOX WIRE FENCE | | IRRIGATION CONTROL VALVE |
| | STOCKADE FENCE | | VENT PIPE |
| | CHAIN LINK FENCE | | CLEAN OUT |
| | DRAINAGE MANHOLE | | DOWN SPOUT |
| | SANITARY MANHOLE | | OBSERVATION PIPE |
| | MANHOLE | | BOLLARD |
| | ELECTRIC MANHOLE | | LIGHT POST |
| | WATER MANHOLE | | UTILITY POLE |
| | YARD DRAIN | | SIGN |
| | CATCH BASIN | | MONITORING WELL |
| | HYDRANT | | IRON PIPE FOUND |
| | WATER VALVE | | IRON PIN FOUND |
| | GAS VALVE | | CONCRETE MONUMENT FOUND |
| | GATE POST | | |



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REVISIONS

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PROPERTY & TOPOGRAPHIC SURVEY
PREPARED FOR:
GREENS FARMS ACADEMY
 35 BEACHSIDE AVENUE
 GREENS FARMS, CONNECTICUT

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| PROJECT NO. | 2613-08 | |

4 OF 4

SEE SHEET 1 OF 4 FOR NOTES

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